



CITY OF HAYWARD
777 B STREET, HAYWARD, CA 94541-5007
(510) 583-4205 / www.hayward-ca.gov
LIVE BROADCAST – LOCAL CABLE CHANNEL 15

MEMBERS OF THE AUDIENCE WISHING TO ADDRESS THE PLANNING COMMISSION:

Obtain a speaker's identification card, fill in the requested information, and give the card to the Commission Secretary. The Secretary will give the card to the Commission Chair who will call on you when the item in which you are interested is being considered. When your name is called, walk to the rostrum, state your name and address for the record and proceed with your comments. Copies of staff reports for agenda items are available from the Commission Secretary and on the City's website the Friday before the meeting.

AGENDA
HAYWARD PLANNING COMMISSION
THURSDAY, MAY 26, 2011, AT 7:00 PM
COUNCIL CHAMBERS

ROLL CALL

SALUTE TO FLAG

PUBLIC COMMENT: (The PUBLIC COMMENTS section provides an opportunity to address the Planning Commission on items not listed on the agenda. The Commission welcomes your comments and requests that speakers present their remarks in a respectful manner, within established time limits and focus on issues which directly affect the City or are within the jurisdiction of the City. As the Commission is prohibited by State law from discussing items not listed on the agenda, your item will be taken under consideration and may be referred to staff for further action).

ACTION ITEMS: (The Commission will permit comment as each item is called for Public Hearing. Please submit a speaker card to the Secretary if you wish to speak on a public hearing item).

PUBLIC HEARINGS: For agenda item No. 1, the Planning Commission can either recommend approval to the City Council or deny the application. Any denial action is appealable. The appeal period is 10 days from the date of the decision. If appealed, a public hearing will be scheduled before the City Council for final decision.

1. **Zone Change Application No. PL-2010-0403 and Vesting Tentative Tract Map Application No. PL-2010-0405 – Perry Hariri of Urban Dynamic (Applicant); City of Hayward (Owner) – Request to Change the Zoning from Medium Density Residential/SD-4 to Planned Development and to Subdivide the Property to Construct Fifty-Seven Detached Single Family Home - The Project is Located on a 3.84-Acre Parcel at the Southwest Corner of B Street and Myrtle Street east of Burbank Elementary School**



Assistance will be provided to persons requiring accommodations for disabilities in compliance with the Americans with Disabilities Act of 1990. Persons needing accommodation should contact Debbie Summers 48 hours in advance of the meeting at (510) 583-4205, or by using the TDD line for those with speech and hearing disabilities at (510) 247-3340.

COMMISSION REPORTS:

2. Oral Report on Planning and Zoning Matters
3. Commissioners' Announcements, Referrals

APPROVAL OF MINUTES

4. April 28, 2011

ADJOURNMENT

PUBLIC COMMENT RULES: The Chair may, at the beginning of the hearing, limit testimony to three (3) minutes per individual and five (5) minutes per an individual representing a group of citizens for organization. Speakers will be asked for their name and their address before speaking and are expected to honor the allotted time. A Speaker's Card must be completed by each speaker and is available from the City Clerk at the meeting.

PLEASE TAKE NOTICE that if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the City's public hearing or presented in writing to the City Clerk at or before the public hearing. **PLEASE TAKE FURTHER NOTICE** that the City Council has adopted Resolution No. 87-181 C.S., which imposes the 90 day deadline set forth in Code of Civil Procedure section 1094.6 for filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5.

NOTE: Materials related to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the Permit Center, first floor at the above address.



**MINUTES OF THE REGULAR MEETING OF THE
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Council Chambers
Thursday, April 28, 2011, 7:00 p.m.
777 B Street, Hayward, CA 94541**

MEETING

A regular meeting of the Hayward Planning Commission was called to order at 7:00 p.m. by Chair Loché.

ROLL CALL

Present: COMMISSIONERS: Faria, Mendall, Lamnin, Lavelle
CHAIRPERSON: Loché
Absent: COMMISSIONER: Márquez, McDermott

Commissioner Lamnin led in the Pledge of Allegiance.

Staff Members Present: Conneely, Patenaude, Philis, Rizk

General Public Present: 7

PUBLIC COMMENTS

None

ACTION ITEMS

PUBLIC HEARING

1. Draft Supplemental Environmental Impact Report for the South Hayward BART/Mission Boulevard Form-Based Code

Development Services Director David Rizk provided background and context for the purpose of the hearing and then introduced consultant Kevin Colin, of Lamphier-Gregory, who gave the report.

Development Services Director Rizk explained that public comments on the Draft Supplemental EIR would be accepted through May 20, 2011. He then introduced traffic consultant Damian Stefanakis, with Dowling Associates, and Don Frascinella, the City's Transportation Manager, who were available to answer any technical questions about traffic mitigation.

Commission Mendall asked Mr. Colin to talk a little more about the screening required between major roads and housing to control emission impacts on residents. Mr. Colin explained that per the form-based code principle of keeping eyes on the street and basic aesthetics, screening would not include walls, berms, or mess screening but instead the building would provide the screening by keeping open spaces on the other side, away from busy streets like Mission Boulevard. He said

that a developer seeking to put open space facing Mission would have to get a variance. Commissioner Mendall asked about a café with sidewalk seating on Mission and Mr. Colin said the mitigation would only apply to land uses where the occupancy is dominated by children, the elderly, or a health facility. Mr. Colin clarified that an ice cream parlor would qualify as a retail use and the mitigation requirement would not apply. Development Services Director Rizk pointed out that form-based code envisions mixed-use which would include residential which would normally be a sensitive receptor. Mr. Rizk said another option is a developer could pay for a health risk assessment which may or may not show that such screening or buildings would be necessary in order to comply. He mentioned that the primary concern is automobile emissions and particulate matter kicked up by automobiles and that's why buildings can help mitigate the impact. Commissioner Mendall said he wanted to be sure the City wasn't making it harder for a developer to create a frontage use. Mr. Colin agreed saying how to not create a disincentive to investment was discussed. Mr. Colin also mentioned that the air quality model used from the Air Quality District is a coarse grain analysis; a refined analysis would have been too costly.

Regarding Attachment 3 (Regulating Plan of the Form-Based Code) of the staff report, Commissioner Mendall asked if he was interpreting the map correctly that showed the green belt along BART tracks being continuous from Industrial Boulevard to Harder Road with an interruption at Tennyson Road. Development Services Director Rizk said Mr. Mendall was correct and the City has the intent to create a beltway along BART through the entire project area. Commissioner Mendall said he was thrilled to see that, but asked why Attachment 2 (Proposed New Zoning Destinations) didn't also show it. Mr. Rizk said it was just a graphic production issue and the regulating plan will be the formal document regarding zoning.

Commissioner Mendall asked about changes to the South Hayward BART Mixed-Use and Mission Paradise projects and asked staff to provide an update. Development Services Director Rizk said the City Council considered a rephrasing/reconfiguring of the South Hayward project at a March 8th work session. Right now, he said, Wittek-Montana and Eden Housing are pursuing development of the property between Dixon Street and Mission Boulevard. The affordable housing units originally envisioned proximate to the BART station would be part of the new initial phase. Mr. Rizk said the City is still working with proponents of the development and will be recommending the formation of a Joint Powers Authority with BART to help manage land uses, fees, parking, etc. Mr. Rizk said the City is also working with the State Housing and Community Development Department on the Proposition 1C grants. Grant amounts will not meet the originally approved \$47 million, but most, if not all, of the \$17 million TOD Proposition 1C grant will be available because the number of affordable units is still quite high. Mr. Rizk said most of the \$30 million infill infrastructure grant was for the proposed BART parking structure, which is no longer being pursued in the initial phase. Right now, he said the City is working on formalizing agreements with BART and the developers.

Commissioner Mendall asked if the parking garage was on hold and what would replace the proposed grocery store with affordable senior housing above if the grocery store pulled out and the housing moved somewhere else. Development Services Director Rizk said they may not be affordable units, but the plan is still to have residential units over a grocer. He said that project is still entitled and the plans still applicable, but the developers and timing may change.



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Planning Manager Richard Patenaude provided an update on the Mission Paradise project saying that the entitlement period is almost up, but the architect has indicated that they will go ahead with the project and will ask for an extension of time. Mr. Patenaude said that the design will remain the same, but the occupancy of the project may change.

Commissioner Lavelle said the report was a little overwhelming and asked for clarification regarding the proposed traffic mitigation at Mission Boulevard and Harder Road where the report discussed a conversion from signal phasing into split phasing. Mr. Colin apologized and said that particular mitigation was going to be revised and introduced Damien Stefanakis to explain what is going to be proposed in the final EIR (Environmental Impact Report). Mr. Stefanakis said that particular intersection is “tricky” and two mitigations are going to be proposed. Looking at the 2025 scenario of evening peak traffic (northbound being the commute direction), Mr. Stefanakis said their analysis revealed an “impacted” or “E” level of service, due to over 500 vehicles making right-hand turns onto Mission from Harder. Previous analysis didn’t take into consideration the form-based code overlays raising land uses in the area, he said. Signal phasing is now standard, Mr. Stefanakis explained, so to give more green time they proposed split phasing which allows all lanes travelling in one direction the right of way (for example, all westbound lanes, then all eastbound, then all southbound, etc.). Lane modifications could allow for both double left and double right-hand turns, he said, and to create even more turn time, a right turn overlap phasing would give green turn arrows to both traffic turning right onto Mission and traffic turning left onto Harder. He pointed out that this solution wasn’t ideal because it could create complications with pedestrians.

Chair Loché asked why this eastbound right is anticipated to be so heavy. Mr. Stefanakis said peak time volume is already high (208 cars) and 2025 volumes are anticipated to be higher. He said to have almost a 100% growth in 15 years is “incredible.”

Commissioner Lavelle said with the City’s emphasis on transit-orientated development, hopefully more people will live closer to where they work and not drive quite so much although she pointed out that incoming Cal-State East Bay students and visitors could raise volumes. Mr. Stefanakis agreed that land uses in the study area would contribute to the higher volumes.

Mr. Stefanakis then explained that because these mitigations would create lane offsets (or “jogs in the road” when turning) that were too dramatic, they went back to the drawing board and determined that the neither split phasing nor lane shuffling was necessary, and that only one right-hand turn lane was needed. He said they realized they were analyzing the intersection “conservatively” and determined that overlap phasing with right-hand turns allowed on a red to utilize gaps in the southbound traffic would allow 50 cars to move through the intersection and traffic flow to achieve standard service levels. Mr. Stefanakis said this alternative mitigation was a lot cleaner, less confusing, and Public Works has reviewed it and found it acceptable.

Director of Development Services Rizk explained that the alternative eliminates the need for any right-away takes and confirmed for Commissioner Lavelle that the alternate mitigation will be included in the final SEIR (Supplemental Environmental Impact Report).

Commissioner Lamnin asked if trees and vegetation are helpful in screening for sensitive receptors. Mr. Colin said they are, but not to the degree of shielding a building would provide. He also pointed out that it takes a while for the trees to mature and depending on the species of tree they may shed leaves in the winter. Mr. Colin agreed that trees would look nicer but would not satisfy the requirements of the Air Quality District. Commissioner Lamnin pointed out there was a 14 year window until traffic mitigation measures are needed, but asked if any are being implemented now at busy intersections with the Route 238 Corridor Improvement Project currently underway. Mr. Colin said the mitigation at Mission/Tennyson is under construction, but the rest are not being completed at this time. He said Public Works will be responsible for monitoring conditions over time and noted that traffic counts on Mission have gone down.

Commissioner Lamnin asked if there was any impact to the historic properties in the project area and Mr. Colin said no and any proposed changes would be reviewed through the City's Historic Preservation Program.

Commissioner Lamnin asked if light industrial was included in the form-based code under T4 or T5 zoning. Director of Development Services Rizk said that zoning designation was applicable under the Mission Boulevard Specific Corridor Plan which is farther north, but remembered that light industrial fell under the T4-2 zoning.

Commissioner Lamnin said she appreciated the updates on the Wittek-Montana and Mission Paradise projects and asked if any outreach had been conducted to Mandela Markets out of Oakland. She said she understood that they wanted to come to Hayward and their retail model seemed to match the Hayward community. Director of Development Service Rizk said he thought the City's economic development staffing had been promoting the site to grocers including ethnic markets.

Commissioner Faria asked if the lane widths were going to change with the current corridor improvement or under form-based code and if a change would impact the proposed right-hand turns. Mr. Colin said the form-based code wouldn't impact the corridor project design, but he didn't know what the proposed lane widths were going to be and deferred to Mr. Stefanakis and City staff who indicated that traffic lanes would remain 12 feet. Mr. Colin clarified for Commissioner Faria that under the Mission Boulevard Specific Plan lane widths north of A Street on Mission Boulevard would change, but not on the southern portion of Mission where they would remain a little wider.

Regarding mitigation measures for sensitive receptors, Chair Loché said the report's definition included residences, schools, day care centers, playgrounds, and medical facilities, and asked if there were any other uses not listed. Mr. Colin explained that sensitive receptors include uses that include young children, the elderly, and those whose respiratory systems might be vulnerable, and that the Development Director will determine how that definition is interpreted. Mr. Colin said the definition can be refined or clarified in the mitigation measure for the final SEIR. Chair Loché said he was concerned the definition could grow or become broader and that it might be impacted by the



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mitigation measures. Mr. Rizk said the City would use Bay Area Air Quality Management District (BAAQMD) guidelines when making those types of decisions.

Chair Loché asked for more information about the health risk assessment. He understood it was “not a free pass,” and asked how the assessment would be conducted. Mr. Colin explained that the model used for the supplemental EIR did not identify specific locations, heights or designs of buildings, but an assessment would look at the specifics of a proposed development including those considerations as well as the building’s interface with the roadway, weather, prevailing wind patterns and determine, using the Air District’s methodology, if there is a health risk to a sensitive receptor. That report would be prepared in consultation with the BAAQMD and city staff in a CEQA review process for that particular project. Mr. Colin confirmed for Chair Loché that depending on the result of the assessment, different measures could be taken to mitigate any risk. Mr. Colin said Air District requirements are stricter, new, and evolving. Director of Development Services Rizk commented that standards today could be different in 10 to 15 year from now so while conducting a health risk assessment now may have some value it really depends on the timing and condition of the proposed future development.

Commissioner Lamnin asked if a disclosure will be required for developers building in this sensitive receptor area. Director of Development Service Rizk said if the SEIR is adopted, a disclosure will be part of the form-based code, but Council will decide if the disclosure is explicit.

Commissioner Mendall confirmed with Mr. Colin that a mixed use development with residential patios on the Mission Boulevard side would require a health risk assessment and that it may find that patios on the first floor are a risk, but not on the second and third floor. Commissioner Mendall said he agreed that a full health risk assessment didn’t make sense at this time. Director of Development Services Rizk pointed out the City didn’t have the money for it anyway.

Chair Loché opened the Public Hearing at 7:58 p.m.

Charlie Cameron, Post Office Box 55, Hayward, said the report contained a number of errors, including the reference to “Industrial Parkway West.” Mr. Cameron pointed out there is no “west” of Mission Boulevard on Industrial Parkway. He said he picked up a Fremont-Hayward map dated November 2002 at a Keep Hayward Clean and Green event at the Hayward BART station and it also referred to “Industrial Parkway West.” Mr. Cameron also brought to the Commission’s attention that AC Transit held a public hearing the day before and they are proposing to raise fares to close a \$21 million deficit. He said they will decide next month whether to raise fares 10 cents this year in August and another 15 cents in three years and in increments every three years after. He said by the time this project is done, the adult cash fare will be \$2.50. He pointed out that the Mission Paradise project is only three blocks from BART. He said there is almost no accessible public transit on Dixon Street. He concluded by saying that staff should review his comments.

Anthony Varni, attorney representing the Felson Family, said he will be submitting comments in writing.

Chair Loché closed the Public Hearing at 8:02 p.m.

Planning Manager Patenaude said all comments made by Commissioners will be incorporated into the Final SEIR.

Commissioner Mendall said he was pleased with the process and thinks the city is on the right track, moving in the right direction.

WORK SESSION

2. Telecommunications Facilities

Planning Manager Patenaude said at the request of Commissioners he was pleased to finally bring this topic to a Work Session. He said he would focus on pole aesthetics and notification to commissioners about proposed poles, but wouldn't talk too much about legalities as the City's ordinance regarding telecommunication poles was quite old, although he said he did include some sections for reference. He started by giving an overview of past and current projects and ended by asking for comments from the Commissioners. Mr. Patenaude suggested that Commissioners receive initial project notifications so they can contact him if they have a concern or question about a proposed telecommunications pole.

Commissioner Mendall said because paper notification cards were sent in the past by mail or via Planning Commission packets, they weren't timely. Now that notices are sent electronically, he encouraged staff to send more. Regarding the ability of a council member to be able to call an item up for review, he asked if Council can ask the Planning Commission to review an item. Planning Manager Patenaude said under City ordinance, if a council member asks to review a particular item it would go to Council, not the Planning Commission. Commissioner Mendall said it seemed logical for Council to be able to ask the Planning Commission to review an item. Mr. Patenaude pointed out that if enough members of the public have a concern, staff can request that Planning Commission review the project. He also noted that when receiving a notification, Commissioners can contact City staff with concerns during the review period. Commissioner Mendall said the role of Planning Commissioners is to also act as liaison between residents who may have concerns and City staff and to provide a check and balance by asking questions about proposed City projects. He concluded by saying extra notifications are only a good thing.

Commissioner Mendall said that, regarding facilities in general, he has no complaints regarding how rooftop antennae are currently installed, but said the City should never put up a monopole that does NOT look like a tree. He said a monopole, even in an industrial area, impacts the views of thousands of people and should be as attractive as possible. He pointed out that the City and PG&E are spending millions of dollars to underground utility poles because they are a visual blight and so are telecommunication poles.

Planning Manager Patenaude said his point is well taken and staff should look at poles from residential viewpoints. Commissioner Mendall reiterated that staff review should be from everyone's viewpoint



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unless the pole is completely shielded by buildings and that's not possible because they have to be above rooftops. Commissioner Mendall said he appreciated the opportunity to comment on the subject, saying it is great that existing poles were being utilized by several companies, but he insisted that all new poles should always be disguised as trees.

Planning Manager Patenaude said the City hasn't received very many new applications and co-locations have been a very positive trend.

Commissioner Lavelle thanked staff for the discussion and agreed with Commissioner Mendall that notifications by e-mail are preferred. Regarding a chart for applications received over the last few years, Planning Manager confirmed that cell phone and data service carriers are the primary applicants. Commissioner Lavelle said most people appreciate the need for cell phones and mentioned that she recently attended a golf tournament at Stonebrae and her Verizon cell phone had excellent reception while her friends with AT&T had problems. She said the Commission's recent approval of a monopole at Stonebrae had a good result.

Commissioner Lavelle asked staff why a couple of past projects were denied. Planning Manager Patenaude explained that one application involved a rooftop installation on the Phoenix Motel and the screening was not attractive and didn't work well with architecture. The applicant wasn't willing to work with the City to modify the screening so the application was denied and the applicant didn't appeal the decision, he said. Commissioner Lavelle said it seemed unusual for an applicant to not to work with the City and Mr. Patenaude said most applications go back and forth and work out very well. Commissioner Lavelle said the other denied application was from a year ago and involved T-Mobile seeking a variance request that was also denied. Planning Manager Patenaude said the monopole was too close to a residential area in Union City and under City ordinance the variance would require Planning Commission review, which T-Mobile didn't want, so the application was denied.

Commissioner Lavelle said while trees are a good solution for shielding poles she asked staff to consider artistic ways to disguise monopoles. She said using creativity to shield the less attractive part of these poles is always a good idea. She also said not all poles need to be disguised if residents aren't complaining. Using the analogy of ski lifts, she pointed out that people may be looking at the scenery, not at the poles themselves.

Regarding the statement: "If the public interest would be furthered by having the Planning Commission review such application," which appears in several places in the report, Commissioner Lavelle asked what circumstances would cause staff to ask for Commission review. Planning Manager Patenaude explained that if notification cards generate a large response from the public, staff can ask for Planning Commission review. Commissioner Lavelle said she takes some comfort from the fact that that hasn't happened since she's been on the Commission. Mr. Patenaude said staff tries to make sure poles blend in with the neighborhood and pointed out that most callers express concern regarding radio waves rather than aesthetics. He said applications come with reports that outline emissions and if it's a co-

location, has to include the other antenna that is already on the pole. He said emissions for both have to remain below Federal limits, but he's never had a monopole that came close.

Commissioner Lavelle asked what happens to abandoned antenna or equipment. Planning Manager Patenaude said the conditions of approval for the facility require that equipment be removed within 180 days of abandonment, although he said that issue hasn't come up. If equipment wasn't removed by the deadline, he said Community Preservation staff would take action. Commissioner Lavelle asked if a public complaint would have to be made or if staff would know during the natural course of business. Mr. Patenaude said conditions require City notification of abandonment, and each project facility has to submit an annual report, but how the City actually finds out could vary.

Regarding cumulative radio frequencies generated from a co-location of multiple providers and the annual report submitted regarding emissions, Commission Faria asked that report would be shared with the Planning Commission if there were any concerns. Planning Manager Patenaude said only if levels were out of compliance or if the provider was unable to bring levels back into compliance. Commissioner Faria confirmed that staff would work with the company to get back in compliance and Mr. Patenaude said yes.

Commissioner Faria said she appreciated the notifications being sent via e-mail. Regarding the two stealth poles Mr. Patenaude highlighted in his report, she said she's familiar with the poles and a person would really have to pay attention to see that they are different. They blend in very well, she said, and look like part of the environment. She said she appreciates that they are not an eyesore and commented that the antenna at the Vic Hubbard location at A Street and Highway 880 is an eyesore and the City should take any opportunity to hide it.

Commissioner Lamnin said she also appreciates the e-mail notifications and suggested staff utilize community events that the City is already participating in to educate the public about the purpose of the notification cards and the significance of them. She also suggested that staff put information on the website about the radiation related to telecommunication facilities and antennae if that's a common public health concern. Planning Manager Patenaude said he didn't believe anything was currently on the website and Commissioner Lamnin pointed out that resources staff frequently refer people to could be included.

Commissioner Lamnin asked how long a company would have to bring a pole back into compliance. Planning Manager said he didn't think there was time limit in the ordinance and noted that would be a good addition for future municipal code amendments. Commissioner Lamnin asked if there was a maximum limit of antenna on one pole or building. Mr. Patenaude said three carriers are allowed on one pole. In general, he said there is no maximum on rooftops or building façades, staff just confirms it's aesthetically pleasing and meet distance requirements from schools and residential.

Regarding the check and balance role of the Planning Commission, Commissioner Lamnin asked if an application for a government-owned or operated antennae over 60 feet should be reviewed by the Planning Commission to have a community role in the decision. Planning Manager Patenaude said once the application exceeds government exemptions the public would be notified and the City would hear any concerns. Regarding disguising monopoles, Commissioner Lamnin said she sees the poles even when they are faux trees so a balance is needed in how the City addresses the surrounding area and



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agreed with Commissioner Lavelle that the City should be creative in how poles are disguised and aware of the community impact.

Commissioner Mendall agreed with Commissioner Lavelle that monopoles don't have to be a faux tree, but it should always be decorative. He said all poles are ugly and are all blight and the City should always try to mitigate that. Commissioner Mendall clarified and said e-mail notifications should be for everything, not just antenna applications. Planning Manager Patenaude pointed out that lately, most applications have been for communication towers. Commissioner Mendall said anytime the City receives an application for co-location, landscape improvement should be required or at least confirm the landscaping is currently acceptable. He asked staff if Commissioner comments have provided clarification and Mr. Patenaude said all comments made have been very beneficial and said he especially appreciates Commissioner Lavelle's suggestion about more creative solutions to monopoles because sometimes a stand-alone tree isn't as good looking as when they are placed in a grove.

Director of Development Services Rizk said he also appreciates the comments and understands that Commissioners want higher scrutiny by staff of any new pole application. In response to Commissioner Lavelle's suggestion, he asked staff to investigate if any carriers are combining wind energy facilities with the monopoles. He didn't think the pole would generate enough energy to support its own needs, but could at least supplement it and provide some aesthetic interest.

Commissioner Lamnin mentioned lighting be added to poles and Planning Manager Patenaude said that's already being done at Weekes Park and the former Sunset High School field.

Commissioner Mendall said his wife pointed out that a utility box in their neighborhood was a constant target for graffiti and he asked what the City can do to require abatement. Planning Manager Patenaude said abatement is part of the conditional use permit and requires correction within 48 hours. He said new boxes should be within an enclosure and Commissioner Mendall said the enclosure itself is what is it getting tagged and the property owner said he wasn't allowed to paint over the graffiti because the land is leased. Mr. Patenaude asked him for the location so he could follow up. Director of Development Services Rizk suggested he create an Access Hayward case and Commissioner Mendall said he would but because graffiti abatement is part of the conditions of approval, suggested the City threaten to revoke the permit so the owner comes up with a better solution like painting a mural on it. Mr. Rizk pointed out that graffiti is a public nuisance whether there is a use permit in place or not.

Commissioner Faria asked if the City has received any complaints about satellite dishes and staff said no, for the most part they are exempt if they are placed properly.

Chair Loché asked if the City always co-locates antennae and Planning Manager Patenaude said the City encourages co-location and places a condition of approval, per City ordinance, that they agree to co-location in the future. He pointed out that most carriers want to co-locate because of the cost involved in the installation of a new monopole. Mr. Patenaude said a couple years ago the City wasn't receiving as many requests for co-location, but that's changed with the economy.

Chair Loché said he also thought Commissioner Lavelle's suggestion to be more creative was a great one and commented that Hayward is a very creative, artsy place and if anyone can come up with a way to be more creative, Hayward can. He cited former Councilmember Dowling's idea to paint murals on City utility boxes.

COMMISSION REPORTS:

3. Oral Report on Planning and Zoning Matters

Planning Manager Patenaude pointed out that Commissioners received binders for the Capital Improvement Program which will be discussed at the May 12th meeting. Future meeting topics would be discussed at that time too, he said.

4. Commissioners' Announcements, Referrals

Commissioner Mendall said he went to Mission Bay in San Diego about a month ago and commented that their utility boxes are painted too and Hayward's are much better. "The artists in Hayward are so much better—they really are," he said.

Commissioner Lamnin said she had received several complaints from Walker Landing/Eden Housing residents about high levels of traffic cutting through the neighborhood and because residents hadn't received any response from Eden Housing, she said she was asking the City to evaluate the situation. Planning Manager Patenaude asked if the traffic was occurring on Saklan or North Lane and Commissioner Lamnin responded that parents were most concerned about the safety of kids playing on North Lane in front of the complex and across the street.

Commissioner Lamnin also reminded everyone of the South Hayward Community Festival on Sunday from 1-4 p.m. She said there would be over 90 booths of community information, health screenings and referrals, music and memorials acknowledging the May 1st Workers Rights Day and Holocaust Remembrance Day.

Commissioner Lavelle said she went shopping at the newly opened Fresh & Easy and said it was great and encouraged everyone to shop there soon to receive a free musical shopping bag. Commissioner Mendall said the folks from that part of town are really happy and he welcomed the new store.

APPROVAL OF MINUTES

5. Minutes from March 10, 2011 approved with Commissioners Marquez and McDermott absent.

ADJOURNMENT

Chair Loché adjourned the meeting at 9:02 p.m.



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APPROVED:

Mariellen Faria, Secretary
Planning Commissioner

ATTEST:

Suzanne Philis, Senior Secretary
Office of the City Clerk



DATE: May 26, 2011

TO: Planning Commission

FROM: Sara Buizer, AICP, Senior Planner

SUBJECT: **Zone Change Application No. PL-2010-0403 and Vesting Tentative Tract Map Application No. PL-2010-0405 – Perry Hariri of Urban Dynamic (Applicant); City of Hayward (Owner) – Request to Change the Zoning from Medium Density Residential/SD-4 to Planned Development and to Subdivide the Property to Construct Fifty-Seven Detached Single Family Homes**

The Project is Located on a 3.84-Acre Parcel at the Southwest Corner of B Street and Myrtle Street east of Burbank Elementary School

RECOMMENDATION

Staff recommends that the Planning Commission recommends approval to the City Council of the proposed project, including the adoption of the attached Mitigated Negative Declaration (MND), Mitigation Monitoring and Reporting Program, and approval of the Zone Change and Vesting Tentative Tract Map to build fifty-seven detached single-family homes, subject to the attached Findings and Conditions of Approval.

SUMMARY

This proposal from Urban Dynamic at the corner of B and Myrtle Streets is supported by staff because the proposed density, 14.8 dwelling units per acre, is consistent with the General Plan and Cannery Area Design Plan. The project is well-designed with high-quality architectural features that are reflective of the neighborhood character, including along B Street. In addition, the project proposes substantial green features including, but not limited to: (1) a standard solar package on all units with opportunities for upgrades; (2) a charging station within each garage for electric vehicles; and (3) the development is seeking a LEED Neighborhood Design designation for the project.

BACKGROUND

In 2001, the City Council adopted the “Cannery Area Design Plan” (Design Plan), amended the City’s General Plan, and rezoned older industrial properties under the 120-acre Design Plan area, and adopted the Cannery Area Special Design Overlay District (SD-4).

The subject property was the former location of the Burbank Elementary School; under the Design Plan, the school site was relocated to the west and a new school was constructed. In August 2005, to assure that the facilities at the new Burbank Elementary School would be available for community use, the Hayward Area Recreation and Park District (HARD) and the Hayward Unified School District (HUSD) amended the “Master Facilities Use Agreement” to assure that the facilities at the new Burbank Elementary School would be available to be used for HARD activities when not in use for school or school-related activities.

On July 10, 2006, HUSD, HARD, and the City and the Redevelopment Agency entered into the “Public Facilities Development and Property Exchange Agreement” (the PFDA), which specified the land exchange and financial agreements for the Cannery Area public improvements. In accordance with the provisions of the PFDA, the Agency transferred the new Burbank School to HUSD in August 2008, and concurrently, HUSD transferred the undeveloped 3.84-acre portion of the former Burbank School to the Redevelopment Agency to facilitate the sale and redevelopment of the site. The area that was transferred to the Redevelopment Agency is referred to as the “Residual Burbank School Site.”

In 2008, a proposal to amend the General Plan Land Use Designation, Change the Zoning District, and amend the Hayward Cannery Area Design Plan to facilitate the development of Medium Density Residential Uses on the project site was brought before the Planning Commission. The Planning Commission voted (5:2:0) to recommend denial of the proposal. The main concern expressed was that the Cannery Design Plan was not being implemented as envisioned by the community, Planning Commission, and the City Council. The removal of the community center component at this site, along with the removal of the potential for a neighborhood-serving retail component in 2005 on the southwest corner of the intersection of Burbank Street and Martin Luther King Drive adjacent to Cannery Park, raised some Commissioner’s concerns regarding the cumulative effects on the development and viability of the Cannery neighborhood. In addition, concerns were expressed that the facilities available at Burbank Elementary School would not adequately meet the needs of, nor create a sense of belonging for, the Cannery area community. Furthermore, some Commissioners felt that residential development on this site would be too far from public transit, services, and shopping. The Planning Commission suggested that the site would better serve the community if developed with neighborhood serving commercial instead of medium density residential. In 2008, however, the City Council amended the Design Plan and the General Plan and Zoning designations for the subject property to facilitate a multi-unit residential development. At that time, Citation Homes was the developer anticipated for the project site; however, negotiations fell through and the site was once again available for development. In 2010, Urban Dynamic submitted an application to develop the site with fifty-seven detached single-family homes.

DISCUSSION

Project Description-

The project requires a Zone Change from Medium Density Residential/SD-4 to Planned Development, a Tentative Tract Map to subdivide the property in order to construct fifty-seven detached single-family homes. The project site is approximately 3.84 acres and the resulting density is 14.8 dwelling units per acre, consistent with the Medium Density General Plan

designation for the property, which allows up to 17.4 dwelling units per acre. The project site is bounded by B Street, Myrtle Street, C Street and Filbert Street, and is directly across Filbert Street from the new Burbank Elementary School.

The project site is located within an existing single-family residential neighborhood that includes a mix of one-and two-story single-family residential homes. The style of the homes in this neighborhood includes Victorian and Colonial-Revival as well as bungalows with some craftsman features. B Street is also characterized primarily by the large Sycamore trees which line the street. The site is located less than a half-mile from the downtown Hayward BART station and Amtrak station as well as many amenities within the downtown Hayward area, including City Hall, the library, and shopping and entertainment uses.

The project proposes two project entries with access points on Myrtle Street and C Street, away from the adjacent Burbank School. Most units have rear-loaded two-car garages and are accessed via these two private road entries. Six units have their own private driveway with direct access off the surrounding streets to accommodate more Plan 3 units. Staff has included Condition of Approval 38 requiring the use of decorative pavement for these six driveways. Each unit provides two covered parking spaces. The six units that have private driveways can also accommodate two cars within the driveways. All other guest parking, approximately 50 parking spaces, is available on the surrounding streets. Typically the City has allowed three parking spaces per unit for small lot single-family developments. A development of 57 units requiring three spaces per unit would require a total of 171 parking spaces. Between the covered parking, the spaces within driveways and the street parking, there are 176 parking spaces.

The front entries for the units are oriented toward the surrounding streets or common paseos and include covered porches. Each unit has a private side yard. The project includes three different plans ranging in size from 1,603 square feet to 2,407 square feet with Plan 1 offering 4 bedrooms, Plan 2 offering 3 bedrooms plus a loft and office, both of which can be converted to additional bedrooms, and Plan 3 showing 4 bedrooms with a loft that can be converted to an additional bedroom. The newly constructed detached units within the Cannery Area development and other single-family homes in this neighborhood are comparable in size to the proposed units. All units are two-story and will have either a Victorian or Craftsman architectural elevation consistent with the historical architectural style for this neighborhood. The high quality design of the architecture includes such features as low-pitched gabled roofs with multiple roof planes, exposed roof beams, porch supports that have sloping sides, casement windows, and use of horizontal lap siding and stone for the Craftsman elevations. Steeply-pitched gabled roofs, decorative trusses and porch support braces, elongated windows, and varied patterns of siding and shingles are incorporated in the Victorian elevations. All plans include ground-floor living space including kitchen with second-floor bedrooms. Two of the three floor plans, amounting to approximately half of the proposed units, include options for ground-floor bedrooms with bathrooms.

Inclusionary Housing Ordinance-

In January 2011, the City Council adopted an Ordinance providing interim relief from the Inclusionary Housing Ordinance effective until December 31, 2012. The Relief Ordinance allows a developer to pay an inclusionary housing in-lieu fee “by right” rather than providing the units on-

site. In this particular case, the applicant has indicated they will pay the in-lieu fee as allowed for in the Relief Ordinance. The in-lieu fee cost is \$80,000 per affordable unit.

Rezoning to Planned Development District -

The proposal involves a modification of the current zoning designation from Medium Density Residential District to Planned Development District. Under the current zoning designation, the project would not be feasible without modifications to some of the development standards. The purpose of the Planned Development District is to encourage development through efficient and attractive space utilization that might not otherwise be achieved through strict application of the development standards.

The development proposes smaller lots than the minimum size of 2,500 square feet required under the Medium Density Residential zoning district. Proposed lot sizes range from 1,792 square feet to 3,490 square feet with an average lot size of 2,300 square feet. The overall proposed density is, however, consistent with the existing Medium Density Residential General Plan designation.

The project proposes a front-yard setback that varies in a few instances from the setback established in the SD-4 overlay zone. The SD-4 overlay zone allows for a ten-foot front-yard setback for new homes. This required setback is met on all but four units. Three of these four units maintain a nine-foot setback to the property line while the fourth unit has a five-foot setback to the property line, but is the side elevation rather than the front elevation of that particular unit.

Developments within the Medium Density Residential District are also required to provide a combination of private and group open space. Developments shall provide a minimum of 350 square feet of useable open space for each dwelling unit with at least 100 square feet per unit being utilized for group open space. Private open space may not include required front or street side yards, exceed a 3% slope, be less than 100 square feet in area, or have a dimension less than 10 feet. Group open space must be centrally located to all residents, cannot have a greater than 5% slope and not be less than 400 square feet in area. A development of fifty-seven dwelling units would be required to provide 19,950 square feet of open space, of which 5,700 square feet would be required to be designated for group open space.

The project site is located within the Cannery Area Design Plan, which when adopted in March 2001, designated areas within the defined plan area for open space and parks. The park areas for this plan area include Centennial Park, Cannery Park and Burbank School, and Water Tower Square with park links. It was envisioned that these park areas would serve the future residents in this plan area. In addition to the site's proximity to these designated open space and park areas, the project includes a 720 square foot central gathering space and each unit includes some private side-yard areas that range in size from 264 to 400 sq. ft. Each unit also provides a useable front porch that ranges in size from 118 to 173 sq. ft. In addition, the project site is less than a half-mile from other open space amenities, including areas surrounding City Hall and the Main Public Library.

To offset the relaxation of applicable development standards, the project applicant is proposing some significant green elements that are not required by the City's Green Building Ordinance. The City's Green Building Ordinance requires new homes to meet a minimum of 50 points on the GreenPoint Rated checklist. Condition of Approval 106 requires each unit in this proposal to

achieve a minimum of 100 points on the GreenPoint Rated checklist or to seek LEED silver designation for each home. The following additional green elements are proposed for the development: (1) All homes would have a charging station within the garages for electric vehicles; (2) Each home will be offered a baseline solar energy package of 2.5Kw and the potential for upgrade to a 4.0Kw system depending on the floor plan and orientation (Attachment VI); (3) Solar water heater technology will also be made available as an optional feature for the homes; and (4) the applicant will be seeking environmental and resource conservation recognitions and designations, such as LEED Neighborhood Design, for the proposed development.

Findings for the Zone Change/Preliminary Development Plan - In order for a Planned Development District to be approved, the City Council must make the following findings, as recommended by the Planning Commission and staff:

- (1) The development is in substantial harmony with the surrounding area and conforms to the General Plan and applicable City policies.

The project is consistent with the existing General Plan designation and policies related to providing a variety of housing types. The detached two-story single-family homes proposed on this site are more dense than the existing neighborhood to the east, but a much different housing type than is currently under construction at the Cannery just to the west which tend to be three story townhomes. The exteriors of the homes are consistent with the design of the surrounding homes along B Street and consistent with the design required under the Cannery Area Design Plan, especially the incorporation of Craftsman and Victorian styles. Front porches are incorporated in the home design and the homes are oriented toward the surrounding streets providing the desired interaction of residents with the existing neighborhood.

- (2) Streets and utilities, existing or proposed, are adequate to serve the development.

The proposed project is an in-fill development site surrounded by existing streets and there are utilities available to the site with adequate capacity to serve the proposed development. In addition, the project is required to underground any overhead utilities in front of their project site.

- (3) The development creates a residential environment of sustained desirability and stability, that sites proposed for public facilities, such as playgrounds and parks, are adequate to serve the anticipated population and are acceptable to the public authorities having jurisdiction thereon, and the development will have no substantial adverse effect upon surrounding development.

The project applicant has proposed a development achieving an integration of density, livability and renewable energy sources that establishes a high standard for future development in the City. The site design maintains the continuity of the existing street design by providing front porches and entry doors that are oriented toward the surrounding streets and neighborhood, which provide the eyes on the public areas and encourage community interaction. Some useable open space and pedestrian connectivity is provided

which allows for better circulation and access to surrounding amenities such as the school, public parks such as Cannery Park and Centennial Park, shopping and public transit. Lastly, the home designs offer a wide and flexible range of livability and lifestyles by integrating universal design features in many of the units.

- (4) Any latitude or exception(s) to development regulations or policies is adequately offset or compensated for by providing functional facilities or amenities not otherwise required or exceeding other required development standards.

The project is consistent with the Cannery Area Design Plan as well as the B Street Design guidelines. The applicant is seeking a Planned Development designation to provide flexibility in the site layout of the units. To off-set the flexibility the applicant desires, the project proposes to exceed the standards required under the Green Building Ordinance. The proposal is a green development which has been conditioned to achieve a minimum 100 point GreenPoint rating where the minimum required by the ordinance is 50 points or to alternatively seek LEED silver designation for each of the homes. In addition, the applicant will be seeking environmental and resource conservation recognitions and designations, such as LEED Neighborhood Design, for the proposed development. This project will serve as an example project for the City and hopefully will encourage more development like this in the future.

Vesting Tentative Tract Map 7991-

A vesting tentative tract map is being processed with this proposal to create individual parcels of land that would encompass each residential unit. If the vesting tentative map is approved, a final map will be processed and recorded, allowing each unit to be sold separately. The developer is proposing a vesting tentative map so that the developer gains, for a period of three years after the date of approval or conditional approval of the vesting tentative map, the right to proceed with the proposed development in substantial compliance with the ordinances, policies, and standards in effect on the date on which the developer's application for a vesting tentative is deemed complete. The date that the vesting tentative map application was deemed complete was March 17, 2011.

The proposed subdivision creates sixty-four parcels for fifty-seven detached single-family lots and seven common lots for two private streets and common landscaping areas including cleanwater treatment facilities on approximate 3.84 acres of land. The Homeowners' Association will own and maintain these seven common parcels. The two private streets have a twenty-two-foot right-of-way with a travel lane width of twenty-one-feet as measured from the face of curb to face of curb and are constructed to the same standards as a public street. The proposed twenty-two-foot private street right-of-way is adequate for circulation and meets the Fire Department accessibility requirements. These private streets shall be designated as fire lanes and no parking will be allowed except in the designated parking areas. Fire lane signage shall be installed to the satisfaction of the Fire Chief and City Engineer.

Full frontage improvements such as Portland Cement Concrete curb, gutter and sidewalk had been installed with recent street improvements along Filbert Street. Any frontage improvements in Filbert Street damaged during construction will be repaired. Existing Portland Cement Concrete

curb, gutter and sidewalk along B, C and Myrtle Streets will be removed and replaced with new alignments to facilitate the project development.

The existing utilities in the project vicinity, including sanitary sewer, water and storm drain systems, have sufficient capacity to adequately serve the proposed development. On-site sewer and water utilities will be installed within the public utility easement and connected to existing utilities in Myrtle and C Streets. On-site storm drainage will be connected to an existing system in B Street. Sanitary sewer and water mains will be publicly owned and maintained by the City. However, the proposed on-site storm drain system and cleanwater treatment facilities will be privately owned and maintained by the Homeowners' Association. Any overhead utility lines as well as any new utility lines will be required to be placed underground as part of the site improvements.

The formation of a Homeowners' Association (HOA) and the creation of Conditions, Covenants, and Restrictions (CC&R's) will be required so that the HOA will be responsible for maintaining all private streets, private street lights, private utilities, and other privately owned common areas and facilities on the site, including, but not limited to, cleanwater treatment facilities, landscaping, preservation and replacement of trees, as well as decorative paving. For any necessary repairs performed by the City in locations under the on-site decorative paved areas, the City shall not be responsible for the replacement cost of the decorative paving. The replacement cost shall be borne by the HOA established to maintain the common areas within the association boundary. The common area landscaping includes all areas except the private yards. The CC&R's will also contain a standard condition that if the homeowners' association fails to maintain the common areas, private streets, lights and utilities, the City of Hayward will have the right to enter the subdivision and perform the necessary work to maintain these areas and lien the properties for their proportionate share of the costs.

Findings for the Vesting Tentative Tract Map - In order for a Vesting Tentative Tract Map to be approved, the Planning Commission must make the following findings, as recommended by staff:

- (1) The approval of Vesting Tentative Map Tract 7991, as conditioned, will have no significant impact on the environment, cumulative or otherwise. A Negative Declaration was prepared per the guidelines of the California Environmental Quality Act (CEQA) for the development of this site.
- (2) The tentative tract map substantially conforms to the State Subdivision Map Act, the City's Subdivision Regulations, the General Plan, and the City of Hayward Zoning Ordinance.
- (3) Upon the completion of remediation recommended by the project Geotechnical Engineer the site is physically suitable for the proposed type of development.
- (4) The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

- (5) The design of the subdivision and the proposed improvements are not likely to cause serious health problems.
- (6) Upon completion of the proposed improvements the streets and utilities would be adequate to serve the project.
- (7) None of the findings set forth in Section 66474 of the Subdivision Map Act for denial of a tentative map have been made.

ENVIRONMENTAL REVIEW

This proposal is defined as a “project” under the parameters set forth in the California Environmental Quality Act (CEQA) Guidelines. Staff has prepared a Mitigated Negative Declaration and Initial Study (Attachment IV), which indicates there will be no significant environmental impacts resulting from the project provided the mitigation measures are incorporated into the project. Historical pesticide and herbicide use on the property has resulted in remnant arsenic, lead and chlordane on the project site and must be cleaned up prior to any grading or construction on the project site and the site clearance provided by either the State Department of Toxic Substances Control or the Regional Water Quality Control Board. The associated mitigation measures have been included as project conditions of approval. The environmental document was made available for public review from April 23 through May 13, 2011. No comments were received.

PUBLIC CONTACT

When the application was first received, notice was sent to all property owners within a 300-foot radius of the project site indicating we had received an application for development on this site and informing of a preliminary meeting that would be held to provide the public an opportunity to review and comment on the project. This meeting was held on November 18, 2010. Two neighborhood residents attended this meeting and expressed their support for the proposed project. They liked the design of the homes and were pleased that the proposal included two-story single-family detached homes.

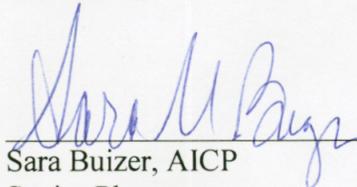
The applicant also conducted some additional outreach with the community. The City has been conducting Neighborhood Partnership Meetings throughout neighborhood in the City. One such meeting was held in the Burbank neighborhood on January 24, 2011. Project representatives were in attendance at this meeting to share the plans for the proposed site. In addition, they were also in attendance at a subsequent Neighborhood Partnership meeting for this same neighborhood held on April 25, 2011. In both instances, the community seemed supportive of the proposed project. Suggestions were made to incorporate the use of alternative materials, such as stucco, on some of the homes for variety. Additionally, comments were made regarding the undergrounding of existing overhead utility lines.

Lastly, a notice of this public hearing was sent to all property owners within a 300-foot radius as well an expanded notification list that included all property owners along B Street.

NEXT STEPS

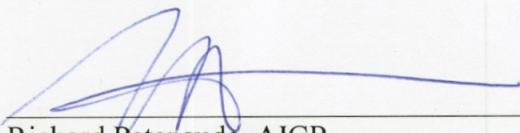
Following the Planning Commission hearing and assuming the Commission recommends approval of the project, the City Council will hear the item along with the Planning Commission's recommendation and render a decision on the proposed Mitigated Negative Declaration, Zone Change and Vesting Tentative Tract Map Applications. Should the Council approve the project, the applicant will work toward complying with the conditions of approval to allow approval of a precise development plan, approval of a final map and ultimately allow for construction of the project.

Prepared by:



Sara Buizer, AICP
Senior Planner

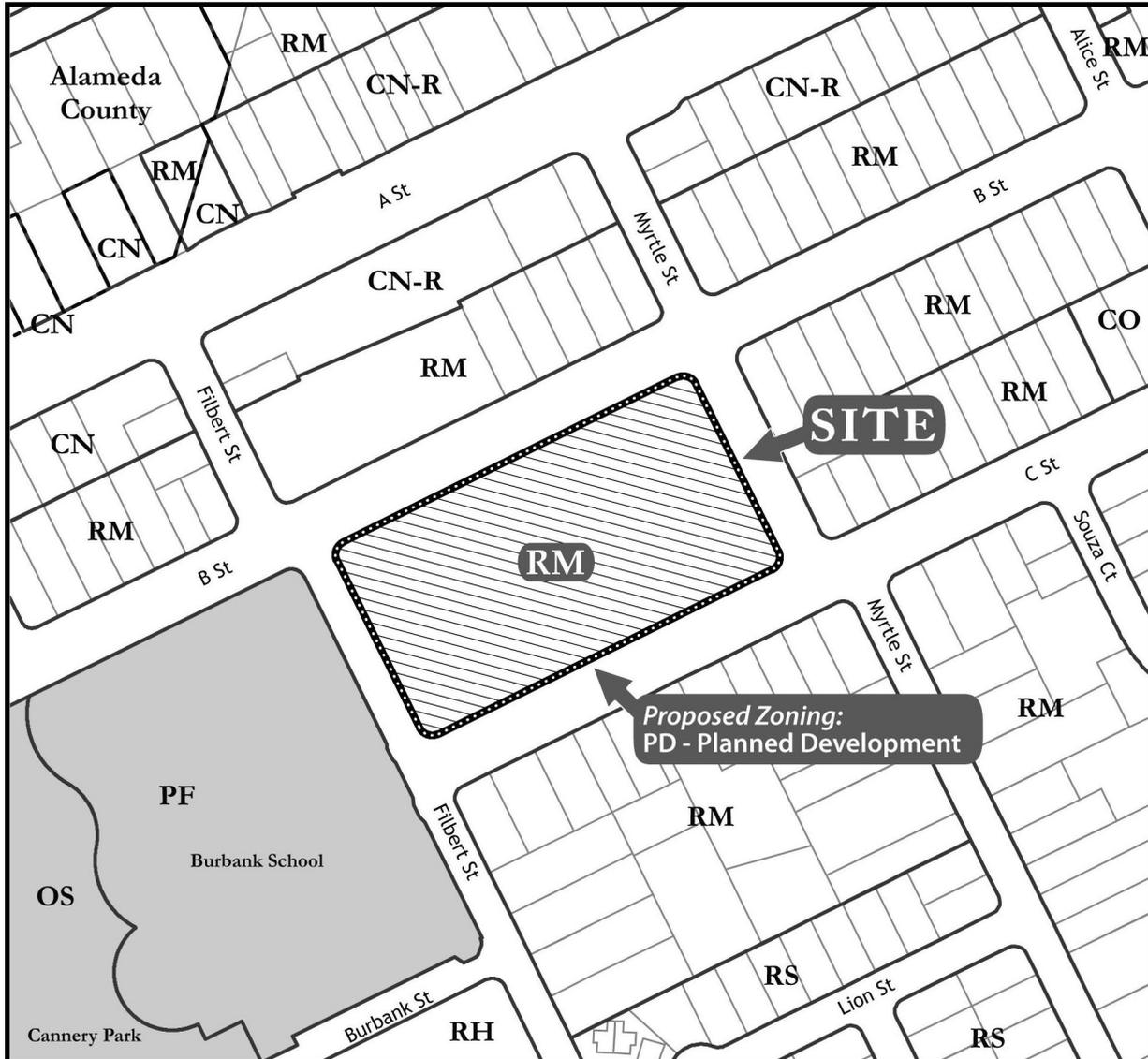
Recommended by:



Richard Patenaude, AICP
Planning Manager

Attachments:

- Attachment I Area and Zoning Map
- Attachment II Findings for Approval
- Attachment III Conditions of Approval
- Attachment IV Initial Study and Mitigated Negative Declaration
- Attachment V Mitigation Monitoring and Reporting Program
- Attachment VI Solar Site Plan
- Plans



Area & Zoning Map

PL-2010-0403 ZC,
 PL-2010-0405 TTM

Address: 376 C Street
 Applicant: Perry Hariri
 Owner: City of Hayward

Zoning Classifications

- RESIDENTIAL**
- RH High Density Residential, min lot size 1250 sqft
- RM Medium Density Residential, min lot size 2500 sqft
- RS Single Family Residential, min lot size 5000 sqft
- COMMERCIAL**
- CN Neighborhood Commercial
- CN-R Neighborhood Commercial/Residential
- CO Commercial Office
- OPEN SPACE**
- OS Open Space
- OTHER**
- PD Planned Development
- PF Public Facilities



FINDINGS FOR APPROVAL

Zone Change Application No. PL-2010-0403 and Vesting Tentative Tract Map Application No. PL-2010-0405

Findings for Approval – California Environmental Quality Act:

1. The proposed project has been reviewed according to the standards and requirements of the California Environmental Quality Act (CEQA) and an Initial Study Environmental Evaluation Checklist has been prepared for the proposed project. The Initial Study has determined that the proposed project, with the recommended mitigation measures, could not result in significant effects on the environment. A Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program have been prepared, which reflect the independent judgment of the City of Hayward
2. The project will not adversely affect any scenic resources. A lighting plan will be required to ensure that light and glare do not affect area views. Also, compliance with the City's Design Guidelines will ensure visual impacts are minimized. Landscape plans will also be required to ensure that structures are appropriately screened.
3. The project will not have an adverse effect on agricultural land since the subject site is not used for such purposes, does not contain prime, unique or Statewide important farmland.
4. The project is consistent with the General Plan Land Use designation for the site and the Cannery Area Design Plan and will not result in significant impacts related to air quality.
5. The project, proposed on properties surrounded by other residential development and within an urbanized area, will not result in significant impacts to biological resources, including protected trees.
6. The project will not result in significant impacts to known cultural resources including historical resources, archaeological resources, paleontological resources, unique topography or disturb human remains.
7. The project will not result in significant impacts to geology and soils as the site is not located within a geologic hazard zone or liquefaction zone. The project is located west of the Hayward fault, which poses potential risk to any development in the city of Hayward. Recommendations of the project geotechnical engineer will be required to be incorporated into project design and implemented throughout construction, to address such items as seismic shaking. Construction will also be required to comply with the California Building Code standards to minimize seismic risk due to ground shaking.
8. Any hazardous materials, including potential arsenic, lead and chlordane associated with historical pesticide and herbicide use on the property, will be required to be removed/treated in accordance with State and local regulations. A site clearance will also be required to be

obtained from either the State Department of Toxic Substances Control or the Regional Water Quality Control Board.

9. The project will be required to meet all water quality standards as part of the normal development review and construction process, to be addressed in a Stormwater Pollution Prevention Plan and Erosion Control Plan that utilize best management practices. Drainage improvements will be required to accommodate stormwater runoff, so as not to negatively impact the existing downstream drainage system of the Alameda County Flood Control and Water Conservation District.
10. The project proposes amendments to the Hayward zoning designation for the site, but is still consistent with the overall density supported by the Hayward General Plan. In addition, the project will be required to be consistent with the City of Hayward's Design Guidelines.
11. The project will not result in any long-term noise impacts. Construction noise will be mitigated through restriction on construction hours, mufflers, etc., to be approved as part of the building permit.
12. The project will not result in significant impacts related to population and housing in that the amount of development proposed is within the range of development analyzed in the Hayward General Plan.
13. The project will not result in a significant impact to public services in that development is at least as intensive as that proposed was analyzed in the Hayward General Plan EIR and found to have less-than-significant impacts.

Findings for Approval – Zone Change:

1. The development is in substantial harmony with the surrounding area and conforms to the General Plan and applicable City policies.

The project is consistent with the existing General Plan designation and policies related to providing a variety of housing types. The detached two-story single-family homes proposed on this site are more dense than the existing neighborhood to the east, but a much different housing type than is currently under construction at the Cannery just to the west which tend to be three-story townhomes. The exteriors of the homes are consistent with the design of the surrounding homes along B Street and consistent with the design required under the Cannery Area Design Plan, especially the incorporation of Craftsman and Victorian styles. Front porches are incorporated in the home design and the homes are oriented toward the surrounding streets providing the interaction with the existing neighborhood.

2. Streets and utilities, existing or proposed, are adequate to serve the development.

The proposed project is an in-fill development site surrounded by existing streets and there are utilities available to the site with adequate capacity to serve the proposed development.

3. The development creates a residential environment of sustained desirability and stability, that sites proposed for public facilities, such as playgrounds and parks, are adequate to serve the anticipated population and are acceptable to the public authorities having jurisdiction thereon, and the development will have no substantial adverse effect upon surrounding development.

The project applicant has proposed a development achieving an integration of density, livability and renewable energy sources that establishes a high standard for future development in the City. The site design maintains the continuity of the existing street design by providing front porches and entry doors that are oriented toward the surrounding streets and neighborhood, which provide the eyes on the public areas and encourage community interaction. Some useable open space and pedestrian connectivity is provided which allows for better circulation and access to surrounding amenities such as the school, parks, shopping and public transit. Lastly, the home designs offer a wide and flexible range of livability and lifestyles by integrating universal design features in many of the units.

4. Any latitude or exception(s) to development regulations or policies is adequately offset or compensated for by providing functional facilities or amenities not otherwise required or exceeding other required development standards.

The project is consistent with the Cannery Area Design Plan as well as the B Street Design guidelines. The applicant is seeking a Planned Development designation to provide flexibility in the site layout of the units. To off-set the flexibility the applicant desires, the project proposes to exceed the standards required under the Green Building Ordinance. The proposal is a green development which has been conditioned to achieve a minimum 100 point GreenPoint rating where the minimum required by the ordinance is 50 points or to alternatively seek LEED silver designation for each of the homes. In addition, the applicant will be seeking environmental and resource conservation recognitions and designations, such as LEED Neighborhood Design, for the proposed development. This project will serve as an example project for the City and hopefully will encourage more development like this in the future.

Findings for Approval – Vesting Tentative Tract Map:

1. The approval of Vesting Tentative Map Tract 7991, as conditioned, will have no significant impact on the environment, cumulative or otherwise. A Mitigated Negative Declaration was prepared per the guidelines of the California Environmental Quality Act (CEQA) for the development of this site.
2. The tentative tract map substantially conforms to the State Subdivision Map Act, the City's Subdivision Regulations, the General Plan, and the City of Hayward Zoning Ordinance.
3. Upon the completion of remediation recommended by the project Geotechnical Engineer the site is physically suitable for the proposed type of development.

4. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
5. The design of the subdivision and the proposed improvements are not likely to cause serious health problems.
6. Upon completion of the proposed improvements the streets and utilities would be adequate to serve the project.
7. None of the findings set forth in Section 66474 of the Subdivision Map Act¹ have been made.

¹ The findings of Section 66474 set forth the grounds for denial of a tentative map which are as follows:

- (a) That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.
- (b) That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.
- (c) That the site is not physically suitable for the type of development.
- (d) That the site is not physically suitable for the proposed density of development.
- (e) The design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- (f) That the design of the subdivision or type of improvements is likely to cause serious public health problems.
- (g) That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property with the proposed subdivision.

CONDITIONS OF APPROVAL

**Zone Change Application No. PL-2010-0403 and
Vesting Tentative Tract Map Application No. PL-2010-0405**

Urban Dynamic, LLC (Applicant)

GENERAL

1. Zone Change Application No. PL-2010-0403 is approved subject to the plans labeled Exhibit "A" and the conditions listed below. The Preliminary Development Plan Approval shall coincide with the approval period for the Vesting Tentative Tract Map.
2. If a building permit is issued for construction of improvements authorized by the Zone Change approval, said approval shall be void two years after issuance of the building permit, or three years after approval of the Precise Development Plan Approval, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance upon the Precise Plan approval.
3. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
4. Any proposal for alterations to the proposed site plan and/or design, which does not require a variance to the Zoning Ordinance, must be approved by the Planning Director prior to implementation.
5. This approval is tied to Vesting Tentative Tract Map 7991 and all conditions of approval of that map shall also apply to this approval.
6. Unless otherwise stated, all necessary easements shall be dedicated, and all improvements shall be designed and installed at no cost to the City of Hayward.
7. All improvements shall be designed and constructed in accordance with the City of Hayward Municipal Code – Chapter 10, Article 3, and Standard Specifications and Details – unless otherwise indicated hereinafter.
8. All construction shall meet the California Building Code (CBC) and all applicable City of Hayward Building Department Ordinances (Ordinance #02-13) and amendments.
9. Design and construction of all pertinent life safety and fire protection systems shall meet the California Fire Code and all applicable City of Hayward Fire Department Ordinances (Ordinance #02-13) and amendments in use by the Hayward Fire Department.

10. The developer/subdivider's Professional Engineers registered to practice in the State of California shall perform all design work unless otherwise indicated.

Utilities

11. Sanitary sewer service is available subject to standard conditions and fees in effect at the time of application for service.
12. The sanitary sewer mains and appurtenances within the private streets shall be public main, designed and constructed to the City Standards and Specifications, and approved by the City Engineer.
13. All on-site sanitary sewer mains shall be eight-inch in diameter and manhole shall be installed at the change of flow direction, and the beginning and the end of each sanitary sewer main. The sanitary sewer mains shall be located a minimum of 10 feet from the water main.
14. Minimum horizontal separation between sanitary sewer main and storm drain pipe shall be four feet.
15. Each residential unit shall have a separate sanitary sewer lateral.
16. Sanitary sewer lateral for Lot 25 shall be connected to sewer main in C Street.
17. Only Water Distribution Personnel shall perform operation of valves on the Hayward Water System.
18. Provide water demand (gallons per minute) on the improvement plans so that proper water pipe and meter size may be determined. Calculations shall be based upon fixture units using current California Plumbing Code. Water meters serving each single-family residence shall be sized large enough to serve both domestic and fire sprinkler system.
19. Water service is available subject to standard conditions and fees in effect at the time of application for service.
20. The eight-inch in diameter water mains within the private streets shall be public mains, configured in a looped system, designed and constructed to the City Standards and Specifications, and approved by the City Engineer.
21. Where a public water main is in an unpaved easement, landscape/walkway area, or under decorative paving, stamped and colored concrete, or pavers, the water main shall be ductile iron pipe with shut-off valve at the beginning and ending of the pipe type change.
22. The eight-inch water main in street shall be located five feet from the face of curb (5.5 feet from back of curb).

23. Water laterals including meters are to be located a minimum of six feet from sanitary sewer laterals.
24. Each residential unit shall have an individual radio read water meter.
25. A reduce pressure backflow preventer shall be installed behind the water meter per City Standard Detail SD-202 for building with sprinkler system.
26. Separate irrigation water meters shall be installed for landscaping purposes.
27. A reduced pressure backflow preventer shall be installed behind the water meter for irrigation services, per City of Hayward Standard Detail 202.
28. Water lateral for Lot 25 shall be connected to the water main in C Street.
29. All service to dwellings shall be an "underground service" designed and installed in accordance with the Pacific Gas and Electric Company, AT&T (phone) Company and local cable company regulations. All facilities necessary to provide service to the dwellings, including transformers and switchgear, shall also be undergrounded.
30. The developer/subdivider shall provide and install appropriate facilities such as conduit, junction boxes, individual stub-outs, etc., to allow for future installation of a City-owned and maintained fiber optic network within the subdivision. The terminus shall be on B Street for future extension by the City.
31. All surface-mounted hardware (fire hydrants, electroliers, etc.) along the proposed private streets, driveways or public streets shall be located outside the sidewalk within the Public Utility Easement in accordance with the requirements of the City Engineer or, where applicable, the Fire Chief.
32. The joint trench design and location shall meet the approval of the City Engineer.
33. All utilities shall be designed in accordance with the requirements of the City and applicable public agency standards.

Fire Department

34. Two new fire hydrants are required. One will be at the intersection of C Street and Private Drive 'D'; and another one at the intersection of Myrtle Street and Private Entry Road 'A.' The actual locations of all proposed fire hydrants shall be approved by the Fire Chief and City Engineer. Fire hydrant locations shall be identified with blue reflective pavement markers installed in the street.

35. Fire hydrant shall be double steamer type hydrants with 2-4½” outlet and 1- 2½” outlet which shall be installed per City standards.
36. NFPA 13D residential fire sprinkler system shall be installed for each residential home. Separate submittals and additional permits are required for the installation of fire sprinklers.

PRECISE DEVELOPMENT PLAN

Planning Division

37. The Precise Plan shall also include provisions for project staging, designated areas for construction employee parking (on- and off-site), construction office, sales office (if any), hours of construction, provisions for noise and dust control, and common area landscaping.
38. The Precise Plan shall include the following:
 - a) A copy of these conditions of approval shall be included on a full-sized sheet(s) in the plan set.
 - b) The plan elevations should incorporate more variety at the Precise Plan stage. Incorporate other exterior materials and design elements, such as stickwork in gables or porch, dormers, window boxes and triangular brace supports for the Craftsman elevations and exposed rafter ends, raised horizontal and vertical bands and siding applied in varying direction for the Victorian elevations.
 - c) Details of address numbers shall be provided. Address number shall be decorative. Building addresses shall be minimum 4-inch self-illuminated or 6-inch on contrasting background. Address numbers shall be installed so as to be visible from the street.
 - d) Details and locations of any decorative walls shall be included and approved by the Planning Director.
 - e) Show an exterior hose bib for each patio, or porch area.
 - f) Show fencing and fencing details. The pavement at the private driveway entries shall be enhanced by the use of decorative pavement materials such as colored, stamped concrete (bomanite or equal), brick, concrete interlocking pavers or other approved materials. The location, design and materials shall be approved by the Planning Director. Consideration shall be given to utilizing this material for the entire length of the interior streets.
 - g) Pedestrian walkways fronting the building(s) and the six private driveways shall be enhanced with decorative materials such as inset brick, exposed aggregate, bomanite stamped concrete, interlocking pavers or other approved material.
 - h) Grouped mailbox design and locations, subject to Post Office approval, shall be approved by the Planning Director. The shown locations may need to be modified so they can more easily be accessed by both the Post Office and future residents.
 - i) A lighting plan prepared by a qualified illumination engineer shall be included to show exterior lighting design. Exterior lighting shall be erected and maintained so

- that adequate lighting is provided in all common areas. The Planning Director shall approve the design and location of lighting fixtures, which shall reflect the architectural style of the building(s). Exterior lighting shall be shielded and deflected away from neighboring properties and from windows of houses within the project.
- j) All air conditioners and utility connections for air conditioners shall be located such that all external equipment is located behind solid board fences or walls not to exceed the height of the air conditioner unless otherwise approved by the Planning Director. Infrastructure for air conditioning systems is required to be installed as a standard feature.
 - k) All parking spaces are to meet minimum City of Hayward on-street and off-street parking standards.
 - l) An area within each garage for individual garbage and recycling receptacles shall be provided and shall be clear of the required area for two cars.
 - m) A color and materials board shall be submitted to the Planning Director for review and approval. No changes to colors shall be made after construction unless approved by the Planning Director.
 - n) All above-ground utility meters, mechanical equipment and water meters shall be enclosed within the buildings or shall be screened with shrubs and/or an architectural screen, to be approved by the Planning Director.
 - o) No mechanical equipment, other than the approved solar panels, shall be placed on the roof unless it is completely screened from view by the proposed roof structure. All roof vents shall be shown on roof plans and elevations. Vent piping shall not extend higher than required by building Code. Roof apparatus, such as vents, shall be painted to match the roof color.
 - p) If desired, a maximum of one identification sign per public road entrance shall be permitted. The signs shall conform to Section 10-7.403(b)(2) of the Sign Ordinance regulations, with the locations to be approved by the Planning Director. Sign design, colors, and materials shall reflect the architectural style of the project and shall be approved by the Planning Director.
 - q) Rooflines shall be articulated to break up bulky facades. Dormer elements are acceptable. Large expanses of blank wall are not allowed. Articulate such expanses to avoid bulkiness.
 - r) All decorative window treatments shall be extended to all elevations.
 - s) All rear and side entries shall be protected by roofs with rooflines to match the pitch of roof of the front porch.
 - t) All parking stall dimensions shall conform to the City's Off-street Parking Ordinance. All two car garages shall have the interior dimensions of 20-foot width by 19-foot depth. The dimensions shall be shown on plans. No doors, stairs, landings, laundry facilities, trash/recycle containers or HVAC shall project within the required interior parking areas.

Landscape Division

39. Prior to application for a building permit, a Precise Plan shall be submitted for approval by the Planning Director and shall include detailed landscaping and irrigation plans, detailed plans for all site amenities, details for decorative paving, decorative electroliers, details for fencing, walls, architectural plans, sign details, samples of exterior colors and building materials, and screening of all above-ground utilities, transformers and utility meters. The precise plan shall also reflect the design of other public improvements.
40. Project data sheet or the first sheet of the landscape plan shall provide the following project information requested in the Hayward Environmentally Friendly Landscape Guidelines and Checklist: Total project size in square feet, required common open spaces per the City Ordinance and planned common open spaces, total irrigated landscape area in square feet, turf area in square feet, Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use (ETWU). The provided MAWA and ETWU didn't use the most current standard in both the Hayward Environmentally Friendly Landscape Guidelines and Checklist and the City's Bay-Friendly Water Efficient Landscape Ordinance.
41. The base information for all submitted plans must match.
42. Even though the submitted landscape plan is an illustrative conceptual plan, the landscape design shall incorporate plant materials which work for the location and space allowed. Total quantity of proposed trees should not differ substantially on the landscape improvement plan unless major changes occur to the development plan: See Civil's TM.4 plan for proposed water, sewer and storm drain lines through the central area, Parcel C.
43. Submit a revised arborist report that complies with the requirements in the City's Tree Preservation Ordinance. The report shall include Magnolia trees on Filbert Street and the appraised value for both Magnolia and Sycamore trees. The report shall be reviewed and approved by the City. The appraisal shall use the latest edition of "Guide for Plant Appraisal" by the International Society of Arboriculture. Provide ISA worksheet per each trees are subjected for valuation.
44. A tree preservation bond that equals the approved appraised value of the trees that would be impacted from the development will be required prior requesting a grading permit.
45. The arborist report shall also include recommendations for protecting existing trees during the entire construction period.
46. Every unit shall have a minimum of one 24"-box tree in the front yard in addition to the street tree requirements. Parcels that front interior streets/driveways shall be subjected to the same street tree planting requirements.
47. The minimum dimension for planting width shall be 5 feet in all directions measured from edge to edge of paving or back of curb.

48. The six feet lattice top with wire mesh bottom fence is proposed at the back of sidewalk at Lot 30, 31 and 36 is not acceptable. Wire mesh portion of the fence shall be replaced with solid wood panels and buffer planting area shall be provided between the proposed fence and the sidewalk to soften the street frontage. The solid fence at the proposed location could be considered when the fence would be constructed with high quality finished wood with trellis on the top, and an adequate planting that could properly cover the fence and the trellis from the planting areas immediately next to the fence must be provided.
49. Landscape submittal must comply with the requirements in the Hayward Environmentally Friendly Landscape Guidelines and Checklist. Some of the missing information includes, but is not limited to, a landscape concept statement, watering requirements for proposed plants, and a better-defined hydrozone map.
50. Do not place high and low water requiring plants into one hydrozone and put them on the same irrigation valve. When creating a hydrozone map, the locations and microclimate zones of the proposed planting areas, mostly in narrow strips between buildings, must be taken into considerations in addition to the sun orientation.
51. Site lighting plan doesn't indicate the proposed light level to maintain. Provide information on desired light level and photometric demonstrating maintaining the desired level.
52. Coordinate with the project civil engineer and use one name for the bio-treatment: Civil used "bioretention area," Landscape architect used "bio-retention basin" and "bioswale." The term "bioswale" is no longer used and no longer allowed. Please refer to all as "bio-treatment" areas.
53. The central bio-treatment area shall be integrated into the overall landscape design rather than defining a narrow uniform strip. There is no plant reference for this area in the site plan.
54. The visual prominence of the fenced bio-retention area at the corner of B and Filbert Street calls for a better integrated and attractively designed rain garden, if a concentrated bio-retention area must be created. When it is designed well, it could serve as an educational tool teaching the purpose and the operations of rain garden for school children across Filbert Street and neighboring public with interpretative signs, and provide an attractive pedestrian connection to the development. This area should not be seen as a depressed grassy open space with a low metal picket fence.
55. Permeable pavers should be considered as an alternative paving material for private streets/driveways including the entry driveways to the development not only as a visual enhancement but as a way to reduce the total amount of impervious surface and reduce the total required bio-treatment area rather than relying on small amount of proposed planting areas for meeting the stormwater treatment requirements.
56. All trees shall be planted a minimum of 5-foot away from any underground utilities, a minimum of 15 feet from a light pole, and a minimum 30 feet from the face of a traffic signal, or as otherwise specified by the city. Trees shall be planted according to the City Standard Detail SD-122 and the detail shall be included in the landscape plans.

57. Root barriers for trees are required for trees planted in planting areas that are narrower than 7 feet against the curb. Minimum 10 feet long root barriers centered from the center of tree trunk shall be installed against back of curb or paving, and not around the tree rootballs.

TRACT IMPROVEMENTS PLANS

Engineering Division

58. Tract Improvement Plans shall be approved in concurrence with the Precise Development Plan. In concurrence with the submittal of Precise Development Plan submittal, submit the following proposed improvement plans with supporting documents, reports and studies:
- a) Three original Geotechnical Investigation Reports for the proposed development prepared by a State of California licensed Professional Engineer who is authorized to prepare such report;
 - b) Sixteen full size (22"x34") sets of Preliminary Tract Improvement Plans including Grading and Erosion and Sediment Control Plans. Two sets of plans shall have original signatures;
 - c) Five sets of Drainage Plan, Hydrology map with supporting calculations and reports;
 - d) Five sets of Cleanwater treatment plan with supporting calculations and reports;
 - e) Three original Storm Water Pollution Prevention Plans (SWPPP) prepared by a Qualified SWPPP Developer (QSD);
 - f) Sixteen full size (22"x34") sets of Landscaping and irrigation plans prepared by a State of California licensed Landscape Architect. These sets of plans shall be submitted in concurrence with the Preliminary Improvement Plans;
 - g) Ten sets of Preliminary Final Map;
 - h) A complete Development Building Application Information Form consisting of: 1) Impervious Material Form and 2) Operation and Maintenance Information Form, which is available at Public Works Engineering and Transportation Division.

Utilities

59. Provide water demand (gallons per minute) on the improvement plans so that proper water pipe and meter size may be determined. Calculations shall be based upon fixture units using current California Plumbing Code. Water meters serving each single-family residence shall be sized large enough to serve both domestic and fire sprinkler system.

PRIOR TO GRADING ACTIVITIES AND DURING ON-SITE CONSTRUCTION

60. Unless other stated, all documents, agreements, required improvement bonds or securities, completely signed improvement plans, and signed final map shall be submitted to the City for approval prior to presenting to the City Council for approval.
61. A copy of these approved conditions of approval shall be inscribed on full-sized sheets in the tract improvement plan sheets.
62. If any appropriate historical artifacts are unearthed on the site within the area covered by the final map in connection with the construction of the proposed project than all ground-disturbing activities within 30 feet of where the artifacts is found shall be immediately stopped and an archaeologist shall be called to monitor and evaluate the resource.
63. If any human remains are found during grading or construction, all ground-disturbing activities shall be immediately stopped and the following parties must be contacted: The City of Hayward Planning Director, the contractor's point of contact, the Coroner of the County of Alameda, the native American Heritage Commission (NAHC) in Sacramento and the Yrgin band of Ohlones.
64. Prior to any construction or grading activities on site, the contaminated soil remediation, as identified in the Phase I Environmental Site Assessment and the Phase II Soil Quality Evaluation conducted on the project site by TRC Lowney in 2006, shall occur.
65. Prior to the issuance of a grading permit and/or the beginning of any construction activity on-site, detailed grading, erosion and sediment control measures and drainage plans with supporting calculations and a completed Drainage Review Checklist shall be reviewed and approved of the City Engineer.
66. Prior to the issuance of a grading permit and/or the beginning of any construction activity on-site, the developer/subdivider's Engineer shall submit a completed 1) Development and Building Application Information: Impervious Surface Form, 2) Operation and Maintenance Information for Stormwater Treatment Measures Form, and 3) Information Request for Stormwater Treatment Measures Maintenance Agreement Form.
67. Prior to the issuance of a grading or building permit, the developer/subdivider shall provide a tree preservation bond, surety or deposit, equal in value to the trees to be preserved. The bond, surety or deposit shall be returned two years after the tract is accepted if the trees are found to be in a healthy, thriving and undamaged condition. The developer/subdivider shall provide an arborist's report evaluating the condition of the trees at that time.
68. Prior to the issuance of a tree removal permit, landscape plans including a tree mitigation summary shall be submitted to the City Landscape Architect for review and approved. That approved landscape plans and a summary of list of trees to be removed shall be attached to the tree removal permit.

69. Recommendations of the project geotechnical consultants, Terrasearch Inc., shall be implemented, including those related to ground-motion parameters for use in structural design of buildings.
70. Geotechnical Investigation Report, Tract Improvement Plans, Grading and Erosion Control Plans, Drainage plans and calculations, SWPPP, and Landscaping and irrigation plans shall be reviewed and approved by the City Engineer. Subject plans shall, in addition to the standard improvements, incorporate the following conditions and design requirements:

Public Streets

B Street:

- a) All existing utility poles and overhead utility lines along the project B Street frontage shall be removed and placed underground. Location of utility joint trench shall be reviewed and approved by the City Engineer.
- b) Existing easement shall be dedicated as right-of-way for the installation of a pedestrian ramp at corner of B and Myrtle Streets.
- c) Standard LED street lights shall be installed along the project B Street frontage.
- d) Existing improvements along B Street shall be removed and replaced with new Portland Cement Concrete as follows: new four-foot sidewalk shall be installed along the property line, and new curb and gutter may be realigned to release stresses to existing trees as recommended by the Arborist. Location of new curb and gutter alignment shall be based on the Arborist's recommendation and as approved by the City Engineer.
- e) Remove and reconstruct the existing pedestrian ramp on the southwest corner of B Street and Myrtle Street.
- f) Half width of B Street pavement section shall be ground two inches and overlaid with new asphalt pavement. Pavement tie-in shall be seven inches of deep lift asphalt and a minimum of four feet wide.

- g) B Street from Filbert Street to Myrtle Street shall be restriped, including parking stall markers.
- h) Two new private individual driveway approaches are allowed on B Street.

C Street:

- i) Existing improvements along C Street shall be removed and replaced with new Portland Cement Concrete as follows: new four-foot sidewalk shall be installed generally along the property line and meandered at the proposed private entry road 'B,' new curb and gutter shall be constructed generally four-foot toward C Street centerline from its original location. Curb returns and bulb-outs shall be designed to facilitate street sweeping. Five pedestrian ramps shall be installed along C Street. Pavement tie-in shall be seven inches of deep lift asphalt and a minimum of four feet wide.
- j) Existing easement shall be dedicated as right-of-way for the installation of a pedestrian ramp at corner of C and Myrtle Streets
- k) C Street from Filbert Street to Myrtle Street shall be restriped, including parking stall markers.
- l) One new private individual driveway approach is allowed on C Street.
- m) Project entrance on C Street shall be a standard street opening conforming to City SD-110A.

Myrtle Street:

- n) All existing utility poles and overhead utility lines along the project Myrtle Street frontage shall be removed and placed underground.
- o) Half width of Myrtle Street pavement section shall be removed and replaced with at least seven-inch full depth asphalt pavement section.
- p) Existing improvements along Myrtle Street shall be removed and replaced with new Portland Cement Concrete as follows: new four-foot sidewalk shall be installed generally four-foot away from the property line and meandered at the proposed private entry road 'A,' new curb and gutter shall be constructed generally three-foot toward Myrtle Street centerline from its original location. Curb returns and bulb-outs shall be designed to facilitate street sweeping.
- q) Four pedestrian ramps shall be installed along Myrtle Street: one each at the northwest and northeast corners of Myrtle and C Street; and on either side of the main entrance off Myrtle Street.
- r) Myrtle Street from B Street to C Street shall be restriped, including parking stall markers.

- s) Two new private individual driveway approaches are allowed on Myrtle Street.
- t) Project entrance on Myrtle Street shall be a street type opening conforming to City SD-110A.

Filbert Street:

- u) Any damaged and/or broken sidewalk along Filbert Street project frontage as determined by the City Engineer or his/her designee shall be removed and replaced.
- v) Full width of Filbert Street pavement section where street section is proposed to be cut for installation of underground utilities shall be ground two inches and overlaid with new asphalt pavement. The existing Portland cement concrete valley gutter at the intersection of Filbert and B Streets shall be removed and replaced after the installation of underground utilities.
- w) One pedestrian ramp shall be installed at the northeast corner of Filbert Street and C Street providing connection to Burbank Elementary School.
- x) One new private individual driveway approach is allowed on Filbert Street.
- y) Filbert Street from B Street to C Street shall be restriped, including parking stall markers.

Private Streets

- z) Proposed private street improvements shall be designed, generally reflective of the alignment and width shown on the submitted vesting tentative tract map, and as approved by the City Engineer.
- aa) The two private streets shall have twenty-two-foot right-of-way with travel lane width of twenty-one-foot measuring from the face of curb to face of curb and shall be constructed to the same standards as a public street.
- bb) The private streets shall be designed to facilitate street sweeping, including the layout of trees and pedestrian ramps. The Homeowners' Association shall be responsible for street sweeping on a regular basis.
- cc) At least ten feet of decorative pavement section e.g. interlocking pavers or stamped colored concrete, or bands of decorative paving, etc. shall be installed at the project entrances from the front property line. One foot concrete band shall be provided around decorative materials. The Planning Director shall approve the material, color and design and the City Engineer shall approve the pavement section for the decorative paving. Decorative pavements shall be capable of supporting a 75,000 lb. GVW load.

- dd) Upon any necessary repairs to the public facilities under the on-site decorative paved areas, the City shall not be responsible for the replacement cost of the decorative paving. The replacement cost shall be borne by the homeowners' association.
- ee) No on-street parking shall be allowed within the two private streets. The curbs shall be painted red and "No Parking" signs shall be installed along the sides of the private streets. The locations of signs and red curbs shall be approved by the Fire Chief and City Engineer.
- ff) The on-site streetlights and pedestrian lighting shall have a decorative design approved by the Planning Director. The locations of the lights shall be shown on the improvement plans and shall be approved by the City Engineer. Submit a copy of the photometric plans with the improvement plans. Such fixtures shall have shields to minimize "spill-over" lighting on adjacent properties that are not part of the tract. New project are required to comply with the Green Building Standards which require new projects to have zero direct-beam illumination leaving the site and exterior luminaries must be shielded allowing no more than .01 foot-candle to escape 15 feet beyond the site boundary.
- gg) All rolled curb and gutter shall have eighteen-inch gutter. The height of the curb from flow line to top of curb shall be four inches. The high side of the street shall have a rolled curb with a spill gutter.
- hh) The interior intersections shall be designed to meet Fire Department access and turning movements. Pedestrian ramps shall be installed to facilitate access and circulation throughout the development.
- ii) The private street shall be designed with a TI of five and minimum AC thickness of four inches.

Storm Drainage

- 71. The on-site storm drain system shall be a private system owned and maintained by the homeowners' association.
- 72. Minimum storm drain pipes in the street shall be 12-inch in diameter RCP pipes. Minimum cover over the pipe shall be three feet.
- 73. The development shall not block runoff from, or augment runoff to, adjacent properties. The drainage area map developed for the hydrology design shall clearly indicate all areas tributary to the project site. Mitigation measures will be required to mitigate augmented runoff with off-site and/or on-site improvements.
- 74. The latest edition of the Alameda County Flood Control and Water Conservation District's Hydrology and Hydraulics Criteria Summary shall be used to design the storm drain system. A

detailed grading and drainage plan with supporting calculations and a completed Drainage Review Checklist shall be submitted, which shall meet the approval of the City Engineer, and in case of referral, the Alameda County Flood Control and Water Conservation District.

75. The storm drains in the street shall be located one foot from the face of curb for pipes up to twenty four inches in diameter.
76. No surface runoff is allowed to flow over the sidewalks and/or driveways. Area drains shall be installed behind the sidewalks to collect all runoff from the project site.
77. All storm drain inlets must be labeled "No Dumping - Drains to Bay," using City-approved methods.
78. An erosion and sedimentation control plan to prevent soil, dirt, debris and contaminated materials from entering the storm drain system, in accordance with the regulations outlined in the ABAG Erosion and Sediment Control Handbook shall be approved by the City Engineer prior to implementing throughout project construction.

Stormwater Quality Requirements:

79. A Storm Water Pollution Prevention Plan shall be submitted with a design to reduce discharge of pollutants and sediments into the downstream storm drain system for review and approval of the City Engineer.
80. The project plans shall include the storm drain design in compliance with post-construction stormwater requirements to provide treatment of the stormwater according to the National Pollutant Discharge Elimination System (NPDES) permit's numeric criteria. The storm drain design shall comply with the C.3 established thresholds and shall incorporate measures to minimize pollutants to the maximum extent practicable (MEP).
81. The project plans shall identify Best Management Practices (BMPs) appropriate to the uses conducted on-site to effectively prevent the entry of pollutants into storm water runoff. Roof leaders shall discharge into a landscaped area or a grassy swale prior to stormwater runoff entering an underground pipe system.
82. The proposed BMPs shall be designed to comply with the hydraulic sizing criteria listed in Provision C.3 of the Alameda County Clean Water Program (ACCWP) NPDES permit (page30). In addition, the California Stormwater Quality Association's Stormwater Best Management Practice Handbook New Development and Redevelopment, Subsection 5.5 on pages 5 – 12 has a section titled "BMP Design Criteria for Flow and Volume." Those materials are available in the internet at www.cabmphandbooks.com for your reference.

83. The project should be designed to direct runoff to the landscaped yards and common space, prior to entering into the underground pipe system. Unit pavers should also be considered for impervious areas such as the driveways, parking areas and fire truck turnarounds.
84. The developer/subdivider is responsible for ensuring that all contractors are aware of all storm water quality measures and implement such measures. Failure to comply with the approved construction BMPs will result in the issuance of correction notices, citations or a project stop order.
85. Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration, and minimize the use of fertilizers and pesticides that can contribute to stormwater pollution. Where feasible, as determined by the City Engineer and Landscape Architect, landscaping should be designed and operated to treat stormwater runoff. Landscaping shall also comply with the City's "water efficient landscape ordinance."
86. Required water system improvements shall be completed and operational prior to the start of combustible construction.
87. The following control measures for construction noise, grading and construction activities shall be adhered to, unless otherwise approved by the Planning Director or City Engineer:
 - a) Grading and site construction activities shall be limited to the hours 7:30 AM to 6:00 PM Monday through Friday with no work on weekends and Holidays unless revised hours and days are authorized by the City Engineer. Building construction hours are subject to Building Official's approval.
 - b) Grading and construction equipment shall be properly muffled.
 - c) Unnecessary idling of grading and construction equipment is prohibited.
 - d) Stationary noise-generating construction equipment, such as compressors, shall be located as far as practical from occupied residential units.
 - e) Developer/subdivider shall designate a "noise disturbance coordinator" who will be responsible for responding to any local complaints about construction noise.
 - f) The developer/subdivider shall participate in the City's recycling program during construction.
 - g) Daily clean up of trash and debris shall occur along all peripheral streets and other neighborhood streets utilized by construction equipment or vehicles making deliveries.
 - h) The site shall be watered twice daily during site grading and earth removal work, or at other times as may be needed to control dust emissions.
 - i) All grading and earth removal work shall follow remediation plan requirements, if soil contamination is found to exist on the site.
 - j) All unpaved access roads, parking areas and staging areas at construction sites shall be paved, have water applied three times daily, or non-toxic soil stabilizers applied.
 - k) All paved access roads, parking areas and staging areas at construction sites shall be swept daily (with water sweepers).
 - l) Inactive construction areas (previously graded areas inactive for 10-days or more) shall have non-toxic soil stabilizers applied, or shall be hydroseeded.

- m) Exposed stockpiles (dirt, sand, etc.) shall be enclosed, covered, watered twice daily or applied with non-toxic soil binders.
 - n) Construction debris shall be gathered on a regular basis and placed in a dumpster or other container that is emptied or removed on a weekly basis. When appropriate, tarps on the ground are to be used to collect fallen debris or splatters that could contribute to storm water pollution.
 - o) The sidewalks and public street pavement adjoining the project site shall be broom-swept on a daily basis. Caked on mud or dirt shall be scraped from these areas before sweeping.
 - p) All dirt, gravel, rubbish, refuse and green waste from the sidewalk, street, and storm drain system adjoining the project site shall be removed. During wet weather, driving vehicles off paved areas and other outdoor work areas shall be avoided.
 - q) No site grading shall occur during the rainy season, between October 15 and April 15, unless approved erosion control measures are in place.
 - r) Filter materials (such as sandbags, filter fabric, etc.) shall be installed at the storm drain inlet nearest the downstream side of the project site prior to: 1) start of the rainy season; 2) site dewatering activities; 3) street washing activities; or 4) saw cutting asphalt or concrete activities, or in order to retain any debris or dirt flowing into the storm drain system. Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and prevent street flooding. Dispose of filter particles shall be properly disposed in the trash.
 - s) A contained and covered area shall be created on the site for the storage of bags of cement, paints, flammables, oils, fertilizers, pesticides or any other materials used on the project site that have the potential for being discharged to the storm drain system through being windblown or in the event of a material spill.
 - t) Cleaning machinery, tools, brushes, etc., or rinsing containers, into a street, gutter, storm drain or stream is prohibited (see City's "*Building Maintenance/Remodeling*" flyer for more information).
 - u) Concrete/gunite supply trucks or concrete/plasters finishing operations shall not discharge washwater into street gutters or drains.
 - v) The developer/subdivider shall immediately report any soil or water contamination noticed during construction to the City Fire Department Hazardous Materials Division, the Alameda County Department of Health and the Regional Water Quality Control Board.
88. The developer/subdivider shall be responsible to adhere to all aspects of the approved Storm Water Pollution Prevention Plan (SWPPP) per the aforementioned condition of approval.
89. A representative of the project soils engineer shall be on the site during grading operations and shall perform such testing as deemed necessary by the City Engineer. The representative of the soils engineer shall observe all grading operations and provide any recommended corrective measures to the contractor and the City Engineer.
90. The minimum soils sampling and testing frequency shall conform to Chapter 8 of the Caltrans Construction Manual. The developer/subdivider shall require the soils engineer to submit daily all testing and sampling and reports to the City Engineer or his or her designee.

91. Tree preservation and protection measures, as required by the City Landscape Architect, shall be included in grading and improvement plans. Trees shall be fenced at the drip line throughout the construction period and shall be maintained in a healthy condition throughout the construction period. Where trees are being removed, mitigation for the removed trees equal to their value shall be provided as outlined in the City Tree Preservation Ordinance.
92. Tree protection measures information shall be provided for the off-site trees that are proposed to remain in place, where the site improvements or home construction would occur within the drip lines of such trees.
93. All common area landscaping, irrigation and other required improvements shall be installed according to the approved plans.

PRIOR TO FILING OF FINAL MAP

94. Submit the following documents for review, approval or for project records:
 - a) Copy of the Notice of Intent filed with State Water Resources Control Board;
 - b) Signed Stormwater Treatment Measures Maintenance Agreement;
 - c) Engineer's estimate of costs, including landscape improvements;
 - d) Signed Final Map;
 - e) Signed Subdivision Agreement;
 - f) Subdivision bonds.
95. Final Map shall be approved by the City Council. The City Council meeting will be scheduled approximately sixty days after the Final Map is deemed technically correct, and Improvement Plans with supporting documents, reports and agreements are approved by the City Engineer.
96. The final map shall reflect all easements needed to accommodate the public portions of the sanitary sewer and water systems that are outside of the private streets. The easements shall be a minimum of 12 feet wide. The private streets shall be designated as a Public Utility Easement (PUE), Public Assess Easement (PAE), Water Line Easement (WLS), Sanitary Sewer Easement (SSE) and Emergency Vehicle Access Easement (EVAE).
97. Pedestrian access easement (PAE) shall be created for those locations designated as pedestrian access shown on the approved Vesting Tentative Tract Map 7991.

98. Prior to the approval of the final map, all documents that need to be recorded with the final map shall be approved by appropriate department managers, and any unpaid invoices or other outstanding charges accrued to the City for the processing of the subdivision application shall be paid.

AGREEMENTS

99. The developer/subdivider shall execute a subdivision agreement and post bonds with the City that shall secure the construction of the public improvements per Section 10-3.332 of the Municipal Code: Security for Installation of Improvements. Insurance shall be provided per the terms of the subdivision agreement.
100. The Stormwater Treatment Measures Maintenance Agreement for the project, prepared by Public Works Engineering and Transportation Division staff, shall be signed and recorded in concurrence with the Final Map at the Alameda County Recorder's Office to ensure that the maintenance is bound to the property in perpetuity.

PRIOR TO CERTIFICATE OF OCCUPANCY

101. The final map shall be filed and approved by the City and recorded in the County Recorder's Office prior to the issuance of a Certificate of Occupancy of any unit.
102. Prior to a Certificate of Occupancy for any unit, the project applicant shall annex into the City's Communities Facilities District to off-set any impacts to City services.
103. The Homeowners' Association (HOA) shall be formed and the Conditions, Covenants, and Restrictions (CC&R's) shall be created so that the HOA will be responsible for maintaining all private streets, private street lights, private utilities, and other privately owned common areas and facilities on the site, including, but not limited to Cleanwater treatment facilities, landscaping, preservation and replacement of trees, as well as decorative paving. For any necessary repairs performed by the City in locations under the on-site decorative paved areas, the City shall not be responsible for the replacement cost of the decorative paving. The replacement cost shall be borne by the HOA established to maintain the common areas within the association boundary. The common area landscaping includes all areas except the private rear yards and the homes. The CC&R's will also contain a standard condition that if the homeowners' association fails to maintain the common areas; private streets, lights and utilities, the City of Hayward will have the right to enter the subdivision and perform the necessary work to maintain these areas and lien the properties for their proportionate share of the costs.
104. Prior to the sale of any lot to an individual owner (and not another developer or builder) or prior to the acceptance of site improvements, whichever first occurs, a homeowners' association shall be created to maintain the private streets, and common area landscaping as depicted on the approved Vesting Tentative Tract Map. The developer shall prepare the CC&R's prepared for the project and the CC&R's shall be reviewed and approved by the Planning Director. The CC&R's shall include the following conditions:

- a) Each owner shall automatically become a member of the association and shall be subject to a proportionate share of maintenance expenses.
- b) A statement regarding all HOA fees shall be provided to homeowners on bright paper.
- c) A reserve fund shall be maintained to cover the costs of replacement and repair of the private streets and private common area landscaping including the “paseos.”
- d) The association shall be managed and maintained by a professional property management company.
- e) The homeowners’ association shall be responsible for maintaining all private streets and other privately owned common areas and facilities on the site including landscaping. These maintenance responsibilities shall include implementing all stormwater BMPs associated with improvements and landscaping. The CC&R’s shall describe how the stormwater BMPs associated with privately owned improvements and landscaping shall be maintained by the association.
- f) The private streets and common landscaped areas shall be maintained in good repair, and free of debris at all times.
- g) A requirement that the building exteriors, fences, and walls shall be maintained free of graffiti. Each owner shall inspect the premises on a weekly basis and any graffiti shall be removed within 72 hours of inspection or within 72 hours of notification by the City’s Community Preservation Officer.
- h) The homeowners’ association shall maintain the common area irrigation system and maintain the common area landscaping in a healthy, weed-free condition at all times. The homeowner’s representative shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over 30 percent dieback) shall be replaced within 10 days.
- i) Landscaping and irrigation shall be maintained in all common areas or the City shall have the right to enter upon the property to maintain the exterior portions of the common area at the expense of the homeowners association pursuant to and to the extent authorized by Section 10-3.385 of the Subdivision Ordinance.
- j) The trees planted within the public streets shall be maintained and retained by the Homeowners Association. The homeowners association shall be responsible for replacing any tree removed within the landscape areas with a like kind/like size tree as others within the subdivision. The tree shall be replaced within 30-days of notification of its removal.
- k) Trees shall not be severely pruned, topped, or pollarded and any trees that are pruned in this manner shall be replaced with a tree species selected by, and size determined by the Landscape Architect, within the timeframe established by the City and pursuant to the Municipal code.
- l) Pursuant to and to the extent authorized by Section 10-3.385 of the Subdivision Ordinance, a provision that if the homeowners’ association fails to maintain the common area or private streets, so that owners, their families, tenants, guests or adjacent owners suffer or will suffer substantial diminution in the enjoyment, use or property value of the

- project, the City of Hayward shall have the right to enter upon the project and to commence and complete such work as is necessary to maintain the common areas and private streets, after reasonable notice, and lien the properties for their proportionate share of the costs.
- m) The garage of each unit shall be maintained for off-street parking and shall not be converted to living or storage areas. An automatic garage door opening mechanism shall be provided for all garage doors.
 - n) The homeowners association shall maintain in good repair all fencing, parking and street surfaces, common landscaping, lighting, drainage facilities, project signs, etc. The CC&Rs shall include provisions as to a reasonable time period that a unit shall be repainted, the limitations of work (modifications) allowed on the exterior of the building, the formation of a design review committee and its power to review changes proposed on a building exterior and its color scheme, and the right of the homeowners association to have necessary work done and to place a lien upon the property if maintenance and repair of the unit is not executed within a specified time frame. The premises shall be kept clean.
 - o) Utility meters, when not enclosed in a cabinet, shall be screened by either plant materials or decorative screen, allowing sufficient access for reading.
 - p) Any future modification to the approved site plan shall require review and approval by either the Planning Director or the Planning Commission as provided in the Municipal Code and Development Agreement.
 - q) Future additions to units are prohibited.
 - r) The CC&Rs shall specify the outdoor collection locations of trash and recycle containers. In addition, trash and recycle containers shall not be moved to the collection location more than 24 hours prior to collection and shall be removed within 24 hours after collection.
105. Park Dedication In-Lieu Fees are required for all new dwelling units. Fees shall be those in effect at the time of issuance of the building permit. All Park dedication in-lieu fees shall be paid prior to issuance of a Certificate of Occupancy for a residential unit.
106. Prior to issuance of a Certificate of Occupancy for any of the new dwelling units, the applicant shall submit documentation demonstrating the building(s) has/have been GreenPoint Rated in accordance with the City's Green Building Ordinance. Each home is required to meet a minimum of 100 points on the GreenPoint Rated checklist. Alternatively, the applicant may seek LEED silver designation for each of the homes. Documentation about the additional green features, including the charging stations within the garages, the solar packages and solar water heaters shall be provided for each unit. Documentation shall also be provided to the city regarding the LEED Neighborhood Design designation being sought for the development.
107. The final map shall be approved by the City and filed in the County Recorder's Office prior to the issuance of a Certificate of Occupancy of any unit.

108. The developer/subdivider shall be obligated for the following fees. The amount of the fee shall be in accordance with the fee schedule in effect at the time Vesting Tentative Map was accepted as complete, unless otherwise indicated hereinafter:

- a) Supplemental Building Construction and Improvement Tax;
- b) Building Construction and Improvement Tax;
- c) School Impact Fee;
- d) Water Facilities Fee and Sewer Connection Fee for each dwelling unit at the rate in effect when the utility service permit for the dwelling unit is issued;

109. Prior to granting occupancy, water service meters shall be installed by water distribution personnel at the developer/subdivider's expense. The application for water services shall be presented to the City Inspector.

110. Prior to the City installing the water meters, the developer/subdivider shall provide the Public Works-Utilities with certified costs covering the installation of the public water mains and appurtenances.

PRIOR TO CITY APPROVAL OF THE TRACT IMPROVEMENTS AS BEING COMPLETED

111. All tract improvements, including the complete installation of all improvements relative to streets, fencing, sanitary sewer, storm drainage, water system, underground utilities, etc., shall be completed and attested to by the City Engineer before approval of occupancy of any unit. Where facilities of other agencies are involved, such installation shall be verified as having been completed and accepted by those agencies.

112. All common area landscaping, irrigation and other required improvements shall be installed prior to acceptance of tract improvements, or occupancy of 80 percent of the dwelling units, whichever first occurs.

113. The improvements associated with the Pacific Gas and Electric Company, AT&T (phone) company and local cable company shall be installed to the satisfaction of the respective companies.

114. The developer/subdivider shall submit an "as built" plans on mylars and in compact disc containing files in PDF format, or acceptable formats, containing the following:

- a) All underground facilities, sanitary sewer mains and laterals, water services (including meter locations), Pacific Gas and Electric, AT&T (phone) facilities, local cable company, etc.
- b) All the site improvements, except landscaping species, buildings and appurtenant structures.



**CITY OF HAYWARD
MITIGATED NEGATIVE DECLARATION**

Notice is hereby given that the City of Hayward finds that could not have a significant effect on the environment as prescribed by the California Environmental Quality Act of 1970, as amended will occur for the following proposed project:

I. PROJECT DESCRIPTION:

Project title: Residual Burbank School Site; Zone Change Application No. PL-2010-0403 and Tentative Tract Map Application No. PL-2010-0405

Description of project: Request to change the Zoning from Medium Density Residential to Planned Development and to subdivide the property to construct fifty-seven detached single family homes. The project site is approximately 3.84 acres and is bounded by B Street, C Street, Myrtle Street and Filbert Street.

II. FINDING PROJECT WILL NOT SIGNIFICANTLY AFFECT ENVIRONMENT:

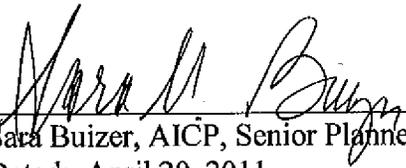
The proposed project, with the mitigation measures identified in the attached initial study checklist, will not have a significant effect on the environment.

FINDINGS SUPPORTING DECLARATION:

1. The proposed project has been reviewed according to the standards and requirements of the California Environmental Quality Act (CEQA) and an Initial Study Environmental Evaluation Checklist has been prepared for the proposed project. The Initial Study has determined that the proposed project, with the recommended mitigation measures, could not result in significant effects on the environment.
2. The project will not adversely affect any scenic resources. A lighting plan will be required to ensure that light and glare do not affect area views. Also, compliance with the City's Design Guidelines will ensure visual impacts are minimized. Landscape plans will also be required to ensure that structures are appropriately screened.
3. The project will not have an adverse effect on agricultural land since the subject site is not used for such purposes, does not contain prime, unique or Statewide important farmland.
4. The project is consistent with the General Plan Land Use designation for the site and the Cannery Area Design Plan and will not result in significant impacts related to air quality.
5. The project, proposed on properties surrounded by other residential development and within an urbanized area, will not result in significant impacts to biological resources, including protected trees.
6. The project will not result in significant impacts to known cultural resources including historical resources, archaeological resources, paleontological resources, unique topography or disturb human remains.

7. The project will not result in significant impacts to geology and soils as the site is not located within a geologic hazard zone or liquefaction zone. The project is located west of the Hayward fault, which poses potential risk to any development in the city of Hayward. Recommendations of the project geotechnical engineer will be required to be incorporated into project design and implemented throughout construction, to address such items as seismic shaking. Construction will also be required to comply with the California Building Code standards to minimize seismic risk due to ground shaking.
8. Any hazardous materials, including potential arsenic, lead and chlordane associated with historical pesticide and herbicide use on the property, will be required to be removed/treated in accordance with State and local regulations. A site clearance will also be required to be obtained from either the State Department of Toxic Substances Control or the Regional Water Quality Control Board.
9. The project will be required to meet all water quality standards as part of the normal development review and construction process, to be addressed in a Stormwater Pollution Prevention Plan and Erosion Control Plan that utilize best management practices. Drainage improvements will be required to accommodate stormwater runoff, so as not to negatively impact the existing downstream drainage system of the Alameda County Flood Control and Water Conservation District.
10. The project proposes amendments to the Hayward zoning designation for the site, but is still consistent with the overall density supported by the Hayward General Plan. In addition, the project will be required to be consistent with the City of Hayward's Design Guidelines.
11. The project will not result in any long-term noise impacts. Construction noise will be mitigated through restriction on construction hours, mufflers, etc., to be approved as part of the building permit.
12. The project will not result in significant impacts related to population and housing in that the amount of development proposed is within the range of development analyzed in the Hayward General Plan.
13. The project will not result in a significant impact to public services in that development is at least as intensive as that proposed was analyzed in the Hayward General Plan EIR and found to have less-than-significant impacts.

III. PERSON WHO PREPARED INITIAL STUDY:



Sara Buizer, AICP, Senior Planner
Dated: April 20, 2011

I. COPY OF ENVIRONMENTAL CHECKLIST IS ATTACHED

For additional information, please contact the City of Hayward, Planning Division, 777 B Street, Hayward, CA 94541-5007, telephone (510) 583-4200



**DEPARTMENT OF DEVELOPMENT SERVICES
Planning Division**

INITIAL STUDY CHECKLIST

Project Title: Residual Burbank School Site

Lead Agency Name/Address: City of Hayward / 777 B Street, Hayward, CA 94541

Contact Person: Sara Buizer, AICP, Senior Planner

Project Location: Southwest corner of B Street and Myrtle Street

Project Sponsors Name/Address: Urban Dynamic LLC / 390 Bridge Parkway, Suite C, Redwood Shores, CA 94065

General Plan Designation: Medium Density Residential

Zoning: Medium Density Residential

Project Description: Request to change the Zoning from Medium Density Residential to Planned Development and to subdivide the property to construct fifty-seven detached single family homes.

Surrounding Land Uses and Setting: The project site is located within an already developed area just east of downtown Hayward. Surrounding land uses include residential and an elementary school.

Other Public Agencies Whose Approval is Required: None

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

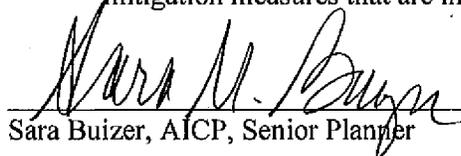
The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

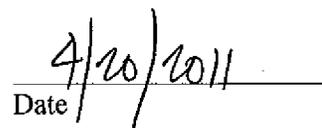
- | | | |
|---|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology /Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input checked="" type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology / Water Quality |
| <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities / Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.


 Sara Buizer, AICP, Senior Planner


 Date

EVALUATION OF ENVIRONMENTAL IMPACTS:

ENVIRONMENTAL ISSUES:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
I. AESTHETICS -- Would the project:				
a) Have a substantial adverse effect on a scenic vista? Comment <i>There are no designated scenic vistas in the vicinity of the project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to: trees, rock outcroppings, and historic buildings within a state scenic highway? Comment <i>The project is not located within a state scenic highway; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings? Comment <i>The existing site was previously developed with an elementary school and currently is a vacant lot. The proposed single family homes will add to the visual character of the site; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? Comment <i>The new residential units will add some additional light to this vacant property, but the amount is considered less than significant given the surrounding developed area; no mitigation is required.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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II. AGRICULTURE AND FOREST

RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. -- Would the project:

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? **Comment** *The project does not involve any Prime Farmland, Unique Farmland or Farmland of Statewide Importance; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? **Comment** *The project site is not zoned for agricultural uses nor under a Williamson Act contract; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))? **Comment** *The project does not involve the rezoning of forest land or timberland; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Result in the loss of forest land or conversion of forest land to non-forest use? **Comment** *The project does not involve the loss of forest land or involve conversion of forest land; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use? **Comment** *The project does not involve changes to the environment that could result in conversion of Farmland or forest land; thus no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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III. AIR QUALITY -- Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

a) Conflict with or obstruct implementation of the applicable air quality plan? **Comment** *The project is a residential in-fill project located near public transit and will not conflict with the goals of the air quality plan; thus no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? **Comment** *The Bay Area Air Quality Management District (BAAQMD) has established screening criteria as part of their CEQA guidance to assist in determining if a proposed project could result in potentially significant air quality impacts. Based on the District's criteria, the proposed project screens below what would require additional evaluation; thus the proposed project will not violate any air quality standard and the impact is less than significant.*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? **Comment** *The proposed project meets the screening criteria in Table 3-1 of the Air District's CEQA Guidelines; thus, it can be determined that the project would result in a less-than-significant cumulative impact to air quality from criteria air pollutants and precursor emissions.*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) Expose sensitive receptors to substantial pollutant concentrations? **Comment** *The project is an in-fill development located in an already developed area that will not involve exposing sensitive receptors to substantial pollutant concentrations; thus the impact is less than significant.*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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e) Create objectionable odors affecting a substantial number of people? **Comment** *The project is an in-fill residential development that will not create any objectionable odors; thus no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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IV. BIOLOGICAL RESOURCES -- Would the project:

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? **Comment** *The project site had previously been developed with an elementary school and the site is located in an area that is largely developed and does not contain plant or wildlife special-status species; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? **Comment** *The project area is largely developed and does not contain any riparian habitat or sensitive natural communities; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? **Comment** *The project site, located in an urban setting, contains no wetlands; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? Comment <i>The project site, located in an urban setting, and will not interfere with the movement of any migratory fish or wildlife species; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? Comment <i>The project site does not contain any significant stands of trees. There are some large Sycamore trees along the B Street side of the project that will be conditioned to be protected during construction; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? Comment <i>The project site is not located in an area covered by an adopted habitat Conservation Plan or Natural Community Conservation Plan; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

V. CULTURAL RESOURCES -- Would the project:

a) Cause a substantial adverse change in the significance of a historical resource as defined in § 15064.5? Comment <i>The project site is located in an area of Hayward that has historic or architectural character. The project has been designed to comply with the design standards of the Streetcar District; thus the impact to a historical resource is considered to be less-than-significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5? Comment <i>There are no known archaeological resources in the vicinity; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? Comment <i>There are no known paleontological resources or unique geological features on or near the site; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) Disturb any human remains, including those interred outside of formal cemeteries? **Comment** *There are no known human remains nor cemeteries nearby the project site; however, standard procedures for grading operations would be followed during development, which require that if any such remains or resources are discovered, grading operations are halted and the resources/remains are evaluated by a qualified professional and, if necessary, mitigation plans are formulated and implemented. These standard measures would be conditions of approval should the project be approved.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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VI. GEOLOGY AND SOILS -- Would the project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. **Comment** *The project site is located over 2600 feet west of the Hayward Fault zone; however, the building will be designed and constructed to withstand an earthquake; thus the impact is considered less-than-significant.*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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ii) Strong seismic ground shaking? **Comment** *The project site is located just west of the downtown Hayward area which will most likely experience strong ground shaking in the event of an earthquake rupturing on the Hayward Fault; however, the building will be designed and constructed to withstand an earthquake; thus the impact is considered less-than-significant.*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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iii) Seismic-related ground failure, including liquefaction? **Comment** *The project site is not located in an area prone to liquefaction due to seismic related ground failure; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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iv) Landslides? **Comment** *The project site is a flat lot located just west of the downtown Hayward area and not located in an area impacted by landslides; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Result in substantial soil erosion or the loss of topsoil? Comment <i>The project site is a flat, vacant lot whereby minimal grading will take place to prepare the site for construction. The project will implement soil erosion measures during construction; thus the impact is considered less-than-significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? Comment <i>The project is not proposed on soil that is unstable; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? Comment <i>The project site does not contain any expansive soils; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water? Comment <i>The project will be connected to an existing sewer system with sufficient capacity and does not involve septic tanks or other alternative wastewater; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

VII. GREENHOUSE GAS EMISSIONS --
Would the project:

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? Comment <i>The Bay Area Air Quality Management District (BAAQMD) has established screening criteria as part of their CEQA guidance to assist in determining if a proposed project could result in operational-related impacts to Greenhouse Gases. The project exceeds the screening criteria for operational greenhouse gases; however, once the actual impact is calculated using the Urban Land Use Emissions Model (URBEMIS), it was determined that the operational impact resulted in 900 MT of CO₂e/year, which is below the threshold of 1100 MT of CO₂e/year; thus the impact is considered less-than-significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases? **Comment** *As discussed in VIIa above, the project will not exceed the threshold for operation greenhouse gases. In addition, the project proposes incorporating such amenities as solar on many of the residential units as well as plug-in charging stations for electric vehicles in the garages; thus no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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VIII. HAZARDS AND HAZARDOUS MATERIALS -- Would the project:

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? **Comment** *The project is an in-fill residential project that does not involve the transport or use of hazardous materials; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? **Comment** *The project does not involve the use of any hazardous materials so there will be no accidental release of hazardous materials; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? **Comment** *The project is an in-fill residential project that does not involve the use of hazardous materials; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? Comment <i>A Phase I Environmental Site Assessment and a Phase II soil Quality Evaluation was conducted on the project site by TRC Lowney in 2006. Shallow soil contamination was identified on the site in the form of arsenic, lead and chlordane along the former school fence line at concentrations exceeding regulatory thresholds for residential use and was determined likely the result of historic pesticide and herbicide use during pest and weed abatement activities. The site will be cleaned-up prior to any residential construction on-site; thus impact will be mitigated to a level of insignificance.</i></p> <p>Mitigation Measure 1: <i>The contaminated soil remediation shall occur prior to any construction or grading activities on site. With incorporation of this mitigation measure, impacts will be reduced to a less-than-significant level.</i></p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? Comment <i>The project is not located within an airport land use plan area; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? Comment <i>The project is not located within the vicinity of a private air strip; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? Comment <i>The project site is bounded on all sides by publically maintained roads including B street, C Street, Myrtle Street and Filbert Street within an urbanized area and will not interfere with an adopted emergency response plans or evacuation plan; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? **Comment** *The project site is not located within the City's Wildland Interface Area; thus no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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IX. HYDROLOGY AND WATER QUALITY

-- Would the project:

a) Violate any water quality standards or waste discharge requirements? **Comment** *The project will comply with all water quality and wastewater discharge requirements of the city; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Comment *The project will be connected to the existing water supply and will not involve the use of water wells and will not deplete groundwater supplies or interfere with groundwater recharge; thus, no impact.*

c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site? **Comment** *The project site is an infill site that was previously developed with an Elementary School. All drainage from the site is required to be treated before it enters the storm drain system and there is sufficient capacity to handle any drainage from the property; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site? **Comment** *The project site is an infill site that was previously developed with an Elementary School. All drainage from the site is required to be treated before it enters the storm drain system and managed such that post-development runoff rates do not exceed pre-development run-off rates; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? Comment <i>The project site is an infill site that was previously developed with an Elementary School. All drainage from the site is required to be treated before it enters the storm drain system and there is sufficient capacity to handle any drainage from the property; thus, the impact is considered less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Otherwise substantially degrade water quality? Comment <i>The project site is an infill site that was previously developed with an Elementary School. All drainage from the site is required to be treated before it enters the storm drain system; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? Comment <i>The project site is not located within a 100-year flood hazard area; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows? Comment <i>The project site is not located within a 100-year flood hazard area; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? Comment <i>The project site is not located within a 100-year flood hazard area; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow? Comment <i>The project site is not located within a 100-year flood hazard area; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
X. LAND USE AND PLANNING -- Would the project:				
a) Physically divide an established community? Comment <i>The project site is a small in-fill site located within an existing community; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? **Comment** *The project involves construction of fifty-seven new single-family homes and is consistent with the designated General Plan density. The project does include a request to modify the zoning designation; however, the Planned development designation is to allow for flexibility in the development standards, not to accommodate additional density not anticipated by the general Plan, thus no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Conflict with any applicable habitat conservation plan or natural community conservation plan? **Comment** *The project site is not covered by any habitat conservation plan or natural community conservation plan; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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XI. MINERAL RESOURCES -- Would the project:

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? **Comment** *There are no known mineral resources on the project site; thus no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? **Comment** *The project site is not identified as a site known to have mineral resources; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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XII. NOISE -- Would the project result in:

a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? **Comment** *The project site is located within an already developed neighborhood and will not generate any noise levels in excess of standards established in the General Plan; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels? Comment <i>The project site is not located in an area where people will be exposed to groundborne vibrations nor will the project generate any groundborne vibrations; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? Comment <i>The project is a residential development and will not involve an increase in the ambient noise levels in the area; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? Comment <i>Existing residential development will experience a slight increase in ambient noise levels during the construction of the proposed project; construction is limited to the allowable hours per the City's Noise Ordinance; thus the impact is considered less-than-significant and no mitigation is required.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? Comment <i>The project is not located within an airport land use plan area; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? Comment <i>The project is not located within the vicinity of a private air strip; thus, no impact</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

XIII. POPULATION AND HOUSING --

Would the project:

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? Comment <i>The project involves the construction of fifty-seven new residential units, however, the residential development is consistent with the density established by the City's General Plan; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? <u>Comment</u> <i>The project involves the development of additional housing on a vacant lot and no housing will be displaced as a result of this project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? <u>Comment</u> <i>The project involves the development of additional housing on a vacant lot and nobody will be displaced as a result of this project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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XIV. PUBLIC SERVICES --

a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Fire protection? <u>Comment</u> <i>The project is a housing development located within an urbanized area that is already served by police and fire; however the project will be conditioned to become part of the City's Communities Facilities District; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Police protection? <u>Comment</u> <i>The project is a housing development located within an urbanized area that is already served by police and fire; however the project will be conditioned to become part of the City's Communities Facilities District; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Schools? <u>Comment</u> <i>To off-set impacts to schools, the developer will be required to pay applicable school impact fees to the Hayward Unified School District; thus, the impact is considered less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Parks? Comment <i>To off-set impacts to parks, the developer will be required to pay park in-lieu fees to the Hayward Area Recreation and Park District; thus, the impact is considered less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other public facilities? Comment <i>Approval of the project may impact long-term maintenance of roads, streetlights and other public facilities; however, the project will be conditioned to become part of the City's Communities Facilities District; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

XV. RECREATION --

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? **Comment** *The project proposes to include some small common areas within the development and each residential unit provides a private side yard area. The development is also located approximately 500 feet east of Cannery Park and future residents will be able to utilize this facility. In addition, the developer will be required to pay applicable park in-lieu fees; thus the impact is considered less-than-significant.*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? **Comment** *The project proposes to include some small common areas within the development and each residential unit provides a private side yard area. The development is also located approximately 500 feet east of Cannery Park and future residents will be able to utilize this facility. In addition, the developer will be required to pay applicable park in-lieu fees; thus the impact is considered less-than-significant.*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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XVI. TRANSPORTATION/TRAFFIC --

Would the project:

a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit? **Comment** *The project will not conflict with any plan regarding effective performance of the circulation system. The project is a residential project located near multiple public transportation options including BART, AC Transit and the Amtrak; thus, no impact.*

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways? **Comment.** *No level of service will be impacted by the construction of the additional residential units on an existing in-fill lot; thus, no impact.*

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? **Comment** *The project involves no change to air traffic patterns; thus, no impact.*

d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? **Comment** *The project has been designed to meet all City requirements, including site distance and will not increase any hazards; thus no impact.*

e) Result in inadequate emergency access? **Comment** *The project is on an in-fill site completely accessible and will not result in inadequate emergency access; thus, no impact.*

f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?

Comment *The project does not involve any conflicts or changes to policies, plans or programs related to public transit, bicycle or pedestrian facilities. The project is a residential project located near multiple public transportation options including BART, AC Transit and the Amtrak; thus, no impact.*

XVII. UTILITIES AND SERVICE SYSTEMS

-- Would the project:

a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? **Comment** *The project will not exceed wastewater treatment requirements; thus no impact.*

b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? **Comment** *There is sufficient capacity to accommodate the proposed project; thus, no impact.*

c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? **Comment** *There is sufficient capacity to accommodate the proposed project; thus, the impact is considered less than significant.*

d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? **Comment** *There is sufficient capacity to accommodate the proposed project; thus, no impact.*

e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? **Comment** *There is sufficient capacity to accommodate the proposed project; thus, no impact.*

f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? **Comment** *There is sufficient capacity to accommodate the proposed project; thus, no impact.*

g) Comply with federal, state, and local statutes and regulations related to solid waste? **Comment** *There is sufficient capacity to accommodate the proposed project; thus, no impact.*

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE --

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

Comment *The project will not have any impacts on wildlife or fish habitat nor eliminate a plant or animal community; thus, no impact.*

b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? **Comment** *Based on the checklist above, it has been determined that the project has the potential to have an impact on hazardous materials, yet remediation of the soil contamination will reduce those impacts to a less-than-significant level; thus no impact to cumulative impacts.*

c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Comment *The project is consistent with both the Cannery Area Design Plan and the City of Hayward General Plan. Both documents are long-range documents that address desired goals and future development for the City of Hayward. Since the project is consistent with the adopted plans it is therefore not expected to cause substantial adverse effects on human beings either directly or indirectly; thus no impact is anticipated.*

**Residual Burbank School Site –
Urban Dynamic Development
Mitigation Monitoring and Reporting Program**

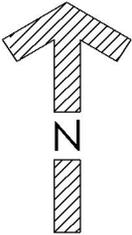
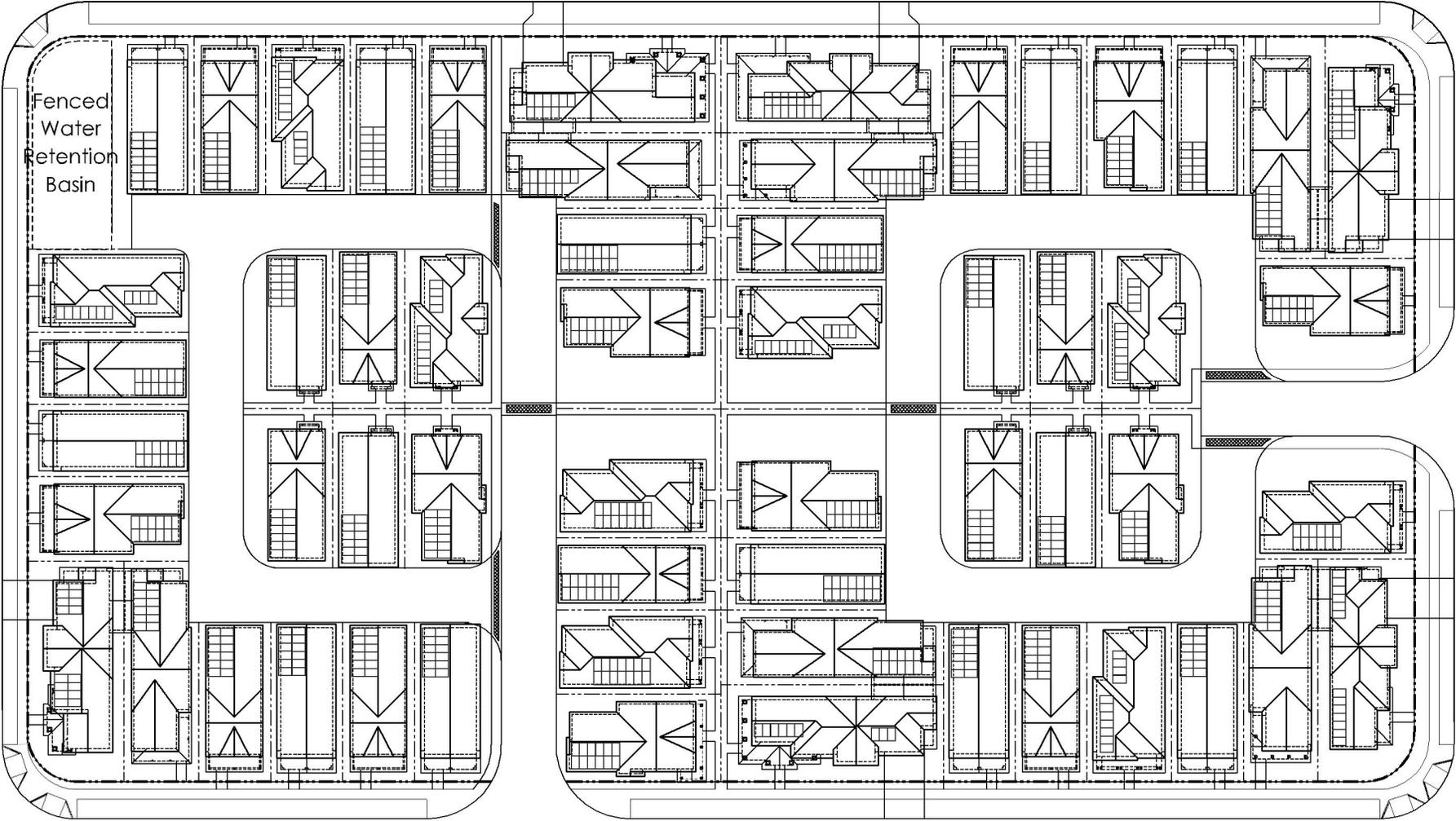
**Planned Development Application No. PL-2010-0403 PD;
Tentative Tract Map Application No. PL-2010-0405 (TTM 7991);
Urban Dynamic (Applicant)
City of Hayward (Owner)**

April 26, 2011

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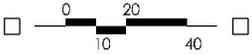
Significant Environmental Impact	Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Timing
<p><u>Impact VIII-d (Hazardous Materials):</u> <i>A Phase I Environmental Site Assessment and a Phase II soil Quality Evaluation was conducted on the project site by TRC Lowney in 2006. Shallow soil contamination was identified on the site in the form of arsenic, lead and chlordane along the former school fence line at concentrations exceeding regulatory thresholds for residential use and was determined likely the result of historic pesticide and herbicide use during pest and weed abatement activities. The site will be cleaned-up prior to any residential construction on-site; thus impact will be mitigated to a level of insignificance.</i></p>	<p><u>Mitigation Measure 1:</u> <i>The contaminated soil remediation shall occur prior to any construction or grading activities on site. With incorporation of this mitigation measure, impacts will be reduced to a less-than-significant level.</i></p>	<p>Project developers, including project contractor.</p>	<p>City of Hayward Planning Division, Engineering and Transportation Division and Building Division</p>	<p>Prior to start of grading or construction.</p>

B Street



Site Summary
 Total Number of units: 57du
 Net Site Area: 3.85 ac
 Net Site Density: 14.81 du/ac

C Street
 Site Plan 1 - Solar Study



Plan Summary
 (28) Plan 1 - 1603 S.F.
 (17) Plan 2 - 1846 S.F.
 (6) Plan 3.1 - 2371 S.F.
 (6) Plan 3.2 - 2423 S.F.

Urban Dynamic

Hayward B Street

Hayward, California

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SHEET INDEX

<u>NO.</u>		
1	COVER SHEET - SHEET INDEX	
	<u>CIVIL PLANS</u>	
2	TM.1 VESTING TENTATIVE MAP - EXISTING PROPERTY	
3	TM.2 VESTING TENTATIVE MAP - SITE & CIRCULATION PLAN	
4	TM.3 VESTING TENTATIVE MAP - GRADING PLAN	
5	TM.4 VESTING TENTATIVE MAP - UTILITY PLAN	
6	C.1 PLANNED DEVELOPMENT SITE PLAN	
	<u>LANDSCAPE PLANS</u>	
7	L.0 LANDSCAPE COVER SHEET	
8	L.1 ILLUSTRATIVE SITE PLAN	
9	L.2 FENCING PLAN	
10	L.3 SITE LIGHTING PLAN	
11	L.4 ILLUSTRATIVE PASEO PLAN	
12	L.5 TYPICAL STREET FRONTING PLAN	
13	L.6 ENTRY TRELLIS PLAN AND ELEVATION	
14	L.7 IRRIGATION NOTES AND LEGENDS	
15	L.8 IRRIGATION DETAILS	
16	L.9 TYPICAL PASEO HYDROZONE PLAN	
17	L.10 TYPICAL STREET FRONTING HYDROZONE PLAN	
18	L.11 ILLUSTRATIVE DETAILS	

<u>NO.</u>	<u>ARCHITECTURE</u>
19	A0.0 STREETSCENE
20	A1.1 PLAN 1 FRONT ELEVATIONS
21	A1.2 PLAN 1 FLOOR PLAN
22	A1.3 PLAN 1A EXTERIOR ELEVATIONS
23	A1.4 PLAN 1B EXTERIOR ELEVATIONS
24	A1.5 PLAN 1 ALT/ ENHANCED ELEVATIONS
25	A2.1 PLAN 2 FRONT ELEVATIONS
26	A2.2 PLAN 2 FLOOR PLAN
27	A2.3 PLAN 2A EXTERIOR ELEVATIONS
28	A2.4 PLAN 2B EXTERIOR ELEVATIONS
29	A2.5 PLAN 2 ALT/ ENHANCED ELEVATIONS
30	A3.1 PLAN 3.1 FRONT ELEVATIONS
31	A3.2 PLAN 3.1 FLOOR PLAN
32	A3.3 PLAN 3.1A EXTERIOR ELEVATIONS
33	A3.4 PLAN 3.1B EXTERIOR ELEVATIONS
34	A3.5 PLAN 3.2 FRONT ELEVATIONS
35	A3.6 PLAN 3.2 FLOOR PLAN
36	A3.7 PLAN 3.2A EXTERIOR ELEVATIONS
37	A3.8 PLAN 3.2B EXTERIOR ELEVATIONS
38	A3.9 PLAN 3.2ALT FRONT ELEVATIONS

OWNER/DEVELOPER

URBAN DYNAMIC, LLC
 390 BRIDGE PARKWAY, SUITE C
 REDWOOD SHORES, CA 94065
 (650) 551-0200
 CONTACT: PERRY HARIRI

CIVIL ENGINEER

CARLSON, BARBEE & GIBSON, INC.
 6111 BOLLINGER CANYON ROAD, SUITE 150
 SAN RAMON, CA 94583
 (925) 866-0322
 CONTACT: LEE ROSENBLATT

LANDSCAPE ARCHITECT

RANDALL PLANNING AND DESIGN, INC.
 1475 N. BROADWAY, SUITE 290
 WALNUT CREEK, CA 94596
 (925) 934-8002
 CONTACT: GREG RANDALL

ARCHITECT

KTGY GROUP, INC.
 283 4TH STREET, THIRD FLOOR
 OAKLAND, CA 94607
 (510) 272-2910
 CONTACT: JILL WILLIAMS



FEBRUARY 25, 2011



Architecture+Planning
 283 4th Street, Third Floor
 Oakland, CA 94607
 510.272.2910
 ktgy.com



RESIDUAL BURBANK SCHOOL SITE

PLANNED DEVELOPMENT
 HAYWARD, CALIFORNIA



LEGEND

EXISTING	PROPOSED	DESCRIPTION
		SUBDIVISION BOUNDARY
		PROPERTY LINE
		CURB, GUTTER AND SIDEWALK
		CENTERLINE
		SPOT ELEVATIONS
		EXISTING TREE TO REMAIN
		EXISTING TREE TO BE REMOVED

WE, URBAN DYNAMIC, LLC, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

BY: _____ DATE: _____

I, LEE ROSENBLATT, CERTIFY THAT THIS TENTATIVE MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT IT COMPLIES WITH THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT.

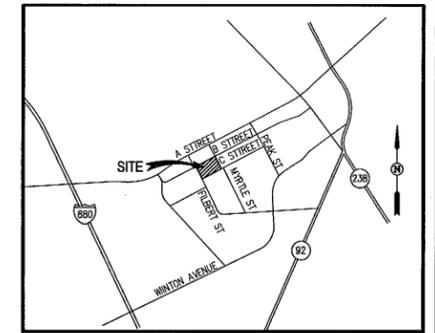
BY: LEE ROSENBLATT, RCE #65469 DATE: _____

SHEET INDEX

- TM.1 TITLE SHEET-EXISTING CONDITIONS
- TM.2 SITE & CIRCULATION PLAN
- TM.3 GRADING PLAN
- TM.4 UTILITY PLAN

CONTACTS

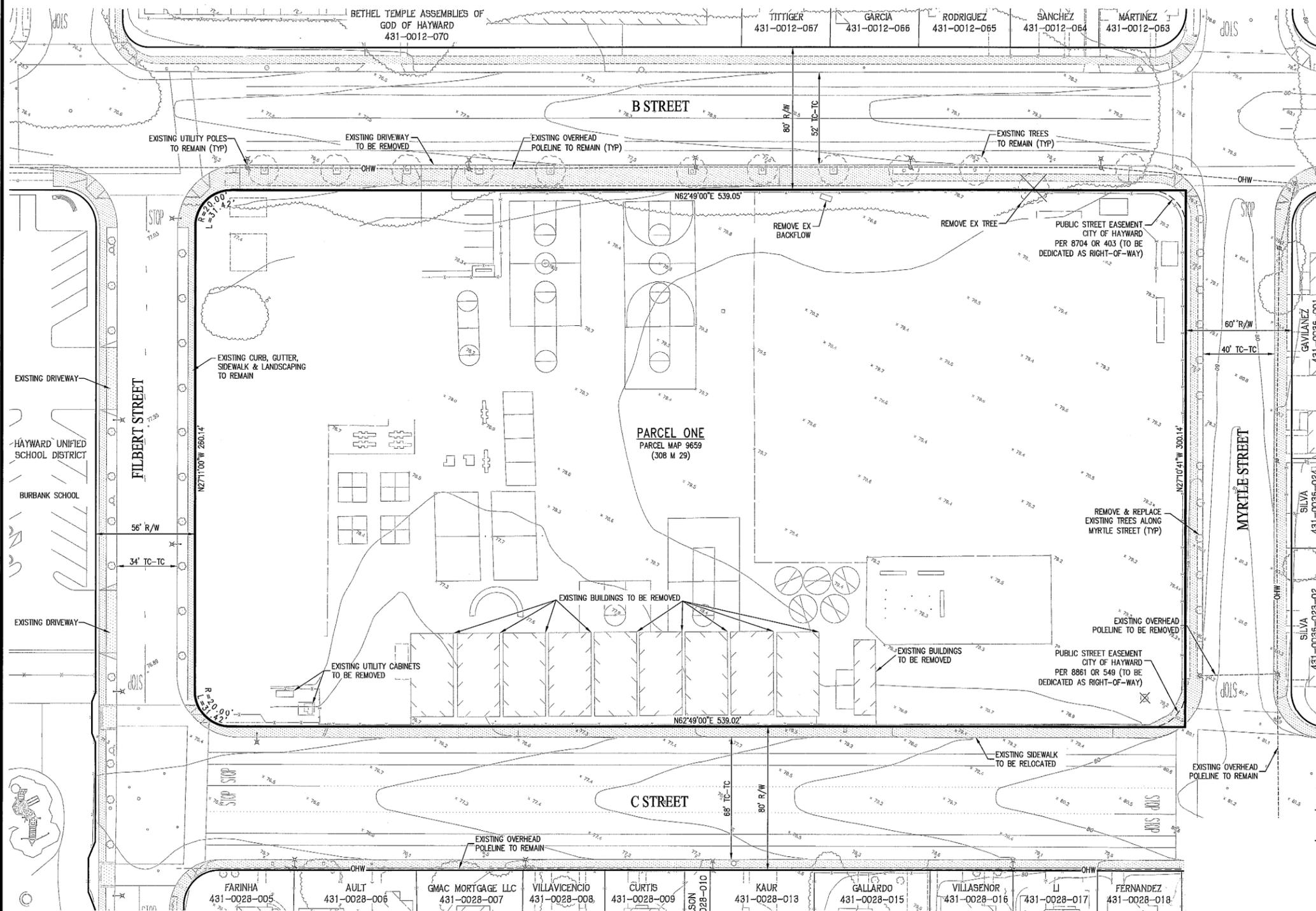
1. OWNER/SUBDIVIDER: URBAN DYNAMIC, LLC
390 BRIDGE PARKWAY, SUITE C
REDWOOD SHORES, CA 94065
(650) 551-0200
PERRY HARRI
2. ENGINEER: CARLSON, BARBEE & GIBSON, INC.
6111 BOLLINGER CANYON ROAD, SUITE 150
SAN RAMON, CA 94583
(925) 866-0322
LEE ROSENBLATT, RCE 65469
3. SOILS ENGINEER: TERRARESEARCH INC.
257 WRIGHT BROTHERS AVE.
LIVERMORE, CA 94551
(925) 243-6662
4. TOPOGRAPHIC SOURCE: AERIAL TOPOGRAPHY COMPILED BY:
AEROMETRIC SURVEYS
915 CLAREMONT STREET
SAN MATEO, CA 94402



VICINITY MAP (NTS)

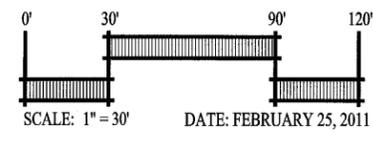
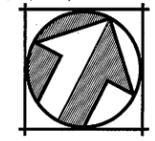
GENERAL NOTES

1. ASSESSORS PARCEL NO.: 431-0110-007
PARCEL MAP 9659
RECORDED JULY 7, 2008
IN BOOK 308 OF MAPS, AT PAGES 29-34
2. SITE ADDRESS: 'B' STREET @ FILBERT STREET
HAYWARD, CA
3. SITE AREA: 3.84± ACRES
4. EXISTING ZONING: PUBLIC FACILITIES & MEDIUM DENSITY RESIDENTIAL
PROPOSED ZONING: PLANNED DEVELOPMENT
5. EXISTING USE: PUBLIC FACILITIES (ELEMENTARY SCHOOL)
PROPOSED USE: SINGLE-FAMILY RESIDENTIAL
57 SINGLE FAMILY LOTS, 7 PARCELS
6. MINIMUM LOT SIZE: 28' X 64' (1,792 SF)
7. BENCHMARK: TOP OF DISC, STANDARD STREET MONUMENT, CENTERLINE WINTON AVENUE, 41 FEET
NORTHEAST OF UNION PACIFIC RAILROAD RIGHT-OF-WAY;
ELEVATION = 77.72 NGVD29, 1959 ADJUSTMENT.
8. EXISTING STRUCTURES: ALL EXISTING BUILDINGS, UNDER & ABOVE GROUND UTILITIES, FENCES,
PAVEMENT, AND TREES WITHIN BOUNDARY TO BE REMOVED.
9. STREETS: ALL STREETS AND DRIVE AISLES WITHIN THE SUBDIVISION WILL BE PRIVATE AND
WILL BE PRIVATELY MAINTAINED. ALL STREETS WILL BE WITHIN PUE'S (MINIMUM
LONGITUDINAL SLOPE = 0.5%).
10. STREET TREES: STREET TREES (WITHIN SUB-DIVISION BOUNDARY) SHALL BE PROVIDED AS REQUIRED BY THE
CITY, INSTALLED PER CITY STD SD-122 AND WILL BE PRIVATELY MAINTAINED BY THE
HOMEOWNERS ASSOCIATION. TREES WITHIN PUBLIC RIGHT-OF-WAY AND EXISTING SYCAMORE
TREES ON 'B' STREET TO REMAIN AND BE MAINTAINED BY THE CITY OF HAYWARD
11. STREET LIGHTS: STREET LIGHTS ON PRIVATE STREETS WILL BE PRIVATELY MAINTAINED.
STREET LIGHTS WITHIN PUBLIC RIGHT OF WAY TO BE PUBLICLY MAINTAINED.
STREET LIGHTS ON 'B', 'C', MYRTLE, & FILBERT STREETS WILL BE INSTALLED PER CITY STANDARDS.
12. WALLS: ALL WALLS WILL BE PRIVATE FACILITIES AND PRIVATELY MAINTAINED.
13. STORM DRAIN: PROPOSED ONSITE STORM DRAIN FACILITIES WILL BE PRIVATE FACILITIES WITHIN PRIVATE
STORM DRAINAGE EASEMENTS AND WILL BE OWNED AND MAINTAINED BY THE
HOMEOWNER'S ASSOCIATION.
14. PUBLIC UTILITIES: PROPOSED WATER AND SANITARY SEWER FACILITIES WITHIN ROADWAYS WILL BE
CONSTRUCTED PER CITY OF HAYWARD STANDARDS AND DEDICATED TO THE CITY.
15. FLOOD ZONE: ZONE X - BETWEEN LIMITS OF 100 YEAR AND 500 YEAR FLOOD
REFER TO:
FLOOD INSURANCE RATE MAP
PANEL 06001C0286G (AUGUST 3, 2009)
PANEL 06001C0287G (AUGUST 3, 2009)
16. PRIVATE UTILITIES: N/A
17. WELLS ONSITE: NONE
18. WATER: CITY OF HAYWARD
19. SEWER: CITY OF HAYWARD
20. GAS & ELECTRIC: PG&E
21. TELEPHONE: AT&T
22. CABLE TV: COMCAST CABLE
23. DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP.
24. HOA: A HOMEOWNER'S ASSOCIATION WILL BE FORMED TO OWN AND MAINTAIN PRIVATE STREETS,
DRIVE AISLES, PRIVATE UTILITIES, STORM DRAINAGE FACILITIES AND LANDSCAPE WITHIN THE
PROJECT AREA.



**TRACT 7991
VESTING TENTATIVE MAP
EXISTING PROPERTY
RESIDUAL BURBANK
SCHOOL SITE**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



DATE: FEBRUARY 25, 2011

cbg Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
6111 BOLLINGER CANYON ROAD, SUITE 150
SAN RAMON, CALIFORNIA 94583
TEL (925) 866-0322
FAX (925) 866-8875

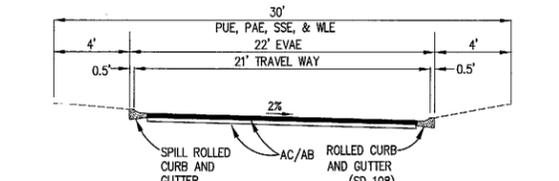
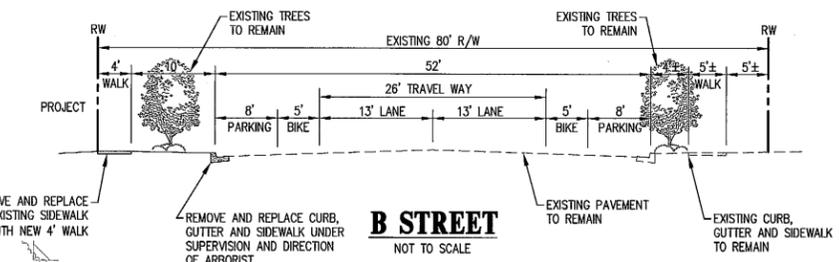
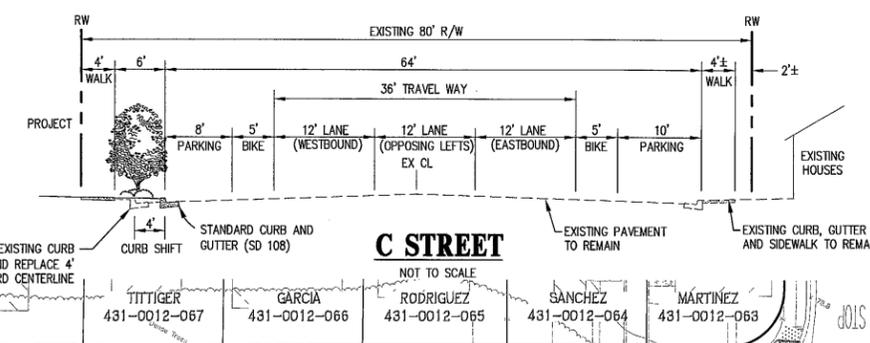
SHEET NUMBER
TM.1
2 OF 38

GENERAL NOTES

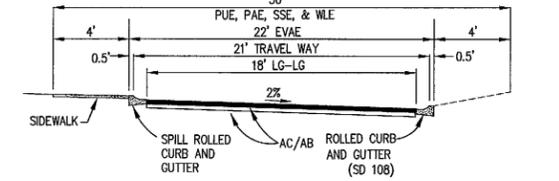
- EXISTING ZONING: PUBLIC FACILITIES AND MEDIUM DENSITY RESIDENTIAL
- PROPOSED ZONING: PLANNED DEVELOPMENT
- EXISTING LAND USE: PUBLIC FACILITIES (ELEMENTARY SCHOOL)
- PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL
- TOTAL SITE AREA: 3.84± AC
- TOTAL NUMBER OF LOTS: 57 SINGLE FAMILY LOTS; 7 PARCELS
- DENSITY: 14.8 UNITS/AC
- STREETS: ALL STREETS AND PRIVATE DRIVES WITHIN THE SUBDIVISION WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED.
- FIRE ACCESS: ALL PRIVATE DRIVES WILL BE FIRE LANES WITH RED CURB AND "NO PARKING FIRE LANE" SIGNS
- SIDEWALKS
- TOTAL IMPERVIOUS SURFACE: 2.6± AC

LEGEND

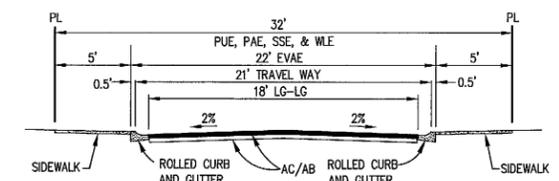
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		EASEMENT
		SIDEWALK, PATHWAY
		DECORATIVE PAVING
		SPOT ELEVATIONS
		PUE
		PAE
		EVAE
		SSE
		WLE
		LOT NUMBER
		TRAFFIC CIRCULATION



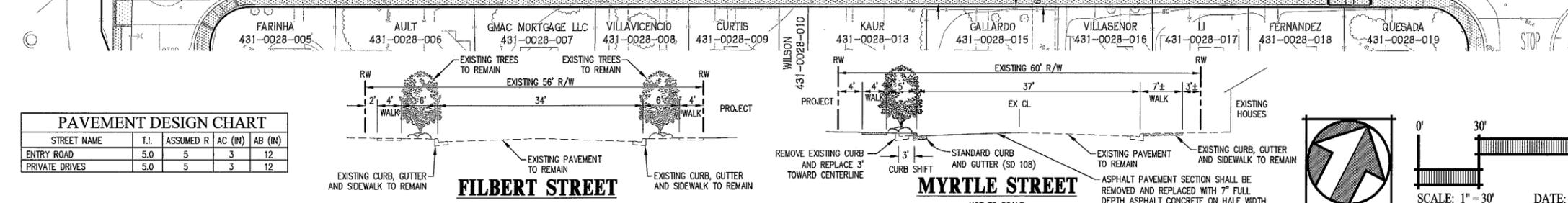
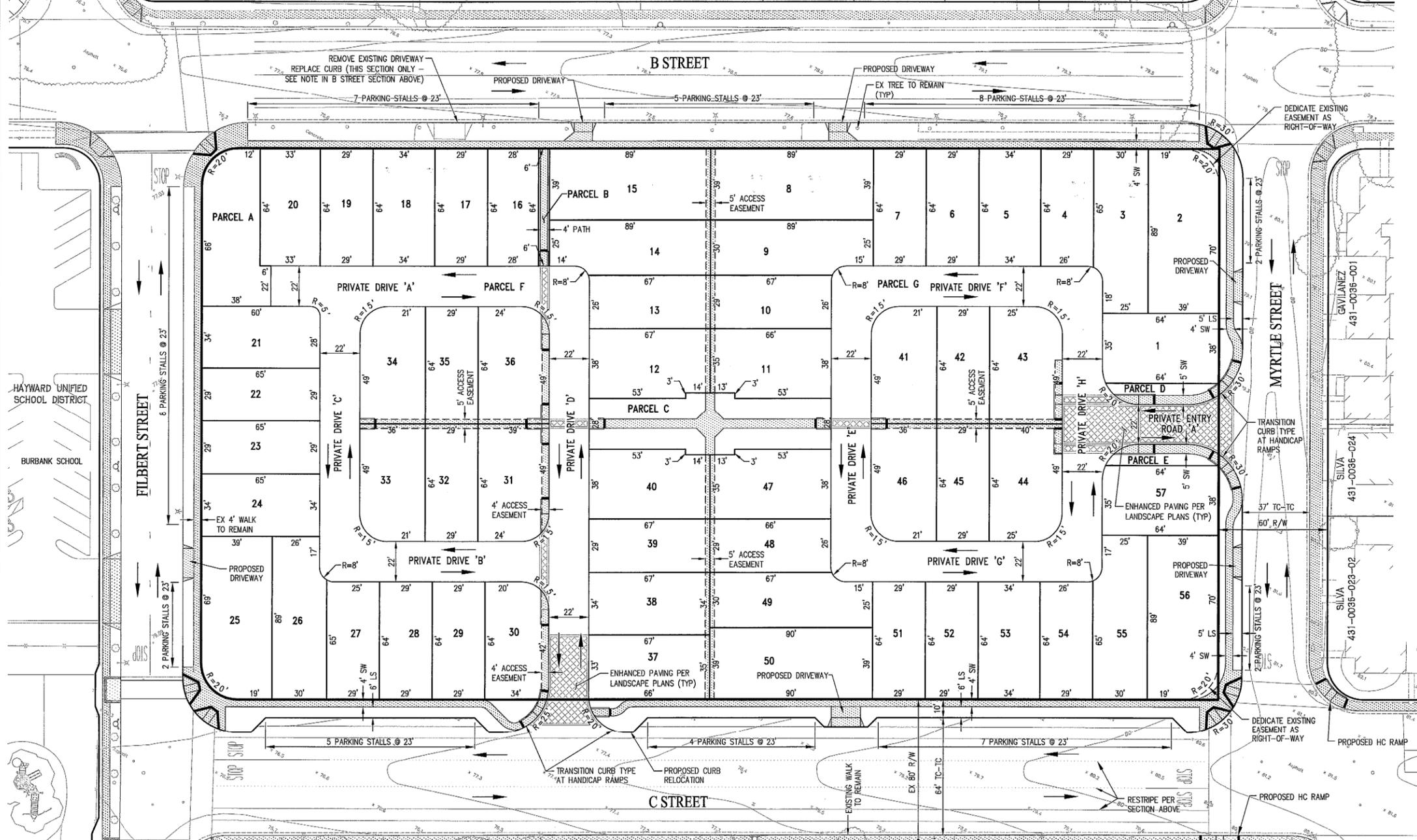
PRIVATE DRIVE 'A', 'B', 'C', 'E', 'F', 'G', 'H'
NOT TO SCALE



PRIVATE DRIVE 'D'
NOT TO SCALE



PRIVATE ENTRY ROAD 'A'
NOT TO SCALE



PAVEMENT DESIGN CHART

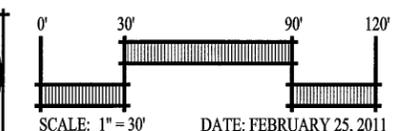
STREET NAME	T.I.	ASSUMED R	AC (IN)	AB (IN)
ENTRY ROAD	5.0	5	3	12
PRIVATE DRIVES	5.0	5	3	12

**TRACT 7991
VESTING TENTATIVE MAP
SITE & CIRCULATION PLAN
RESIDUAL BURBANK
SCHOOL SITE**

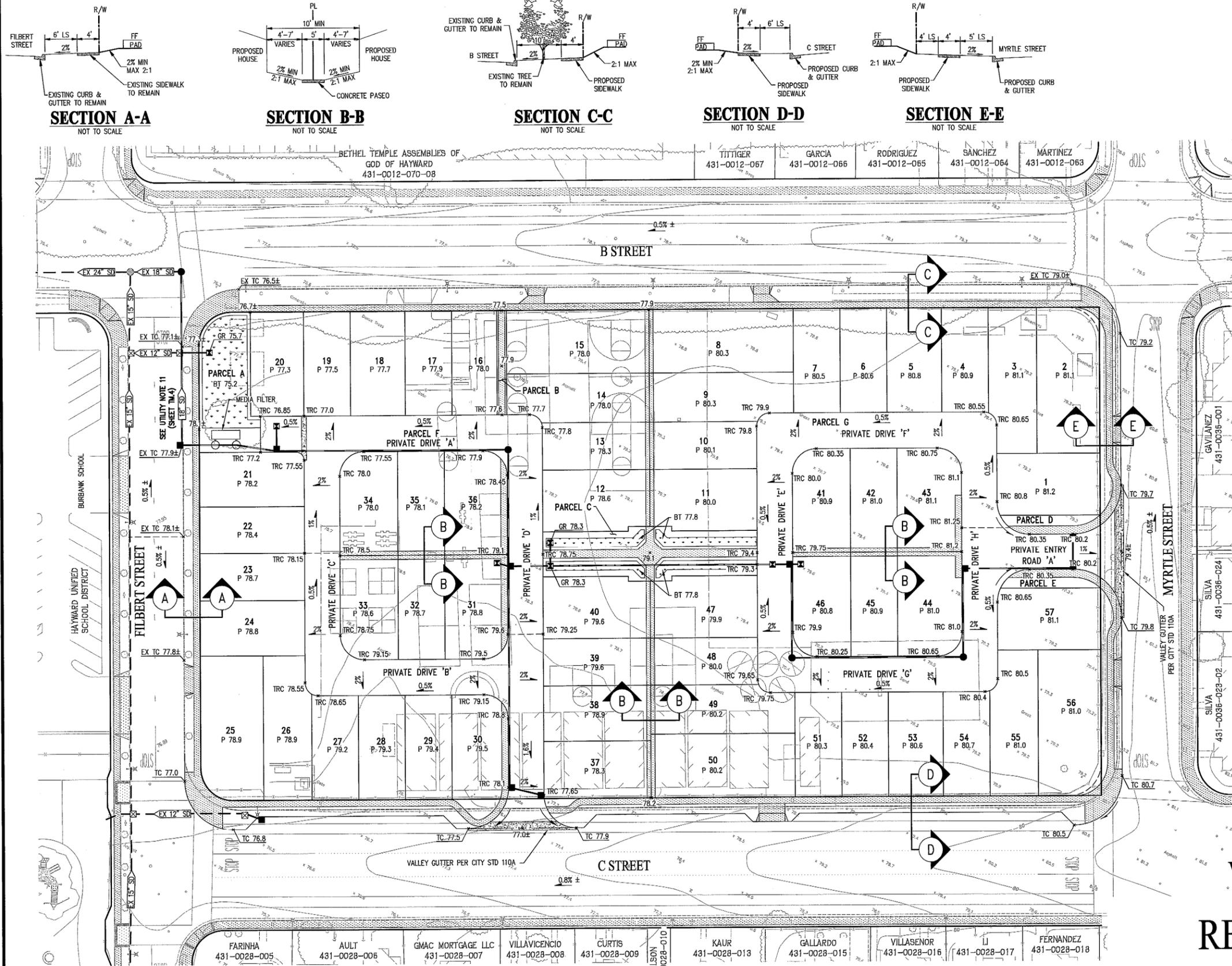
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

cbg Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
6111 BOLLINGER CANYON ROAD, SUITE 150
SAN RAMON, CALIFORNIA 94583
TEL (925) 898-0322
FAX (925) 898-8975

SHEET NUMBER
TM.2
3 OF 38



DATE: FEBRUARY 25, 2011



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	CURB, GUTTER AND SIDEWALK
---	---	VALLEY GUTTER
x 777.0	x TC 777.70	SPOT ELEVATIONS
---	---	STORM DRAIN LINE
●	●	SANITARY SEWER MANHOLE
●	●	STORM DRAIN MANHOLE
■	■	CURB INLET
■	■	FIELD INLET
■	■	FIRE HYDRANT
*	*	STREET LIGHT
20	20	LOT NUMBER
BT	BT	BIORETENTION AREA
BT	BT	BOTTOM ELEVATION
EX	EX	EXISTING
GR	GR	TOP OF GRATE
LS	LS	LANDSCAPE
R/W	R/W	RIGHT-OF-WAY
TC	TC	TOP OF CURB
TRC	TRC	TOP OF ROLLED CURB

GRADING NOTES

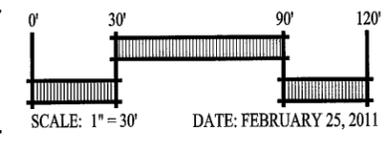
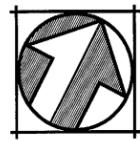
1. GRADING GRADING WILL BE DONE AS PART OF THIS TRACT
2. LIMIT OF GRADING THE LIMIT OF GRADING IS THE PROPOSED SUBDIVISION BOUNDARY EXCEPT ANY IMPROVEMENTS ON 'C' STREET AND THE MYRTLE STREET PROJECT ENTRANCE
3. SOILS REPORT ELEMENTS OF GRADING ARE IN CONFORMANCE WITH PRELIMINARY SOILS REPORT
4. RETAINING WALLS RETAINING WALLS ADJACENT TO LOTS, PATHS, AND WITHIN SIDEYARDS NOT SHOWN

PRELIMINARY EARTHWORK SUMMARY

DESCRIPTION	CUT	FILL
ROUGH GRADING	1,700 CY	5,700 CY
IMPORT	4,000 CY	-
TOTAL	5,700 CY	5,700 CY

**TRACT 7991
VESTING TENTATIVE MAP
GRADING PLAN
RESIDUAL BURBANK
SCHOOL SITE**

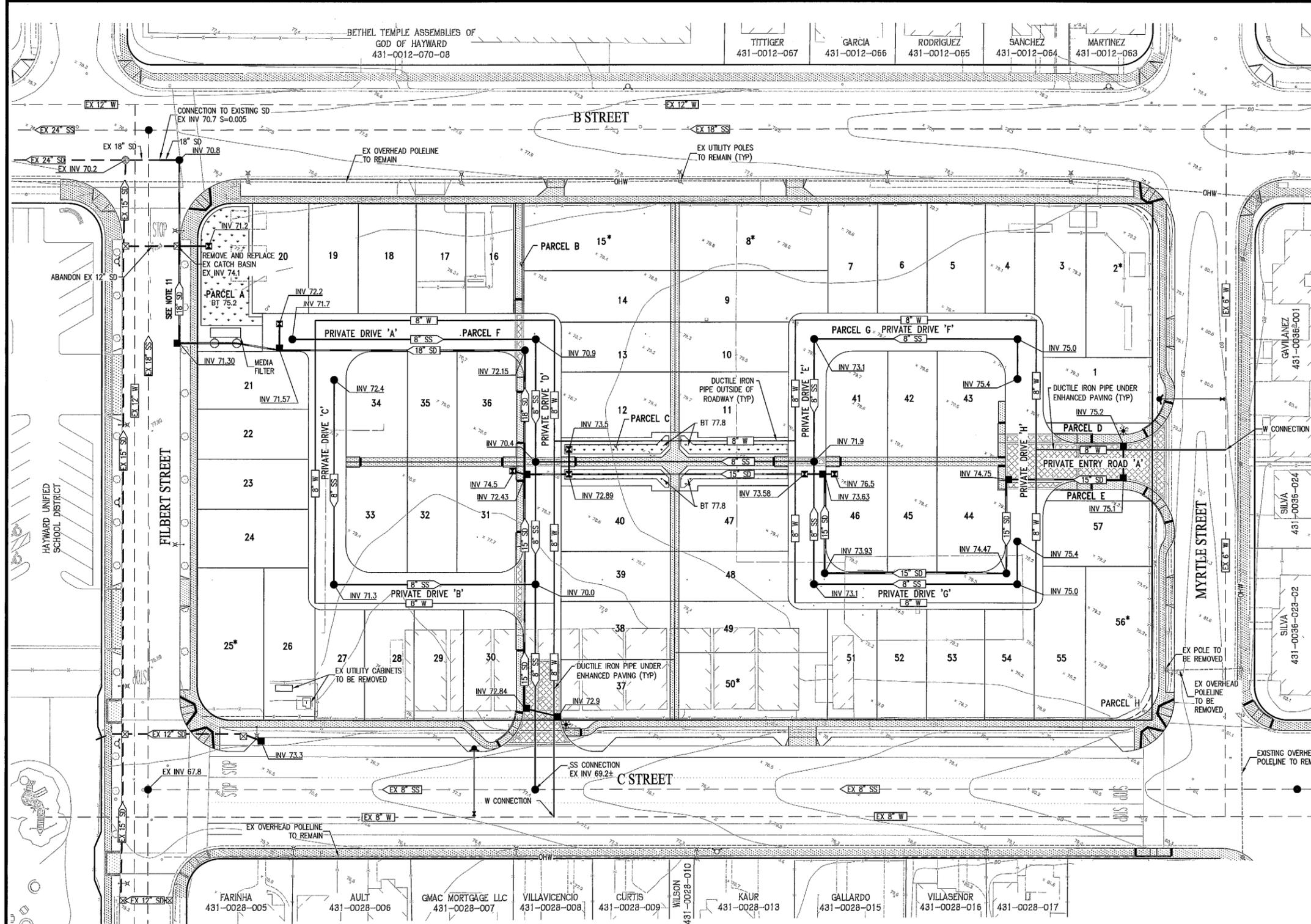
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



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CIVIL ENGINEERS • SURVEYORS • PLANNERS

6111 BOLLINGER CANYON ROAD, SUITE 150 SAN RAMON, CALIFORNIA 94583 TEL: (925) 866-0322 FAX: (925) 866-5575

SHEET NUMBER
TM.3
4 OF 38

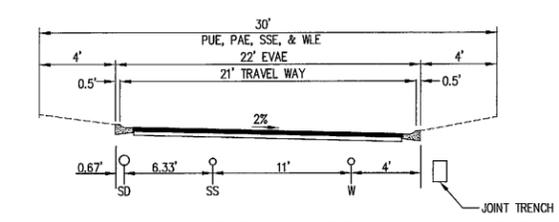


UTILITY NOTES

- EXISTING UTILITIES: ALL EXISTING UTILITIES WITHIN THE SUBDIVISION BOUNDARY TO BE REMOVED AND/OR RELOCATED PER CITY OF HAYWARD STANDARDS. ALL EXISTING UNDERGROUND & OVERHEAD UTILITIES WITHIN RIGHT OF WAY TO REMAIN.
- PUBLIC UTILITIES: PROPOSED WATER & SANITARY SEWER FACILITIES WITHIN THE SUBDIVISION WILL BE CONSTRUCTED PER LOCAL STANDARDS AND DEDICATED TO THE CITY OF HAYWARD. PRIVATE ROADWAYS WILL BE WITHIN A PUE FOR ACCESS.
- STORM DRAIN: PUBLIC (CITY OF HAYWARD) MIN SLOPE OF PROPOSED STORM DRAIN PIPE = 0.002 PUBLIC STORM DRAIN FACILITIES TO BE CONSTRUCTED TO CITY OF HAYWARD STANDARDS. ALL STORM PIPE TO BE RCP OR NDS N-12 PER CITY OF HAYWARD STANDARDS.
- WATER: CITY OF HAYWARD WATER SHALL BE CONSTRUCTED OF PVC PER CITY ORDINANCE. ALL WATERLINES LOCATED WITHIN EASEMENTS (NON-ROADWAY) AND UNDER ENHANCED PAVING SHALL BE DUCTILE IRON PIPE.
- SEWER: CITY OF HAYWARD STANDARD MIN SLOPE OF PROPOSED SEWER PIPE = 0.0035 MIN SIZE OF PROPOSED SEWER MAIN IS 8". SEWER SHALL BE CONSTRUCTED OF PVC PIPE PER CITY ORDINANCE.
- SEWER LATERALS: LOTS 2, 8, 15, 25, 50 AND 56 DO NOT FRONT PRIVATE DRIVES. THESE LOTS WILL HAVE SEWER LATERALS CONNECTING TO THE EXISTING TRUNK MAINS IN B STREET, C STREET AND FILBERT STREET.
- GAS & ELECTRIC: PG&E
- TELEPHONE: AT&T
- CABLE TV: COMCAST CABLE
- UTILITIES: UTILITIES SHOWN ARE TO BE USED AS A GUIDE AND MAY CHANGE DURING FINAL DESIGN. DESIGN SHALL ADHERE TO CITY OF HAYWARD STANDARDS.
- FILBERT STREET: FULL WIDTH OF FILBERT STREET PAVEMENT SECTION SHALL BE GROUND 2 INCHES AND OVERLAD WITH NEW ASPHALT PAVEMENT WHERE STREET PAVEMENT IS PROPOSED TO BE CUT FOR CONSTRUCTION OF NEW STORM DRAIN SYSTEM. REPLACE WHOLE CONCRETE VALLEY GUTTER AT THE INTERSECTION OF FILBERT STREET AND B STREET AFTER NEW STORM DRAIN IS INSTALLED.

LEGEND

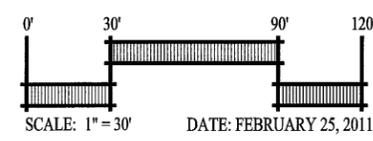
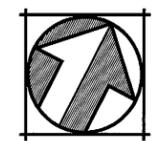
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	CURB, GUTTER AND SIDEWALK
---	---	VALLEY GUTTER
---	---	CENTERLINE
---	---	SPOT ELEVATIONS
---	---	STORM DRAIN LINE (RCP)
---	---	SANITARY SEWER (PVC)
---	---	WATER (PVC)
●	●	SANITARY SEWER MANHOLE
●	●	STORM DRAIN MANHOLE
■	■	CURB INLET
■	■	FIELD INLET
■	■	FIRE HYDRANT
*	*	STREETLIGHT
○	○	OVERHEAD POLES
20	20	LOT NUMBER
■	■	BIORETENTION AREA
BT	BT	BOTTOM ELEVATION
INV	INV	INVERT
PUE	PUE	PUBLIC UTILITY EASEMENT
PAE	PAE	PUBLIC ACCESS EASEMENT
EVAE	EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
SSE	SSE	SANITARY SEWER EASEMENT
WLE	WLE	WATER LINE EASEMENT
OHW	OHW	OVERHEAD WRES



TYPICAL UTILITIES IN PRIVATE DRIVE
NOT TO SCALE

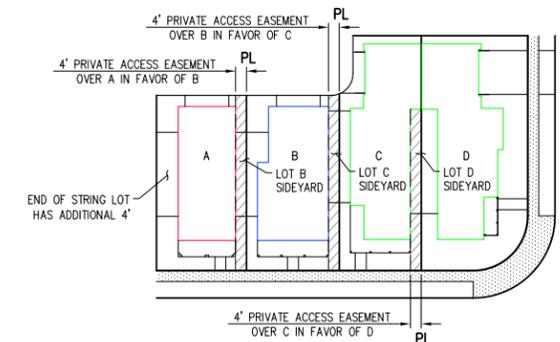
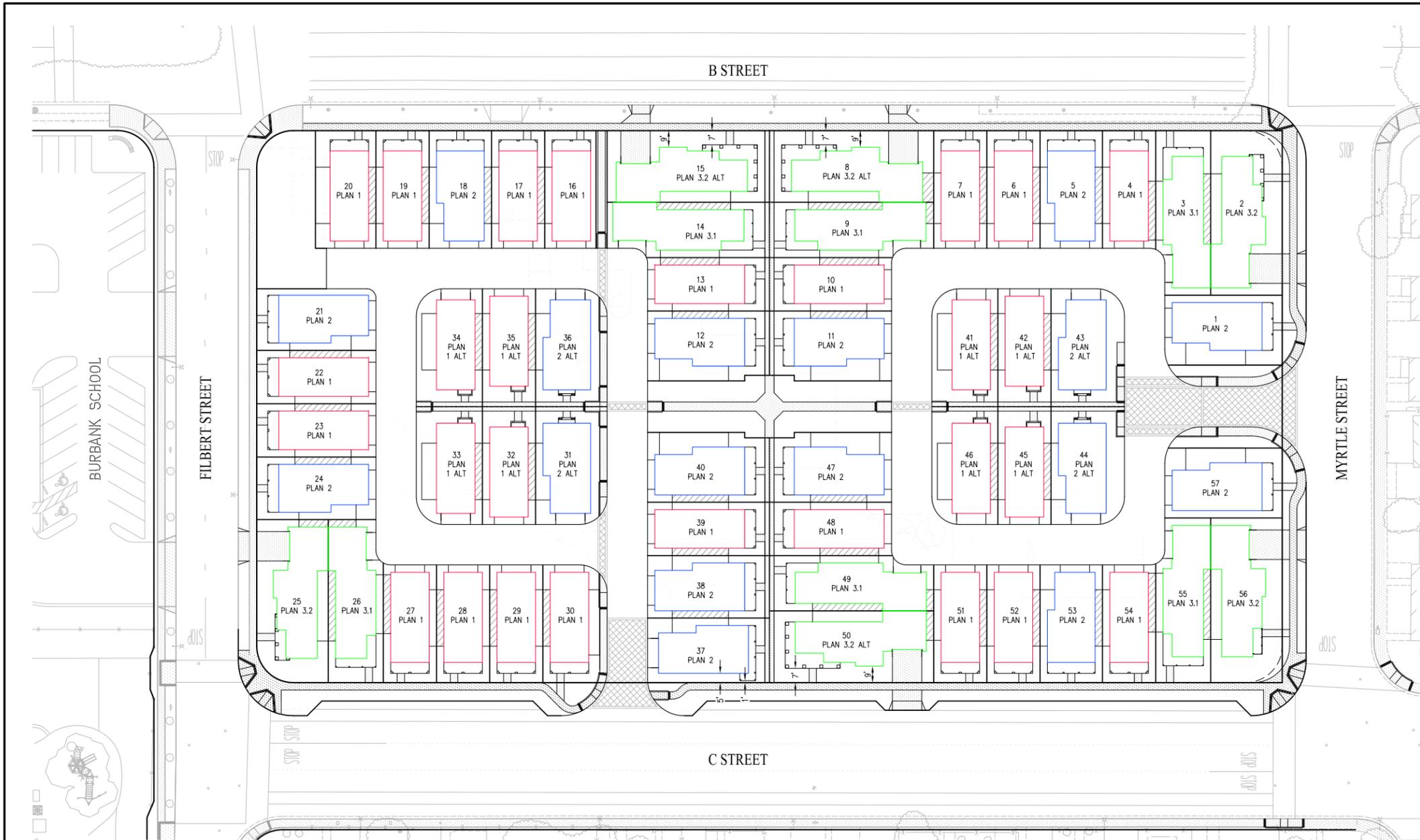
**TRACT 7991
VESTING TENTATIVE MAP
UTILITY PLAN
RESIDUAL BURBANK
SCHOOL SITE**

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

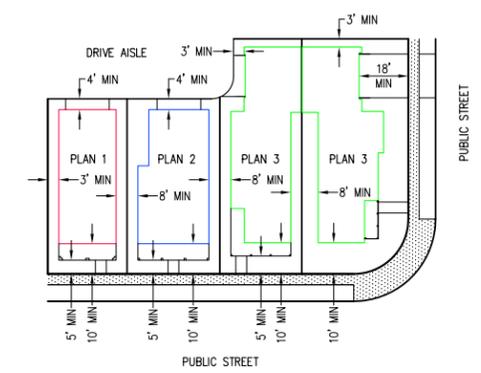


cbg Carlson, Barbee & Gibson, Inc.
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6111 BOLLINGER CANYON ROAD, SUITE 150 SAN RAMON, CALIFORNIA 94583
TEL: (925) 866-0322 FAX: (925) 866-8575

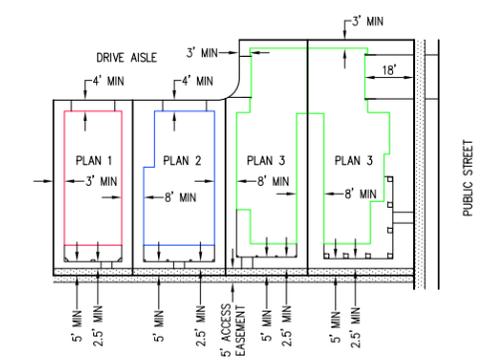
SHEET NUMBER
TM.4
5 OF 38



TYPICAL CROSSOVER EASEMENT & LOT CONFIGURATION



TYPICAL SETBACKS ALONG PUBLIC STREET



TYPICAL SETBACKS ALONG PASEO

LOT #	LOT AREA	BUILDING COVERAGE	LOT #	LOT AREA	BUILDING COVERAGE	LOT #	LOT AREA	BUILDING COVERAGE
1	2,427	49%	20	2,112	48%	39	1,928	53%
2	3,404	55%	21	2,172	55%	40	2,486	52%
3	2,571	54%	22	1,885	43%	41	2,258	46%
4	1,857	55%	23	1,885	57%	42	1,858	55%
5	2,176	57%	24	2,210	53%	43	2,514	47%
6	1,856	43%	25	3,371	47%	44	2,514	47%
7	1,856	58%	26	2,573	47%	45	1,858	44%
8	3,490	53%	27	1,857	55%	46	2,258	46%
9	2,588	47%	28	1,856	45%	47	2,486	50%
10	1,929	47%	29	1,856	45%	48	1,929	44%
11	2,486	53%	30	2,191	55%	49	2,588	55%
12	2,486	57%	31	2,452	49%	50	3,490	50%
13	1,929	43%	32	1,858	44%	51	1,856	50%
14	2,563	55%	33	2,258	46%	52	1,856	55%
15	3,452	55%	34	2,258	46%	53	2,176	44%
16	1,792	56%	35	1,858	54%	54	1,857	47%
17	1,856	55%	36	2,452	49%	55	2,571	55%
18	2,176	58%	37	2,332	47%	56	3,405	55%
19	1,856	44%	38	2,261	47%	57	2,427	49%

NOTE: ALL LOTS ARE SINGLE FAMILY RESIDENTIAL

SETBACKS

- GARAGE: 3' MIN (PRIVATE DRIVE); 18' MIN (PUBLIC STREET)
- SIDE: 3' MIN
- FRONT LIVING SPACE: 8' MIN
- PORCH: 1' MIN

DENSITY

- MAX DENSITY PROPOSED FOR RM ZONING: 17.4 DU/AC
- MAX DENSITY PROPOSED FOR PD ZONING: 14.8 DU/AC

UNIT MIX

PLAN	SF	TOTAL	%
1	1,603	20	35
1 ALT	1,603	8	14
2	1,846	13	23
2 ALT	1,846	4	7
3.1	2,355	6	11
3.2	2,407	3	5
3.2 ALT	2,407	3	5
TOTAL		57	100

PARKING SUMMARY

# UNITS	REQUIRED SPACES	PROVIDED GARAGE	PROVIDED DRIVEWAY	PROVIDED STREET
57	171	114	12	50
		176 TOTAL		

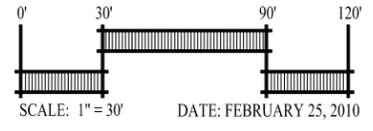
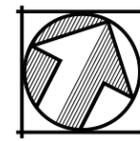
NOTE: REQUIRED PARKING RATIO = 3 SPACES PER UNIT

TRACT 7991

PLANNED DEVELOPMENT SITE PLAN

RESIDUAL BURBANK SCHOOL SITE

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



SCALE: 1" = 30' DATE: FEBRUARY 25, 2010

cbg Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
6111 BOLLINGER CANYON ROAD, SUITE 150
SAN RAMON, CALIFORNIA 94583
TEL: (925) 866-0322
FAX: (925) 866-6875

SHEET NUMBER
C.1
6 OF 38

Residual Burbank School Site

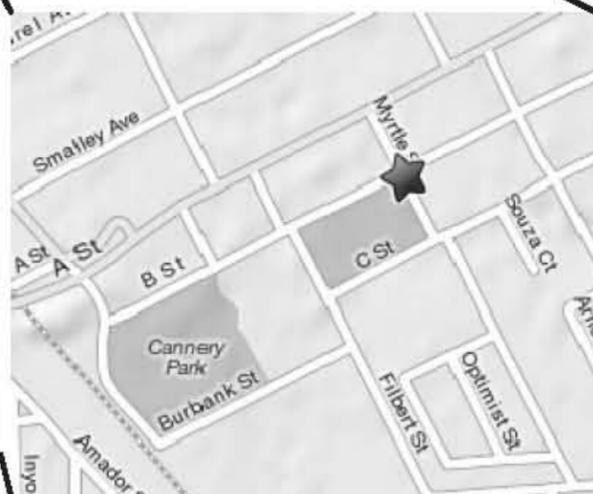
Hayward, California

Illustrative Landscape Plans

February 25, 2011



AREA MAP
N.T.S.



VICINITY MAP
N.T.S.

LANDSCAPE SITE DATA:

1. Total Project Size: 167,445 sq. ft.
2. Common Open Space: 22,478 sq. ft.
3. Total Landscaped Area: 46,471 sq. ft.
4. Total Turf Area: 4712 sq. ft.
5. Maximum Applied Water Allowance (MAWA):
891,444 gal/yr. (See Sheet L.7)
6. Estimated Total Water Use (ETWU):
661,355 gal/yr. (See Sheet L.7)

SHEET SCHEDULE

ILLUSTRATIVE SITE PLAN	L.1
FENCING PLAN	L.2
SITE LIGHTING PLAN	L.3
ILLUSTRATIVE PASEO PLAN	L.4
TYPICAL STREET FRONTING PLAN	L.5
ENTRY TRELLIS PLAN AND ELEVATION	L.6
IRRIGATION NOTES AND LEGENDS	L.7
IRRIGATION DETAILS	L.8
TYPICAL PASEO HYDROZONE PLAN	L.9
TYPICAL STREET FRONTING HYDROZONE PLAN	L.10
ILLUSTRATIVE DETAILS	L.11

The Owner and Developer for the site is
Urban Dynamic, LLC
390 Bridge Parkway, Suite C
Redwood Shores, CA 94065
(650) 501-0500

The Civil Engineer is
CBG, Inc.
8111 Bollinger Canyon Road, Suite 150
San Ramon, California 94583
(925) 866-0522

The Architect is
KITGY Group, Inc.
285 4th Street, Third Floor
Oakland, CA 94607
(910) 272-2910

The Landscape Architect is
Randall Planning and Design, Inc.
1475 N. Broadway, Suite 290
Walnut Creek, CA 94596
(925) 954-8002

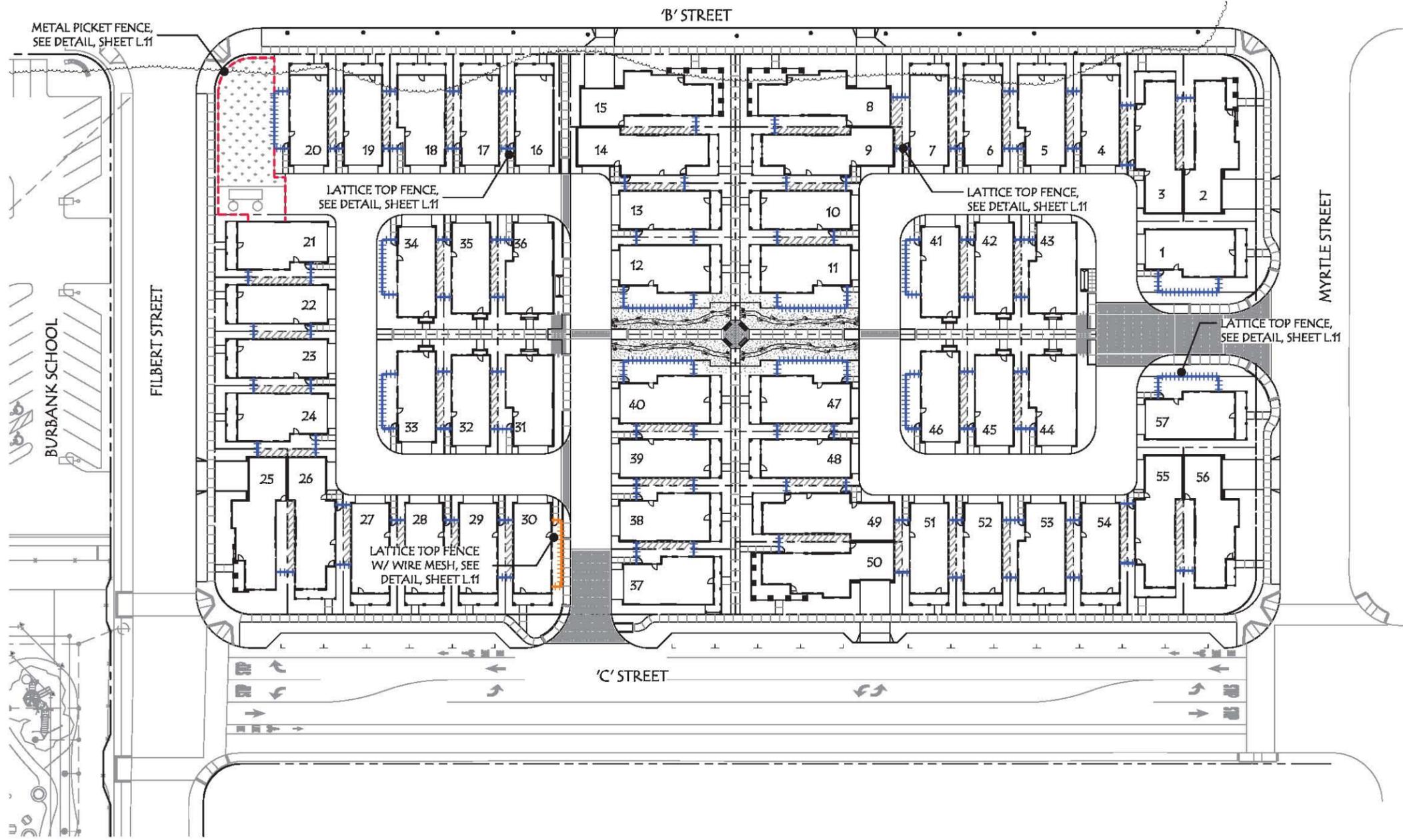
RANDALL PLANNING & DESIGN, INC.
Landscape Architecture
Site and Environmental Planning
1475 N. Broadway Suite 290
Walnut Creek, California 94596
Office: (925) 954-8002 Facsimile: (925) 954-8033



Urban Dynamic, LLC
390 Bridge Parkway, Suite C
Redwood Shores, Ca. 94065

SHEET NUMBER

L.0
7 OF 38



FENCING AND WALL LEGEND

LATTICE TOP FENCE W/ WIRE MESH-	
LATTICE TOP FENCE -	
METAL PICKET FENCE-	

FENCING PLAN
SCALE: 1"=30'

SCALE: 1" = 30'

 SHEET NUMBER
L.2
 February 25, 2011
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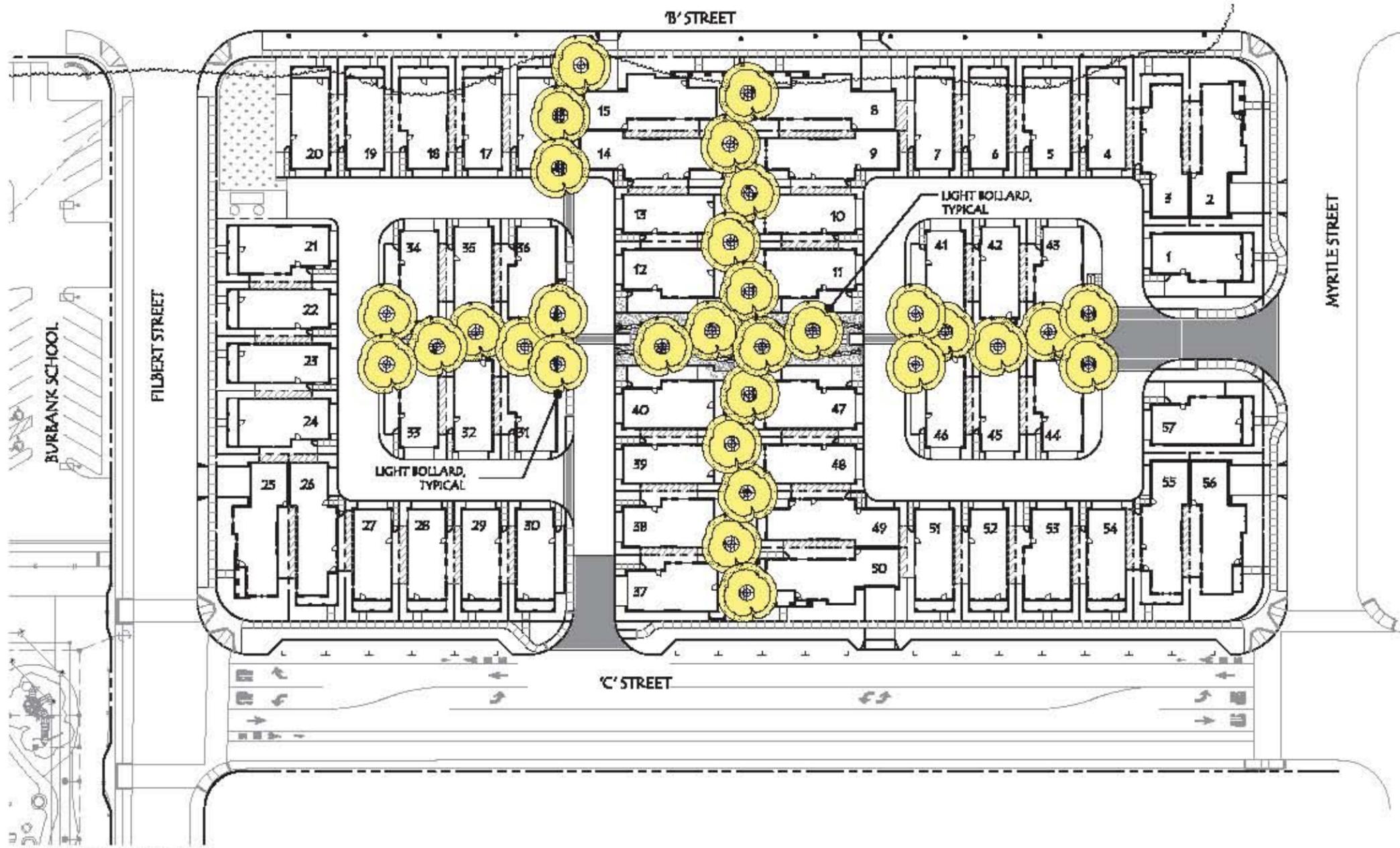
Fencing Plan

Residual Burbank School Site Hayward, California

Urban Dynamic, LLC
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LIGHT BOLLARD

SITE LIGHTING PLAN
SCALE: 1"=30'



SCALE: 1" = 30'
0 15 30 60 90
February 25, 2011

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L.3
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Site Lighting Plan



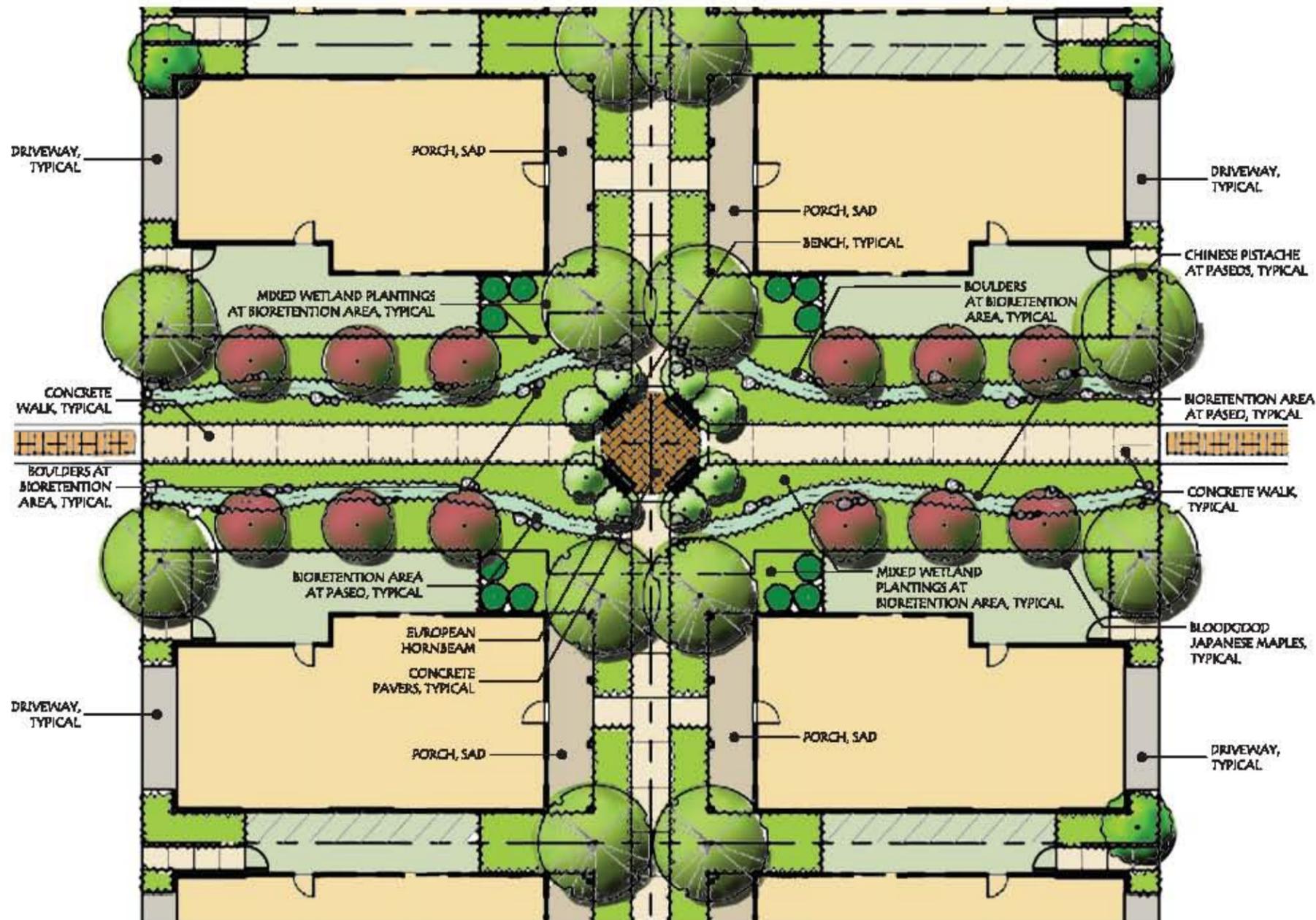
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Residual Burbank School Site

Hayward, California

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Walnut Creek, California 94594
Office: (925) 934-8822 Fax: (925) 934-8823





ILLUSTRATIVE PASEO PLAN
SCALE: 1/8"=1'-0"



EUROPEAN HORNBEAM



JAPANESE MAPLE



PURPLE LEAF PLUM



CRABAPPLE



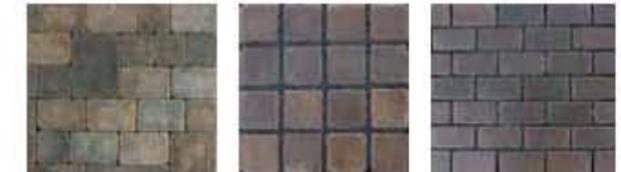
CHINESE PISTACHE



CRAPE MYRTLE



BIORETENTION AREA



COURTYARD PAVING OPTIONS



SCALE 1/8"=1'-0"
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February 25, 2011

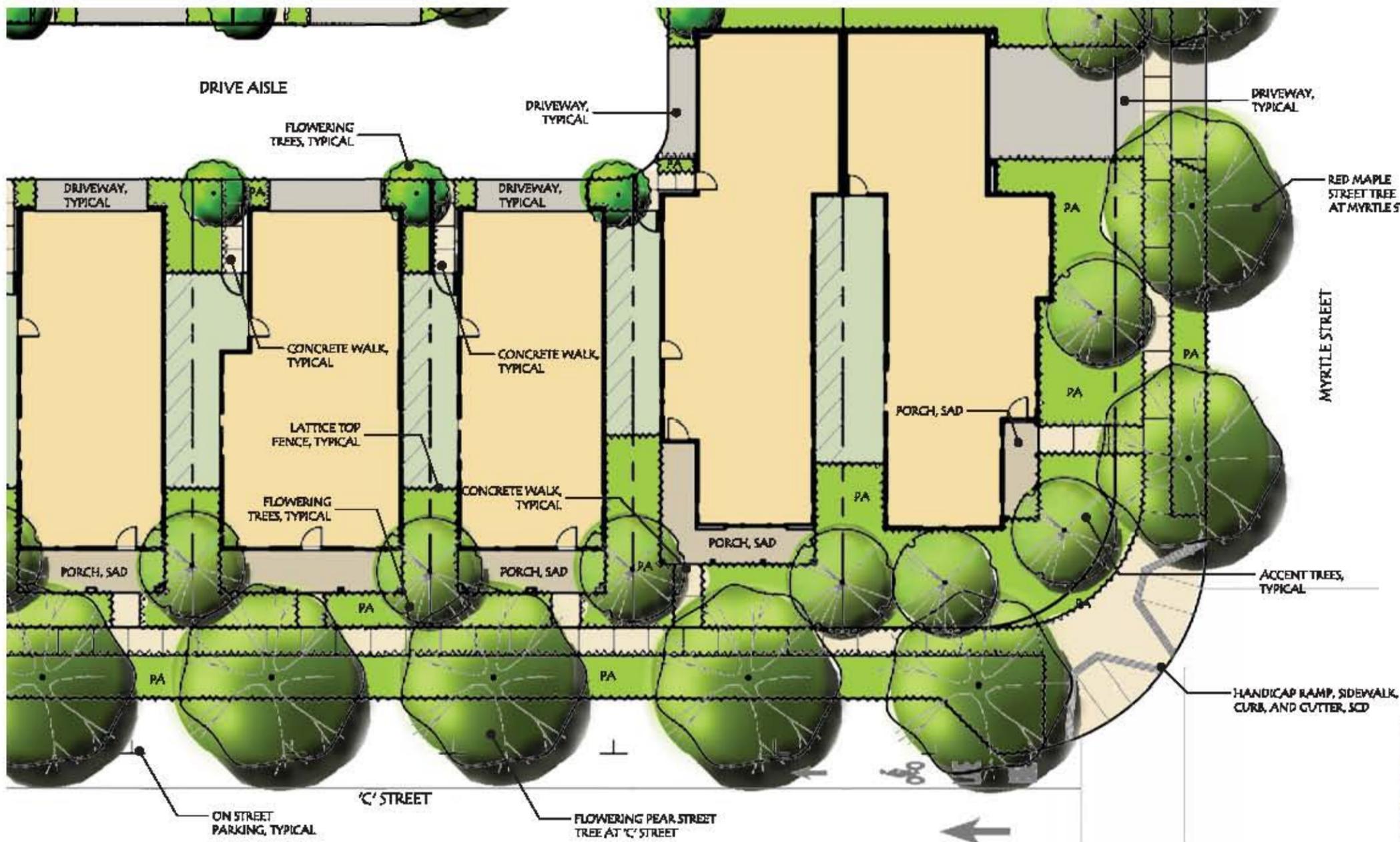
SHEET NUMBER
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11 OF 38

Illustrative Paseo Plan

Residual Burbank School Site Hayward, California

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TYPICAL STREET FRONTING PLAN
SCALE: 1/8"=1'-0"



CRAPE MYRTLE



RED SUNSET MAPLE



FLOWERING PEAR



CRABAPPLE



CHINESE PISTACHE



DAYLILIES



LOROPETALUM



AGAPANTHUS



LIRIOPE



CAMELLIA



ROSEMARY

Typical Street Fronting Plan



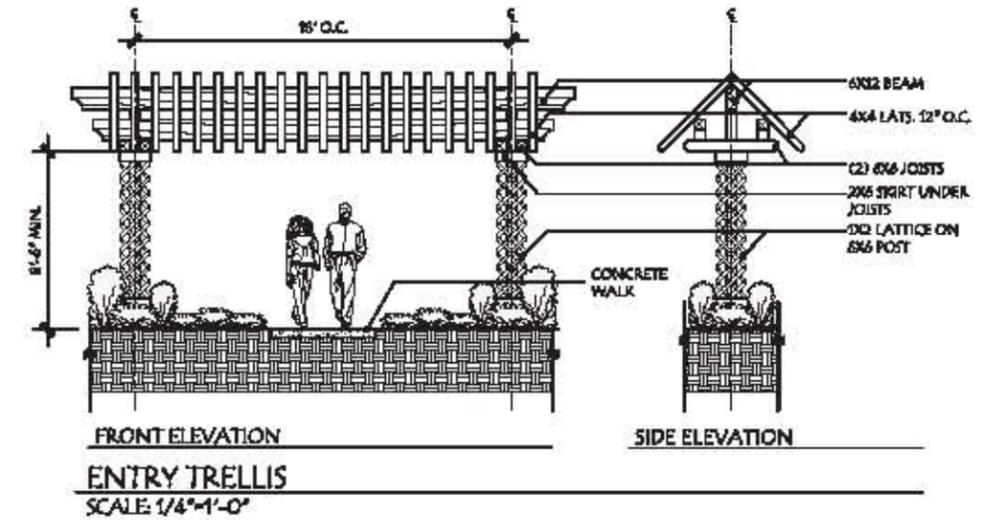
SCALE: 1/8"=1'-0"
0 4 8 16 24
February 25, 2011

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L.5
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ENTRY TRELLIS PLAN
SCALE: 1/4"=1'-0"



Entry Trellis Plan and Elevation



SCALE: 1/4"=1'-0"

February 25, 2011

SHEET NUMBER
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Residual Burbank School Site
Hayward, California

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Office: (925) 934-8022 Fax: (925) 934-8023



LANDSCAPE WATER USE STATEMENT

Project Name: Residual Burbank School Site

Project Address: Hayward, California

Prepared by: Dickson & Associates, Inc.
 9050 B Deschutes Road
 Palo Cedro, CA 96073
 (530) 547-5515

PART ONE Maximum Applied Water Allowance (MAWA)

MAWA= (ETo)(0.62)(0.7xLA)

ETo- Reference Evapotranspiration (44.2 in./yr.)
 0.62- Conversion Factor (to gallons/sq. ft.)
 0.7- ET Adjustment Factor
 LA- Landscaped Area in sq. ft.

MAWA= (44.2)(0.62)(0.7x46,471)

Maximum Applied Water Allowance 891,444 (Gallons per Year)

PART TWO Estimated Total Water Use (ETWU) See Table Below

ETWU= (ETo)(0.62) { $\frac{PF \times HA}{IE}$ }

PF*- Plant Factor
 HA*- Hydrozone Area (high, moderate and low water use areas in sq. ft.)
 IE*- Irrigation Efficiency

* See City of Hayward Water Efficient Landscape Worksheet for factors

DICKSON & ASSOCIATES, INC.
 LANDSCAPE IRRIGATION
 MARTY DICKSON, ASIC
 TEL (530) 547-5515 FAX (530) 547-5513
 P.O. BOX 418
 PALO CEDRO, CALIFORNIA 96073

SHEET NUMBER

L.7

February 25, 2011

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IRRIGATION NOTES

1. THESE IRRIGATION DRAWINGS ARE DIAGNOSTIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS WHERE POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR IS REQUIRED TO INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES WHICH MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IN THE EVENT OF FIELD DIFFERENCES, THE CONTRACTOR IS REQUIRED TO PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATION. THE CONTRACTOR IS ALSO REQUIRED TO NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH ALL APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING, STRUCTURE, ETC., BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REQUIRED REVISIONS.
2. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLERS TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOISTURE AND SLOPES, SUN, SHADE, AND WIND EXPOSURES.
4. AT THE END OF THE REQUIRED MAINTENANCE PERIOD OF THE CONTRACTOR, THE OWNER SHALL PROVIDE REGULAR MAINTENANCE OF THE IRRIGATION SYSTEM TO ENSURE THE EFFICIENT USE OF WATER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT AND CONTROL SYSTEM.
5. 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO IRRIGATION CONTROLLER LOCATIONS TO BE PROVIDED UNDER ELECTRICAL CONTRACT WORK. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL STUB-OUT TO CONTROLLERS AND PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
6. EACH IRRIGATION CONTROLLER TO HAVE ITS OWN INDEPENDENT 24 VOLT COMMON GROUND WIRE.
7. INSTALL NEW BATTERIES IN IRRIGATION CONTROLLERS TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE, AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
8. IRRIGATION CONTROL WIRES SHALL BE COPPER WITH ULL APPROVAL FOR DIRECT BURIAL IN GROUND, SIZE #14-1, COMMON GROUND WIRE SHALL HAVE WHITE INSULATING JACKET. CONTROL WIRE SHALL HAVE INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICE SHALL BE MADE WITH 3M-DRY SEAL PACKS.
9. INSTALL SPARE CONTROL WIRE OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES. MINIMUM OF ONE SPARE WIRE PER CONTROLLER.
10. SPLICING OF 24 VOLT WIRES IS NOT PERMITTED EXCEPT IN VALVE BOXES. SEAL WIRE SPLICES WITH 3M-DRY SEALING DEVICES OF SIZE COMPATIBLE WITH WIRE SIZE. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. TAPING WIRES IS NOT REQUIRED INSIDE SLEEVES.
11. PLASTIC VALVE BOXES ARE TO BE GREEN IN COLOR WITH BOLT DOWN, NON-HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. MANUFACTURER SHALL BE DAWSON INDUSTRIES.
12. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE 12" FROM THE WALK, CURB, ETC. AND EACH BOX SHALL BE 12" APART.
13. VALVE LOCATIONS SHOWN ARE DIAGNOSTIC. INSTALL IN GROUND COVER/SHRUB AREAS (WHERE POSSIBLE) (NOT IN LAWN AREA).
14. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
15. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
16. LOCATE BUBBLERS ON UP-HILL SIDE OF PLANT OR TREE.
17. INSTALL A WILCOX GOOD SERIES SPRING LOADED CHECK VALVE BELOW THOSE BUBBLERS WHERE LOW HEAD DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
18. WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. TRENCHES ADJACENT TO TREE SHOULD BE CLOSED WITHIN TWENTY-FOUR (24) HOURS AND WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADY WITH BURLAP OR CANVAS.
19. IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
20. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
21. PIPE THREAD SEALANT COMPOUND SHALL BE LASCO #905-306, PERMATEX 61 OR RECTOR SEAL T+2.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION
•	1401	RAINBIRD BUBBLER (SHRUB)
▪	1401/RWS-BCG	RAINBIRD BUBBLER WITH DEEP WATERING BUBBLER ASSEMBLY AND CHECK VALVE (TREE)
⊗	PEB-SERIES	RAINBIRD REMOTE CONTROL VALVE
⊗	T-113-RRR	NIBCO GATE VALVE (LINE SIZE)
⊗	875XL-1"	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY
⊗	ESP-16LXI Plus	RAINBIRD CONTROLLER (WALL MOUNT)
⊗	MINI-CLIK	HUNTER RAIN SWITCH
⊗		CONTROLLER & STATION NUMBER
⊗		APPROXIMATE FLOW (GPM)
⊗		REMOTE CONTROL VALVE SIZE
⊗		MAIN LINE: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELED FITTINGS. 18" COVER.
⊗		LATERAL LINE: 3/4" & LARGER: 1120-CL 200 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELED FITTINGS. 12" COVER.
⊗		SLEEVING: 1120-CL 200 PVC PLASTIC PIPE. 18" COVER.

Landscape Zone (See Plans)	Hydrozone Area (HA) (square feet)	Plant Factor (PF)	Irrigation Efficiency (IE)	ETWU (gallons/yr.)
A	4,712	0.7	0.75	120,519
B	21,238	0.5	0.85	342,357
C	20,521	0.3	0.85	198,479
Total	46,471			661,355

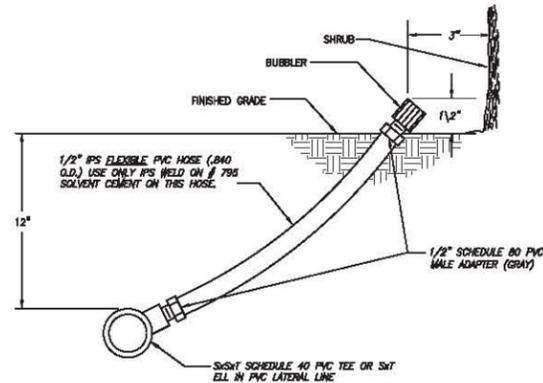
Irrigation Notes and Legends

Residual Burbank School Site
 Hayward, California

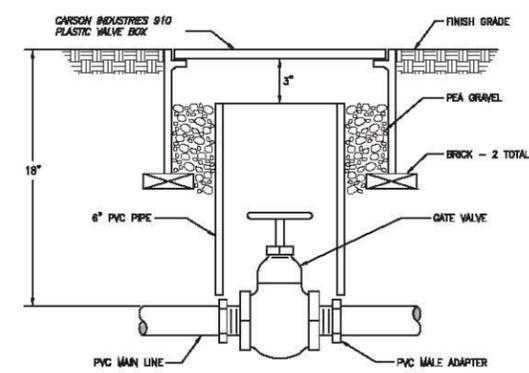
Urban Dynamic, LLC
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 Redwood Shores, Ca. 94065

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 1475 N. Broadway Suite 290
 Walnut Creek, California 94594
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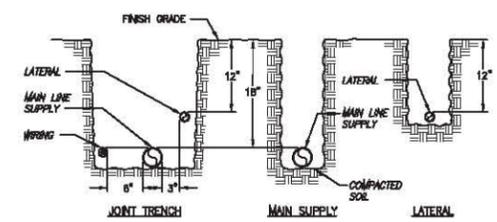




SHRUB BUBBLER WITH FLEXIBLE RISER
NOT TO SCALE

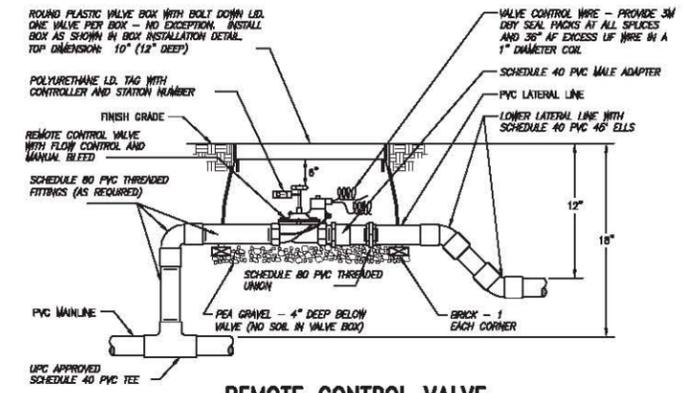


GATE VALVE
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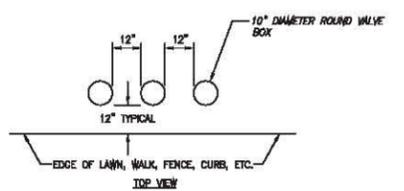


TRENCHING DETAIL
NOT TO SCALE

- NOTES:
1. ALL PLASTIC PIPING SHALL BE INSTALLED IN THE TRENCH IN A SERPENTINE MANNER AS PER THE MANUFACTURER'S SPECIFICATIONS.
 2. ALL SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS.
 3. TAPE AND BUNDLE TUBING OR WRAP AT 10 FEET INTERVALS.
 4. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
 5. BACKFILL MATERIAL SHALL BE THE EARTH EXCAVATED FROM THE TRENCHES, FREE FROM ROCKS, CONCRETE CHIPS, AND OTHER FOREIGN OR COARSE MATERIALS. CAREFULLY SELECT BACKFILL THAT IS TO BE PLACED NEXT TO PLASTIC PIPE AND AVOID ANY SHARP OBJECTS WHICH MAY DAMAGE THE PIPE.

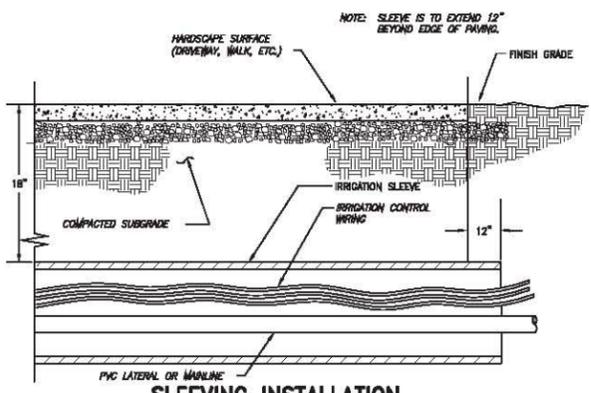


REMOTE CONTROL VALVE
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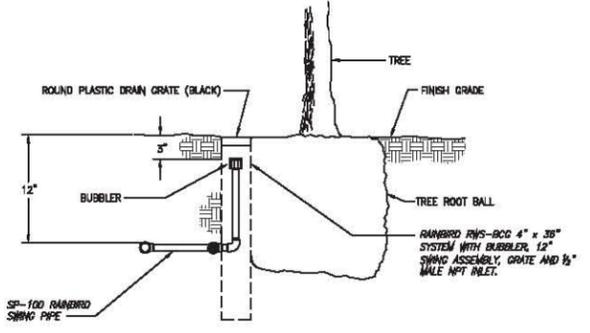


- NOTES:
1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
 2. SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FINISH GRADE IN TURF AREA.
 3. SET IRVY AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
 4. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
 5. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

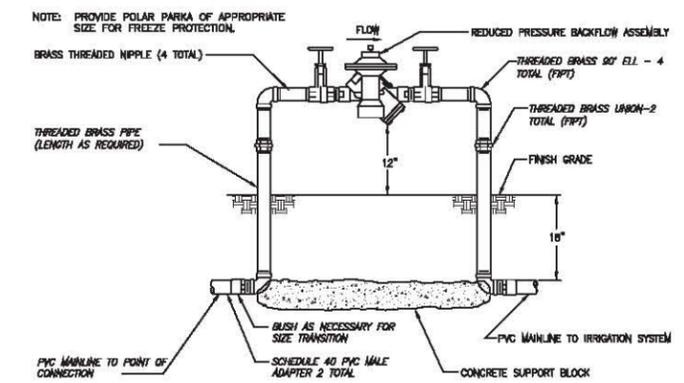
VALVE BOX INSTALLATION
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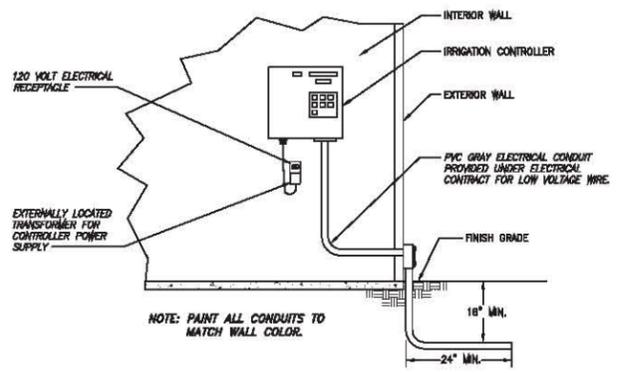
SLEEVING INSTALLATION
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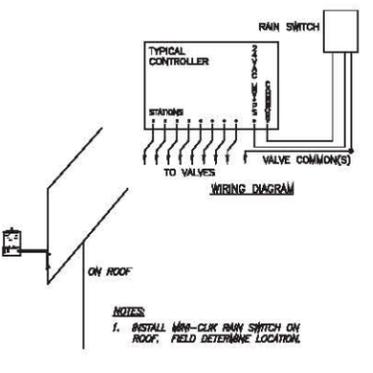
TREE BUBBLER
NOT TO SCALE



REDUCED PRESSURE BACKFLOW ASSEMBLY
NOT TO SCALE



INTERIOR WALL MOUNT CONTROLLER
NOT TO SCALE



RAIN SWITCH INSTALLATION
NOT TO SCALE

Irrigation Details

Residual Burbank School Site Hayward, California

SHEET NUMBER
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15 OF 38

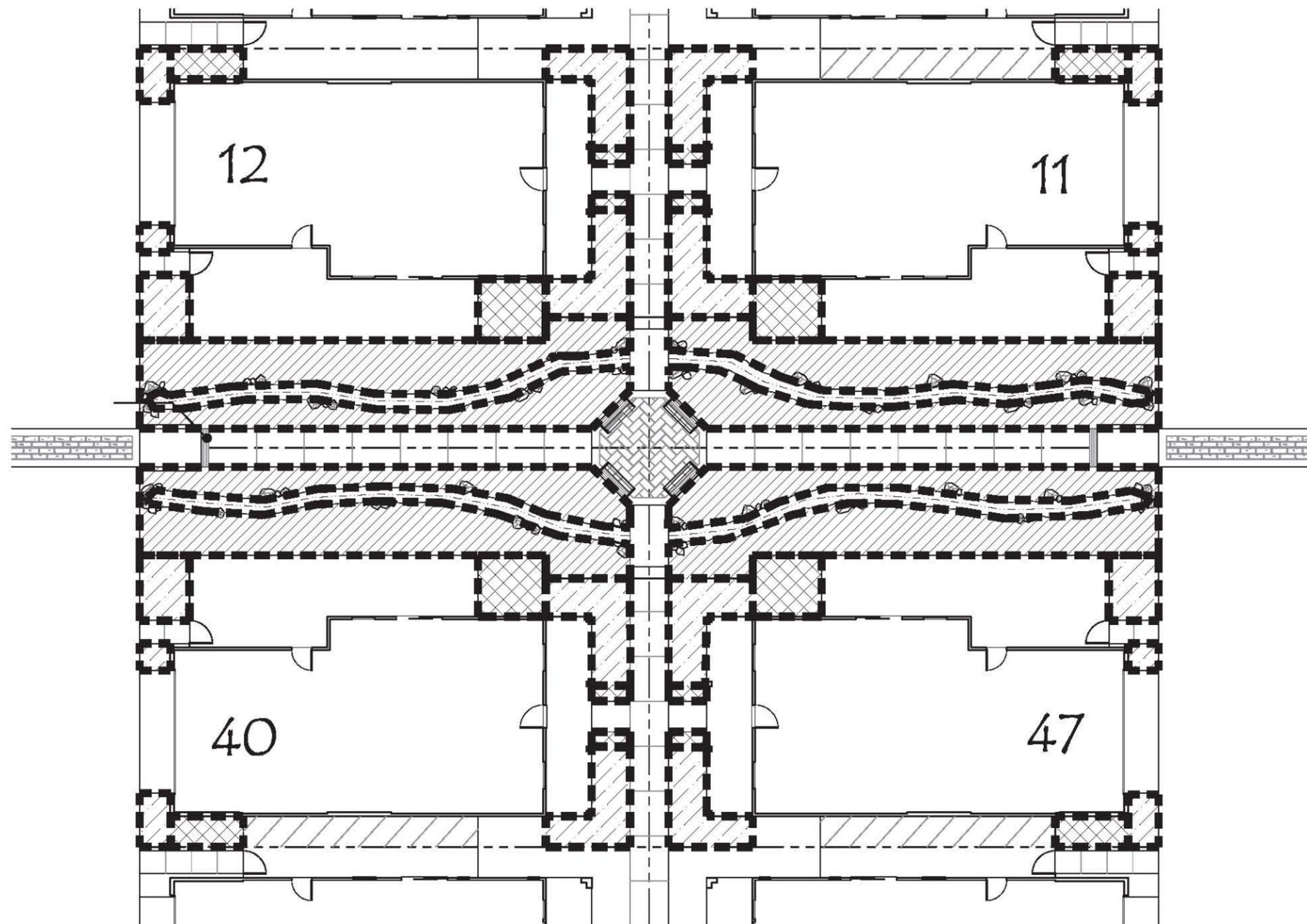
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LANDSCAPE ZONES

-  A MIXED WETLAND PLANTINGS AT BIORETENTION AREA- HIGH WATER USE
-  B ORNAMENTAL SHRUBS W/ BUBBLER IRRIGATION-MEDIUM WATER USE
-  C ORNAMENTAL SHRUBS W/ BUBBLER IRRIGATION-LOW WATER USE

IRRIGATION NOTES:

1. The irrigation shall be designed to separately circuit the different zones high, medium, and low water needs.
2. The irrigation system shall have a rainfall sensing device to avoid operation of the system during periods of increased rainfall.
3. The heads used shall be matched precipitation sprinklers.

TYPICAL PASEO HYDROZONE PLAN
SCALE: 1/8"=1'-0"

Typical Paseo Hydrozone Plan



SCALE: 1/8"=1'-0"

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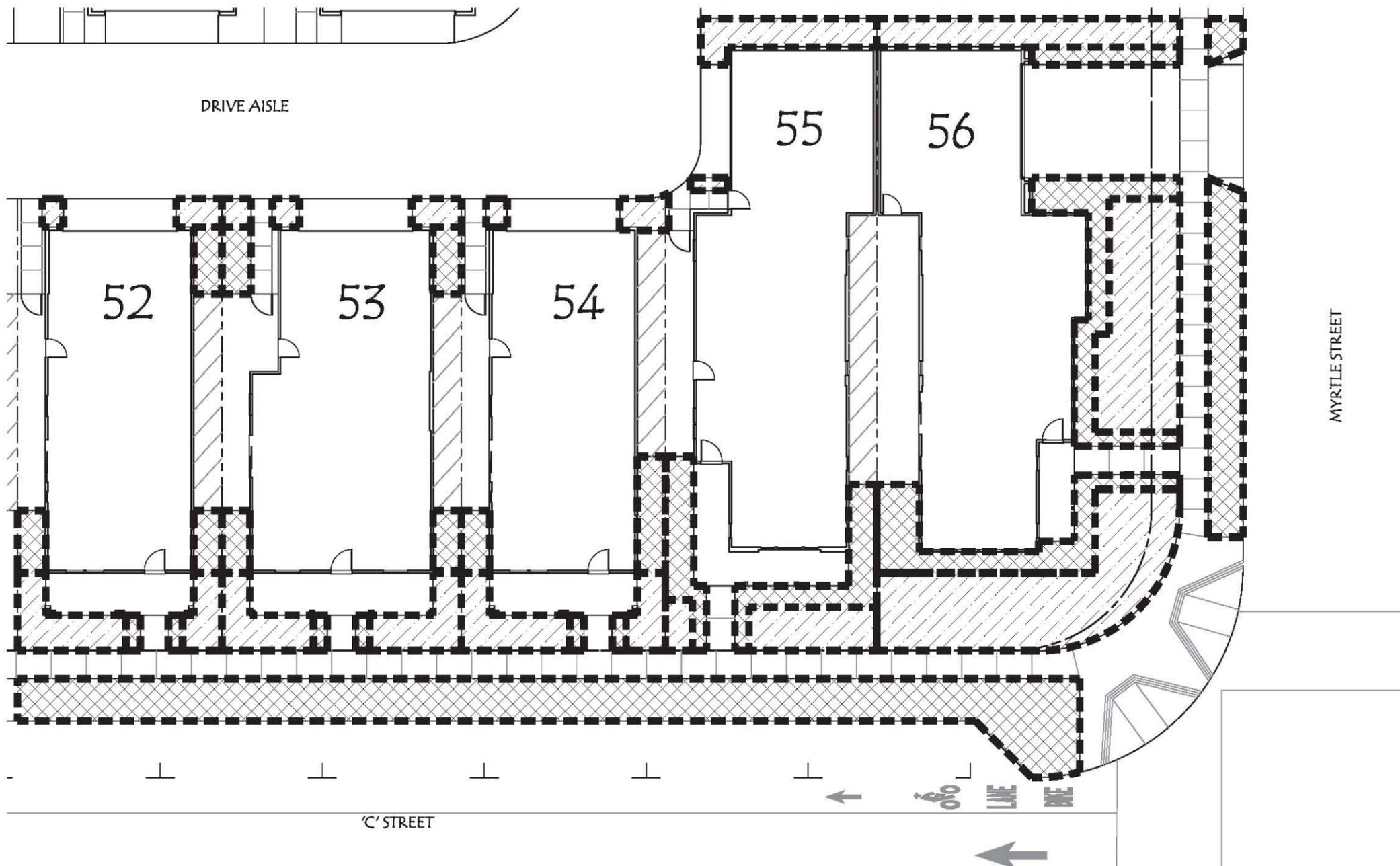


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LANDSCAPE ZONES

-  A MIXED WETLAND PLANTINGS AT BIORETENTION AREA- HIGH WATER USE
-  B ORNAMENTAL SHRUBS W/ BUBBLER IRRIGATION-MEDIUM WATER USE
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3. The heads used shall be matched precipitation sprinklers.

TYPICAL STREET FRONTING HYDROZONE PLAN
SCALE: 1/8"=1'-0"

Typical Street Fronting Hydrozone Plan



SCALE: 1/8"=1'-0"
0 4 8 16 24
February 25, 2011

SHEET NUMBER
L.10
17 OF 38

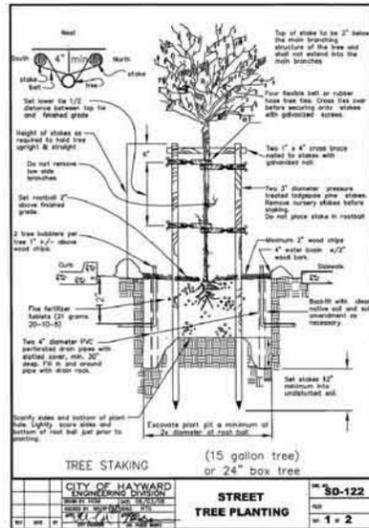


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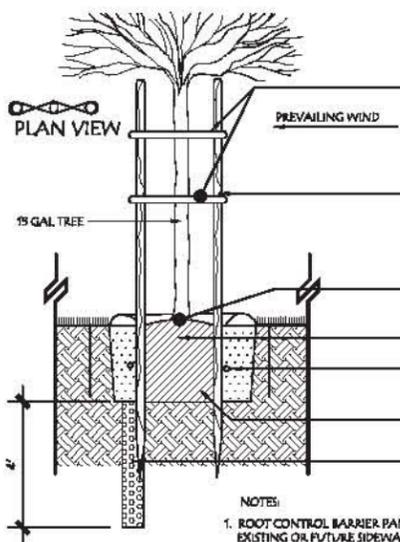




- STREET TREE PLANTING SPECIFICATIONS**
1. Tree shall be healthy, disease and insect-free, well rooted, and properly trained with a straight trunk that can stand upright without support. Tree shall exhibit a central leader, or a main branch that can be trained as a central leader. Branches shall be well-developed and shall be evenly and radially distributed around the trunk. Root ball shall not exhibit twisted or circling roots.
 2. Tree shall comply with federal and state laws requiring inspection for plant diseases and pest infestation. Clearance from the county agricultural commissioner, as required by law, shall be obtained before planting trees delivered from outside the county.
 3. Prior to planting tree, determine the location of existing or future underground utilities. Locate tree a minimum of 3 feet from lateral service lines and driveways. Locate tree a minimum of 15 feet from a light pole, and a minimum of 20 feet from the face of a traffic sign, or as otherwise specified by the City.
 4. Tree pit shall be tested for proper drainage prior to planting tree. Fill pit with water; if water remains after a 24-hour period, dig tree 4"-diameter by 3-foot deep holes at the bottom of the tree pit. Backfill with drain rock.
 5. Set tree in an upright and plumb position. As much as possible, tree shall be positioned such that dominant branches are parallel to the roadway and are oriented away from potential conflicts.
 6. If required by the City, a pressure-compensating butting, or slip emitters, shall be provided to each tree.
 7. Depending on the planter slot width, or the tree well size and the tree species being planted, a 24" deep root-barrier may be required by the City to be placed between the root-ball and the curb and/or sidewalk. Length of strip barrier or size of the box barrier will be specified by the City.
 8. Stakes are to be removed when the tree diameter meets or exceeds the diameter of the stakes.

TREE STAKING DETAIL- PUBLIC STREETS (15 GAL./24" BOX)

N.T.S.



- (1) SETS APPROVED RUBBER (W/O WIRE) TREE TIE, NAILED TO STAKE IN FIGURE 6 FASHION. PLACE UPPER TIE 6" ABOVE THE LOWEST POINT ON THE TRUNK WHERE IT CAN BE HELD TO THE UPRIGHT POSITION WHEN BENT OR DEFLECTED. REDWOODS TO BE STAKED IN SIMILAR MANNER.
- (2) 1" DIA. REDWOOD TREE STAKE, MIN. 30" DEEP, TRIM TO AVOID BRANCH DAMAGE.

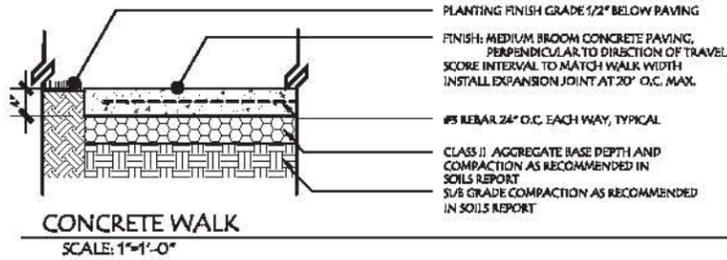
- PLANT TOP OF ROOTBALL 1" ABOVE SURROUNDING GRADE WITH 4" HIGH WATERING BASIN AND 3" APPROVED MULCH LAYER.
- PLANT PIT TO BE SQUARE, DEPTH AS REQUIRED PER NOTES.
- FOR BACKFILL AND FERTILIZER SEE PLANTING NOTES SHEET L-1
- PLANT ROOTBALL, SCARIFY BALL, SET BALL ON BOTTOM OF PLANT PIT
- IF REQUIRED 4" DRAINAGE CHIMNEY, FILL WITH DRAIN ROCK TO DRAIN PIT, SEE SEE L-1

NOTES:

1. ROOT CONTROL BARRIER PANELS SHALL BE REQUIRED WHERE TREE IS 10" OR LESS FROM EXISTING OR FUTURE SIDEWALKS, CURBS OR BASE OF BUILDINGS. BURYING STANDARD PLANTER, UNIVERSAL PLANTER OR DEEP ROOT BARRIER V8-24-2 OR EQUAL MAY BE USED. LENGTH OF ROOT BARRIER = 10' CENTERED ON TREE. INSTALL PER MANUFACTURE SPECIFICATIONS.
2. ROOT BARRIERS SHALL NOT BE CUT.

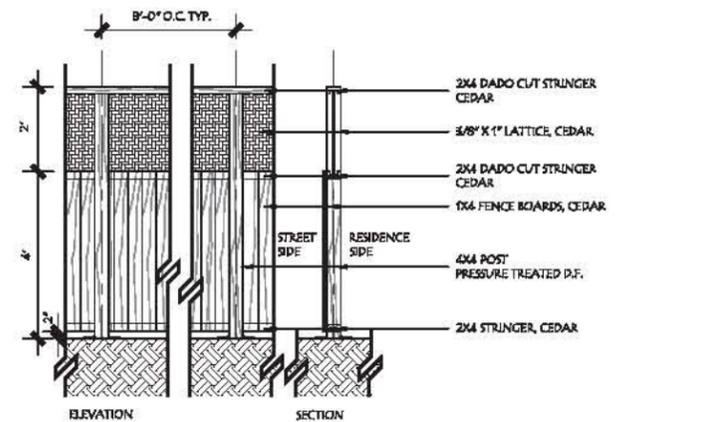
TREE STAKING DETAIL-PRIVATE STREETS

N.T.S.



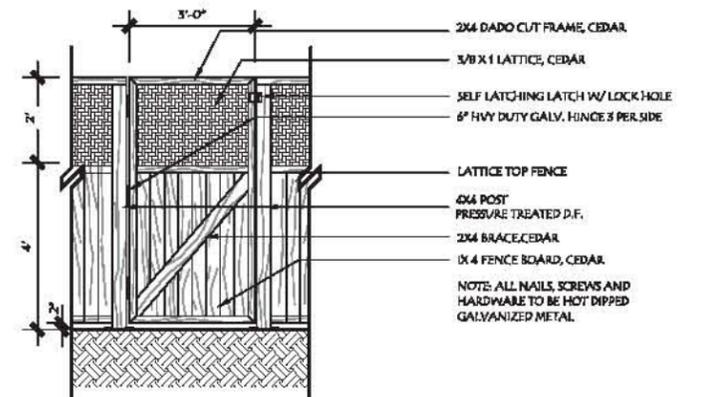
CONCRETE WALK

SCALE: 1/4"=1'-0"



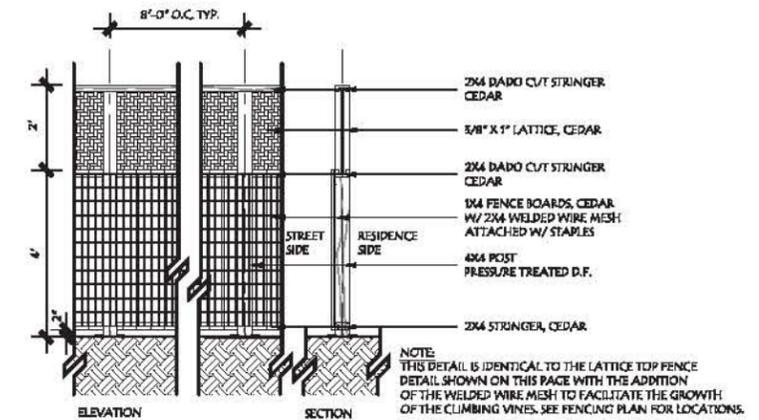
LATTICE TOP FENCE

SCALE: 1/2"=1'-0"



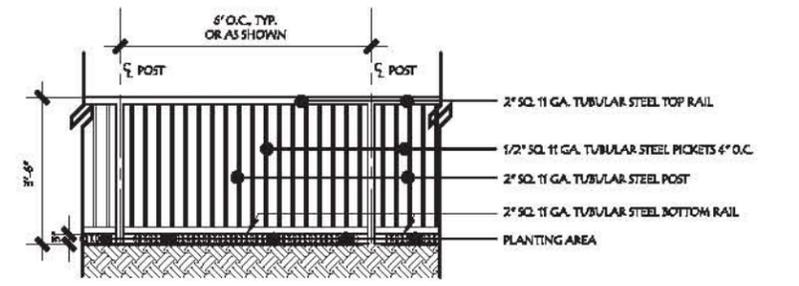
LATTICE TOP GATE

SCALE: 1/2"=1'-0"



LATTICE TOP FENCE W/ WIRE MESH (FOR CLIMBING VINES)

SCALE: 1/2"=1'-0"



METAL PICKET FENCE (AT BIO-RETENTION BASIN)

SCALE: 1/2"=1'-0"

Illustrative Details

Residual Burbank School Site Hayward, California



Urban Dynamic, LLC
390 Bridge Parkway, Suite C
Redwood Shores, Ca. 94065

RANDALL PLANNING & DESIGN, INC.
Landscape Architecture
Site and Environmental Planning
1475 N. Broadway Suite 200
Walnut Creek, California 94596
Office: (925) 934-8002 Facsimile: (925) 934-8053



SHEET NUMBER

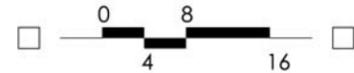
L.11

18 OF 38

February 25, 2011



Streetscene



A0.0
Sheet 19 of 38

Urban Dynamic

Residual Hayward School Site
Hayward, California

Architecture + Planning
283 4th Street Third Floor
Oakland, California 94607
ktgy.com
510.272.2910 Main
510.272.2911 Fax



Craftsman Material List:

- Roof: Architectural Grade Composition Shingles
- Walls: Cementitious Horiz. Siding w/ Mitered Corners
- Trims: 1X4 Wood Trim
- Accents: Cementitious Vert. Siding & Trim Gable Treatment
Outlookers / Kickers
Tapered Columns



1A Craftsman Front Elevation

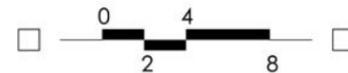
Victorian Material List:

- Roof: Architectural Grade Composition Shingles
- Walls: Cementitious Horiz. Siding w/ 1X4 Corner Boards
- Trims: 1X4 Wood Trim
- Accents: Cementitious Scale Siding & Trim Gable Treatment
Turned Posts w/ Decorative Brackets

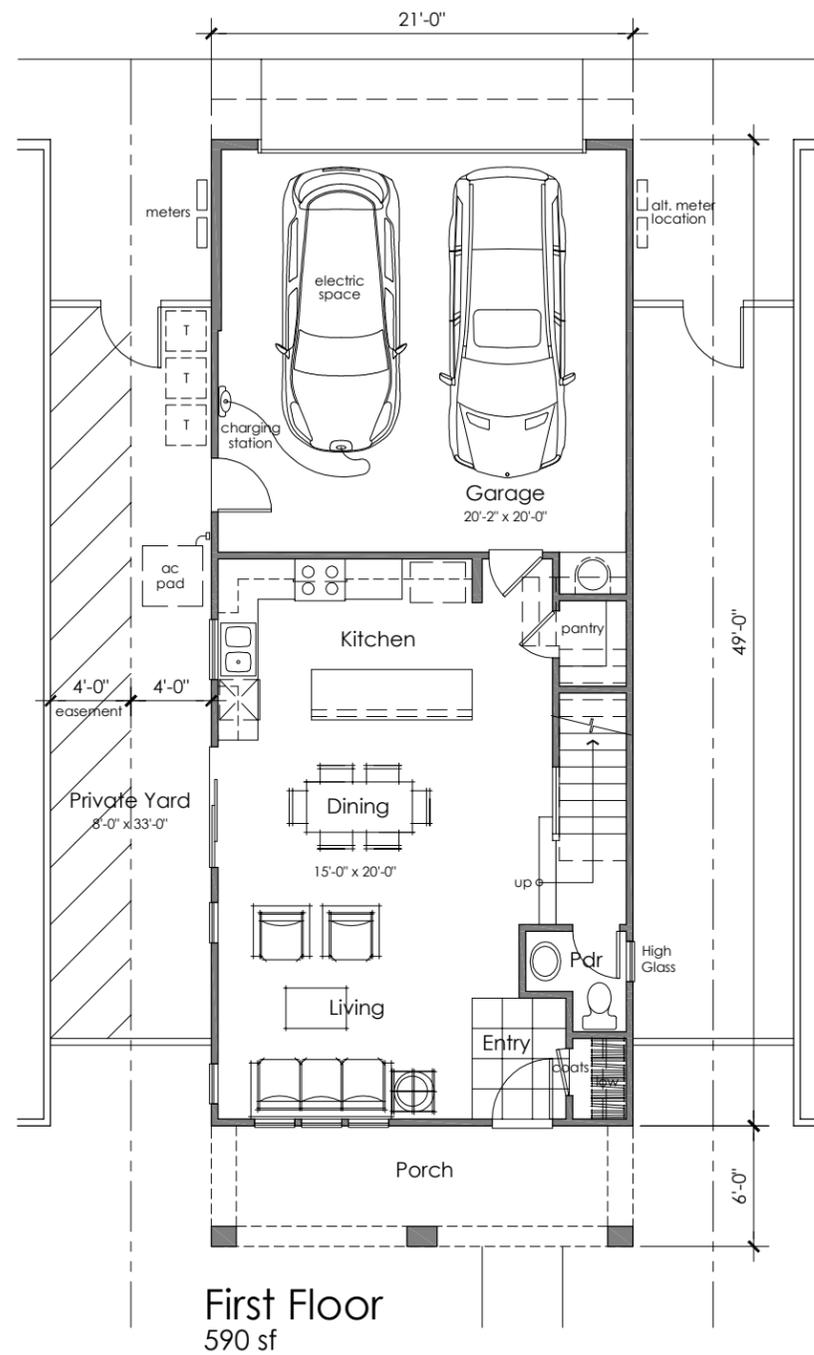
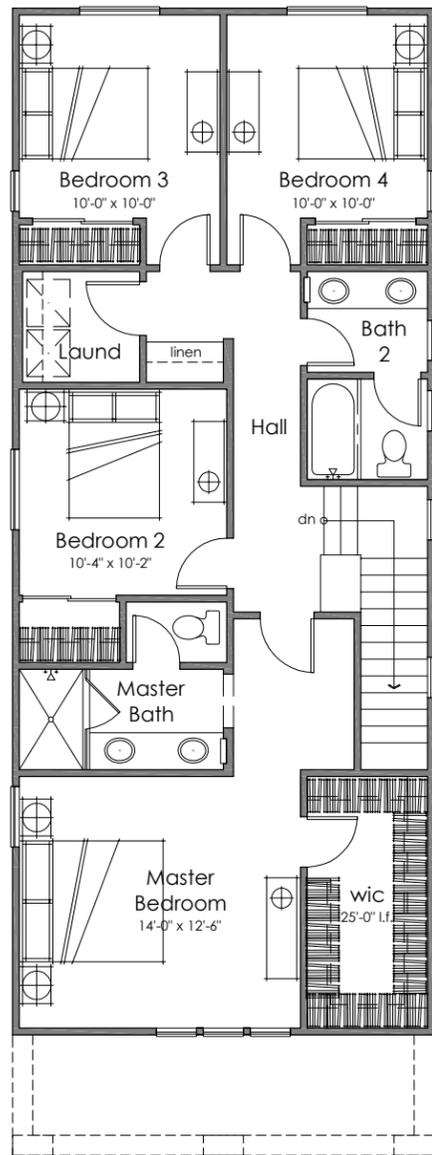


1B Victorian Front Elevation

Plan 1 Front Elevations



A1.1
Sheet 20 of 38



Plan 1 Floor Plan

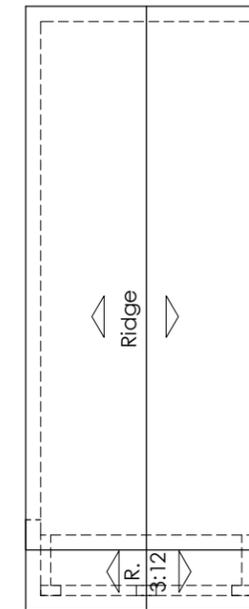


Floor Plan
4 Bedrooms
2.5 Baths
1603 sf

A1.2
Sheet 21 of 38



Left Elevation



Roof Plan

5:12 Pitch

Craftsman Material List:

- Roof: Architectural Grade Composition Shingles
- Walls: Cementitious Horiz. Siding w/ Mitered Corners
- Trims: 1X4 Wood Trim
- Accents: Cementitious Vert. Siding & Trim Gable Treatment
Outlookers / Kickers
Tapered Columns



Right Elevation



Rear Elevation

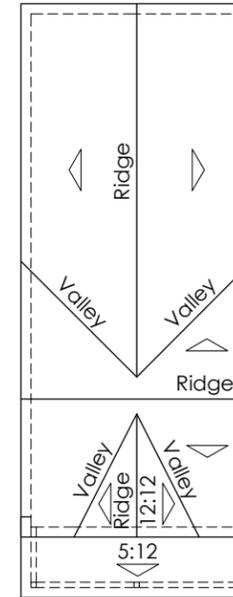
Plan 1A Exterior Elevations



A1.3
Sheet 22 of 38



Left Elevation



Roof Plan



6:12 Pitch

Victorian Material List:

- Roof: Architectural Grade Composition Shingles
- Walls: Cementitious Horiz. Siding w/ 1X4 Corner Boards
- Trims: 1X4 Wood Trim
- Accents: Cementitious Scale Siding & Trim Gable Treatment
Turned Posts w/ Decorative Brackets



Right Elevation



Rear Elevation

Plan 1B Exterior Elevations



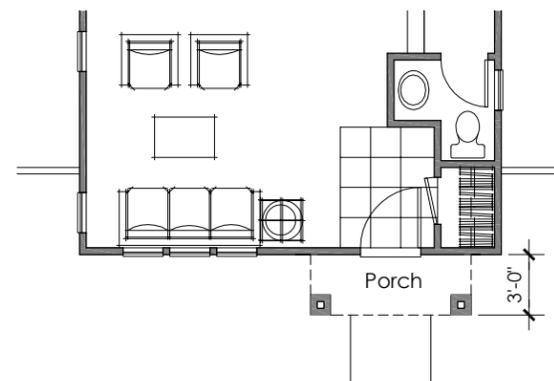
A1.4
Sheet 23 of 38



1A Alt. Craftsman Front Elevation



1B Alt. Victorian Front Elevation



Alt. Porch
(Lots 32, 33, 34, 35, 41, 42, 45, 46)

Plan 1 Alternate Front Elevations



A1.5
Sheet 24 of 38

Craftsman Material List:
 Roof: Architectural Grade
 Composition Shingles
 Walls: Cementitious Horiz. Siding w/
 Mitered Corners
 Trims: 1X4 Wood Trim
 Accents: Cementitious Vert. Siding &
 Trim Gable Treatment
 Outlookers / Kickers
 Stone Veneer



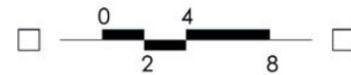
2A Craftsman Front Elevation

Victorian Material List:
 Roof: Architectural Grade
 Composition Shingles
 Walls: Cementitious Horiz. Siding w/
 1X4 Corner Boards
 Trims: 1X4 Wood Trim
 Accents: Cementitious Scale Siding &
 Trim Gable Treatment
 Turned Posts w/ Decorative Brackets
 Decorative Shutters

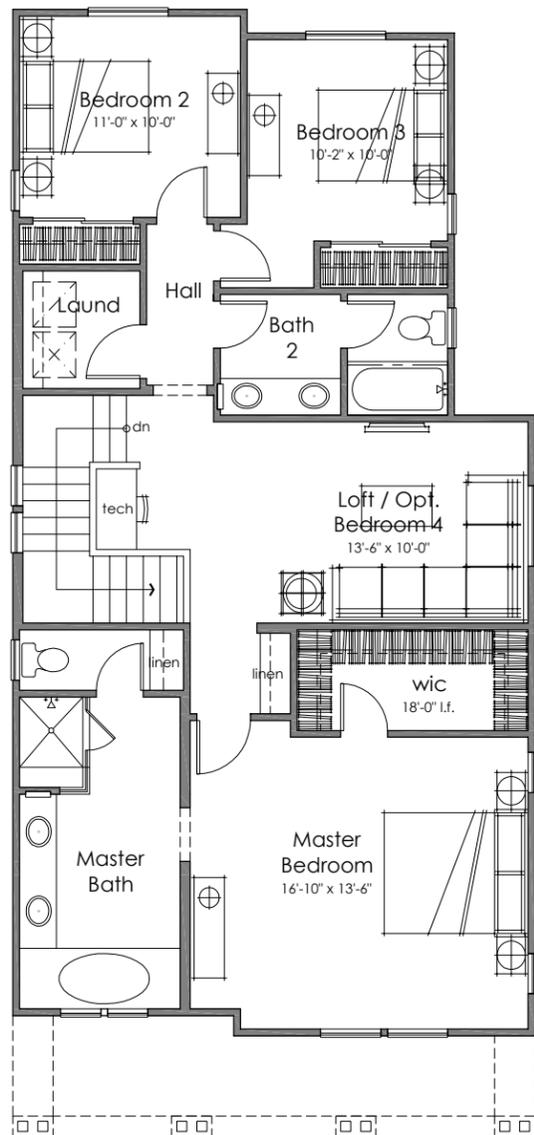


2B Victorian Front Elevation

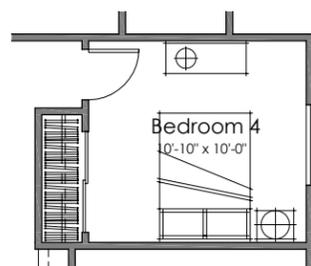
Plan 2 Front Elevations



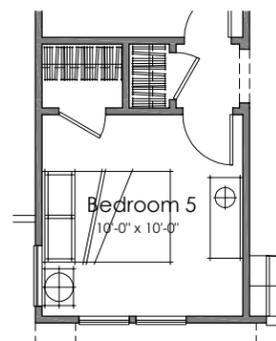
A2.1
 Sheet 25 of 38



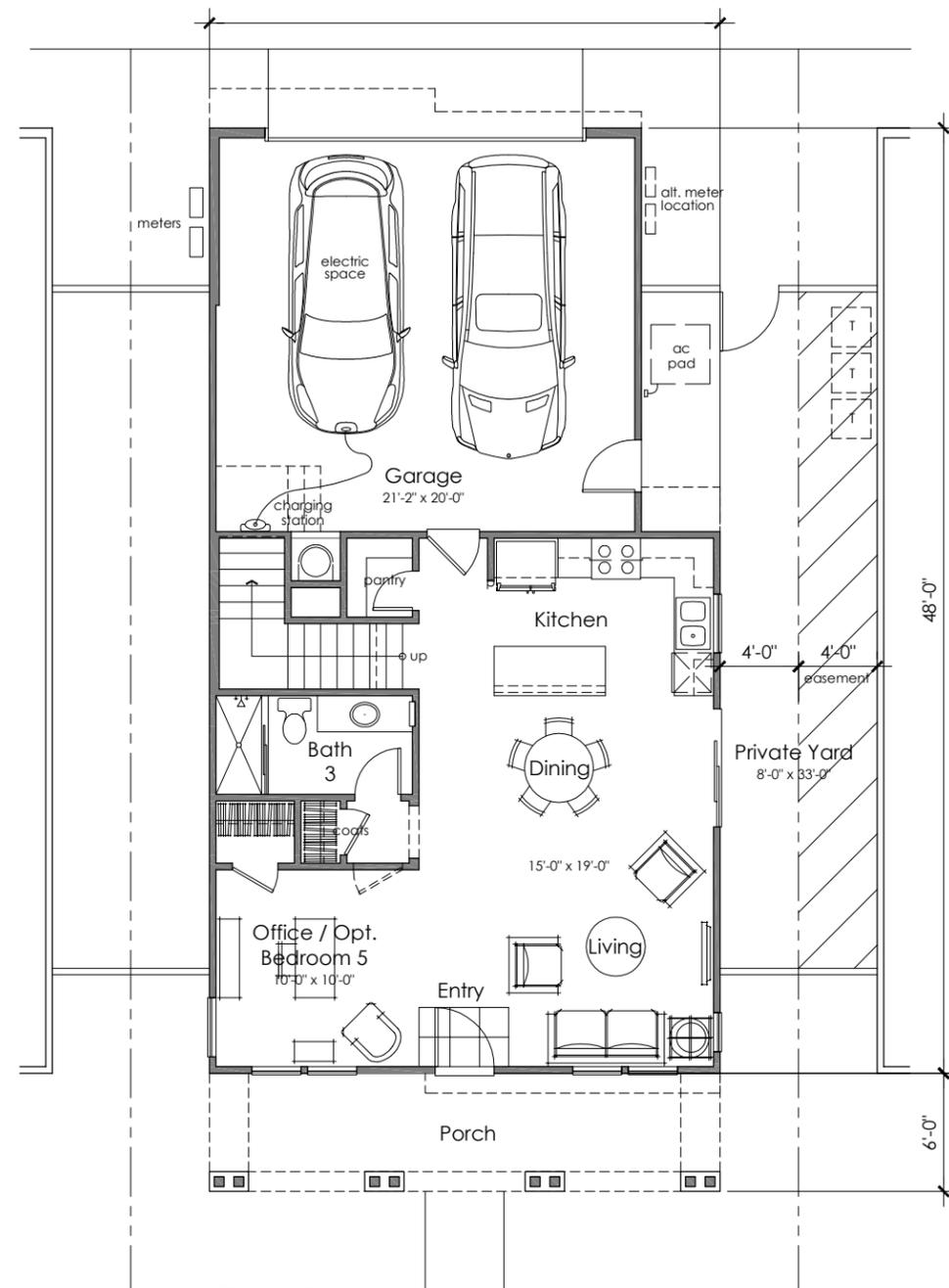
Second Floor
1142 sf



Opt. Bed 4



Opt. Bed 5



First Floor
704 sf

Floor Plan
3 Bedrooms + Loft + Office
Opt. Bedroom 4
Opt. Bedroom 5
3 Baths
1846 sf

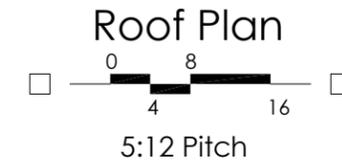
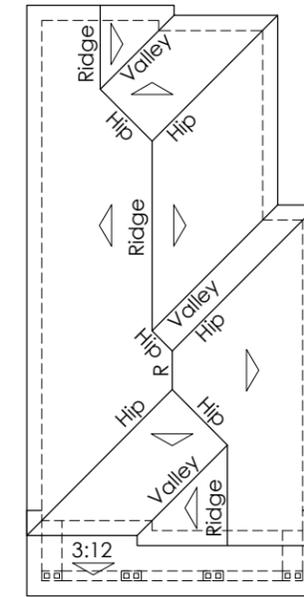
Plan 2 Floor Plan



A2.2
Sheet 26 of 38



Left Elevation



- Craftsman Material List:
- Roof: Architectural Grade Composition Shingles
 - Walls: Cementitious Horiz. Siding w/ Mitered Corners
 - Trims: 1X4 Wood Trim
 - Accents: Cementitious Vert. Siding & Trim Gable Treatment
Outlookers / Kickers
Stone Veneer



Right Elevation



Rear Elevation

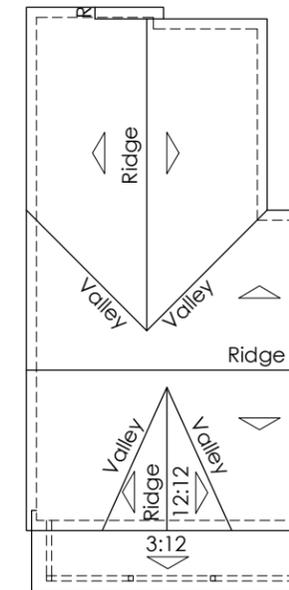
Plan 2A Exterior Elevations



A2.3
Sheet 27 of 38



Left Elevation



Roof Plan



6:12 Pitch

Victorian Material List:

- Roof: Architectural Grade Composition Shingles
- Walls: Cementitious Horiz. Siding w/ 1X4 Corner Boards
- Trims: 1X4 Wood Trim
- Accents: Cementitious Scale Siding & Trim Gable Treatment
Turned Posts w/ Decorative Brackets
Decorative Shutters



Right Elevation



Rear Elevation

Plan 2B Exterior Elevations



A2.4
Sheet 28 of 38



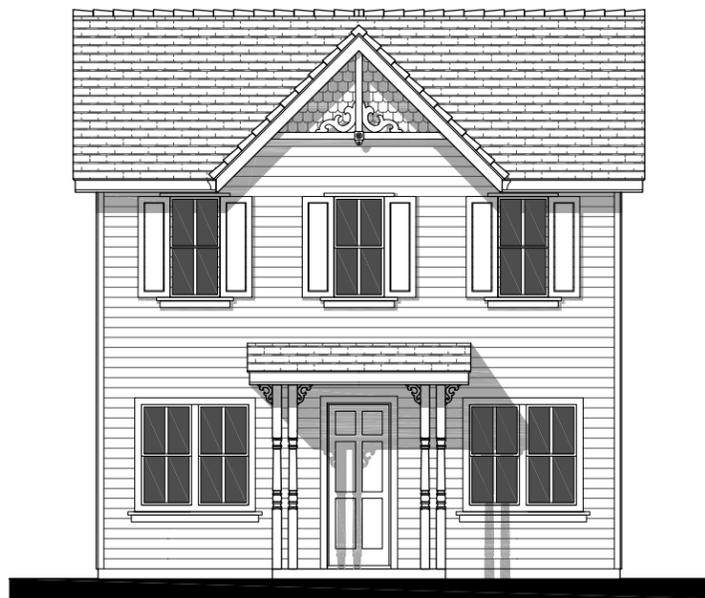
2A Craftsman Enhanced Left Side Elevation



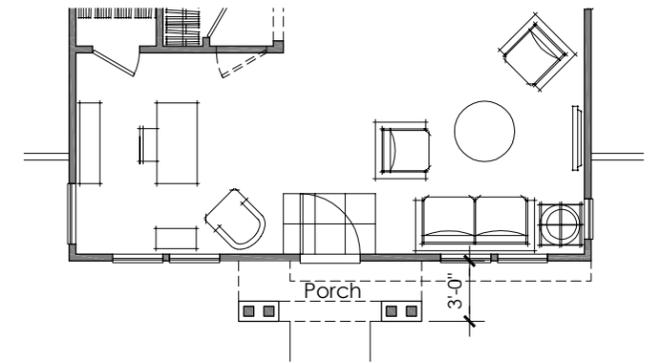
2A Alt. Craftsman Front Elevation



2B Victorian Enhanced Left Side Elevation

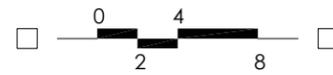


2B Alt. Victorian Front Elevation



2Alt. Porch
(Lots 31, 36, 43, 44)

Plan 2 Alternate/Enhanced Elevations



A2.5
Sheet 29 of 38

Urban Dynamic

Residual Hayward School Site

Hayward, California

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KTGY Job# 2010-0387
February 25, 2011

Craftsman Material List:

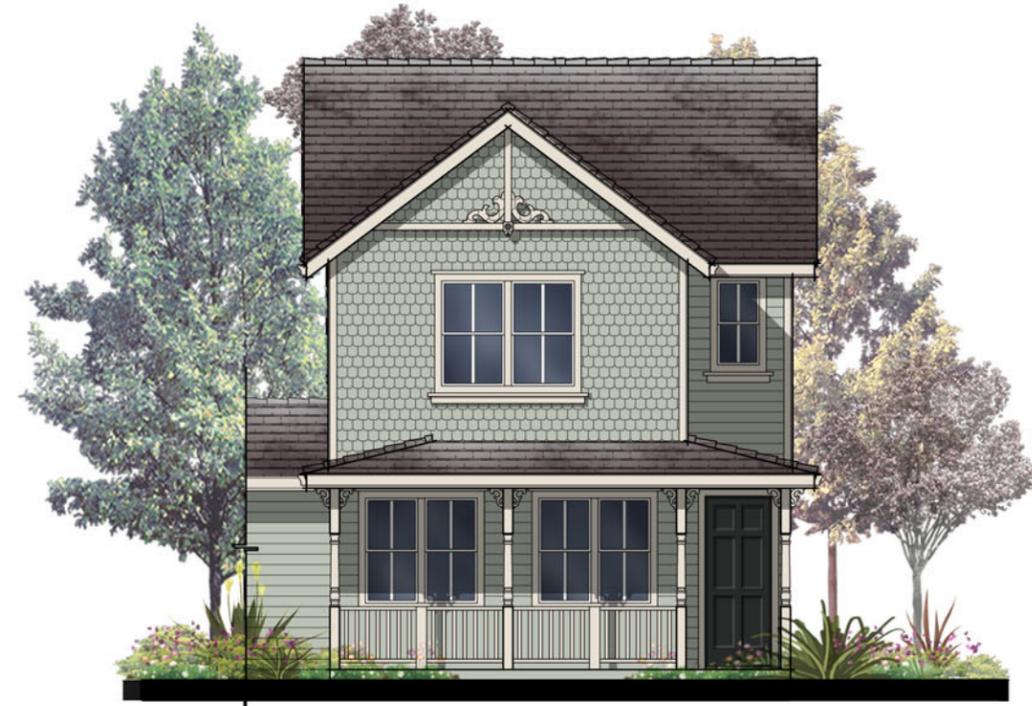
- Roof: Architectural Grade Composition Shingles
- Walls: Cementitious Horiz. Siding w/ Mitered Corners
- Trims: 1X4 Wood Trim
- Accents: Cementitious Vert. Siding & Trim Gable Treatment
Outlookers / Kickers
Tapered Columns
Stone Veneer



3.1A Craftsman Front Elevation

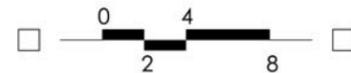
Victorian Material List:

- Roof: Architectural Grade Composition Shingles
- Walls: Cementitious Horiz. Siding w/ 1X4 Corner Boards
- Trims: 1X4 Wood Trim
- Accents: Cementitious Scale Siding & Trim Gable Treatment
Turned Posts w/ Decorative Brackets

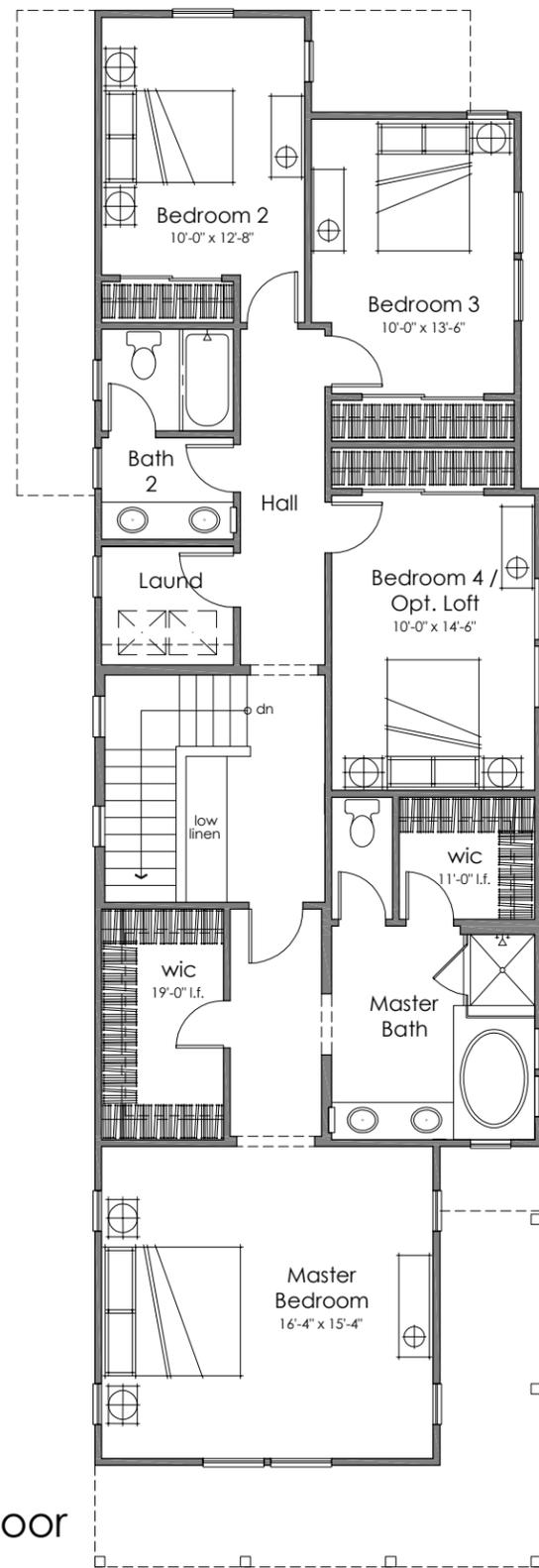


3.1B Victorian Front Elevation

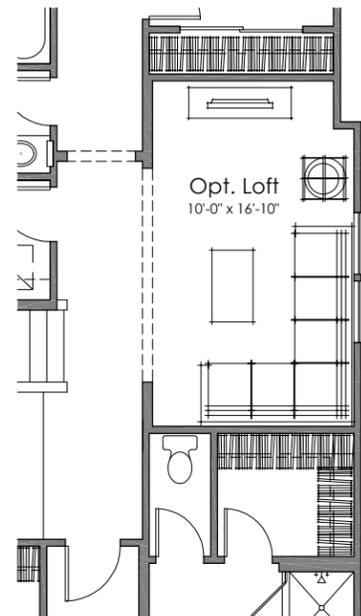
Plan 3.1 Front Elevations



A3.1
Sheet 30 of 38



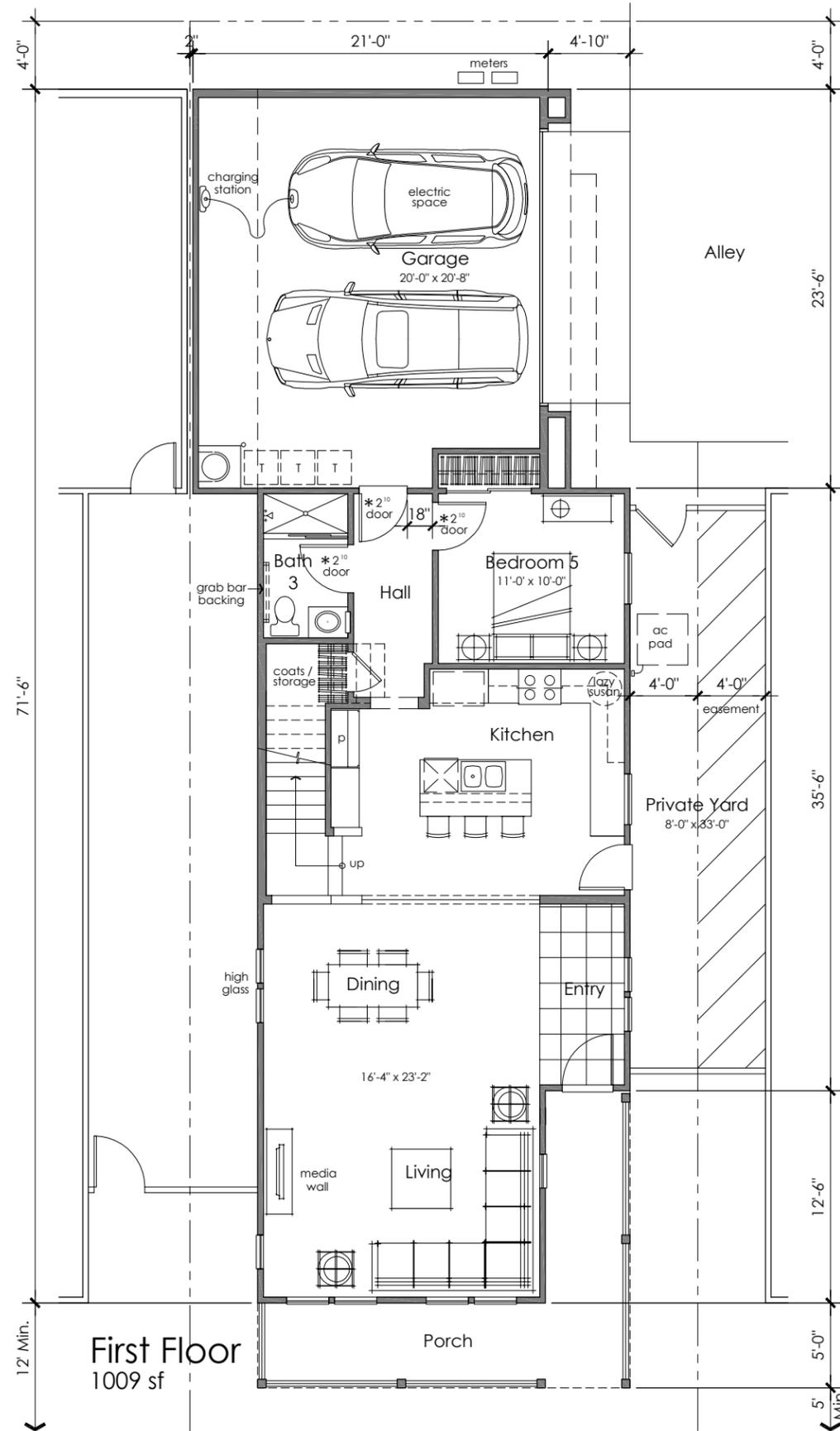
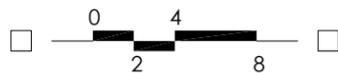
Second Floor
1362 sf



Opt. Loft

Floor Plan
5 Bedrooms
Opt. Loft
3 Baths
2371 sf

Plan 3.1 Floor Plan



First Floor
1009 sf

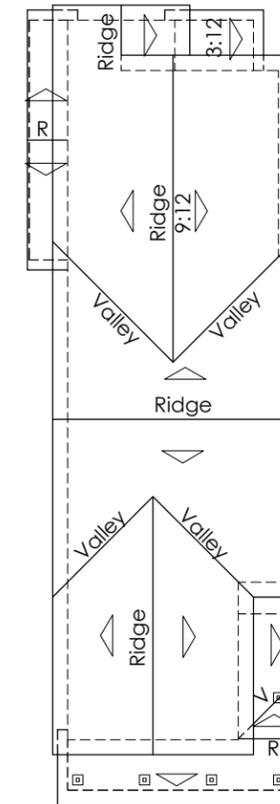
*Integrate Universal Design Features within the home.

A3.2
Sheet 31 of 38





Left Elevation



Roof Plan
0 8 16
4
6.5:12 Pitch

- Craftsman Material List:
- Roof: Architectural Grade Composition Shingles
 - Walls: Cementitious Horiz. Siding w/ Mitered Corners
 - Trims: 1X4 Wood Trim
 - Accents: Cementitious Vert. Siding & Trim Gable Treatment
Outlookers / Kickers
Tapered Columns
Stone Veneer



Right Elevation



Rear Elevation

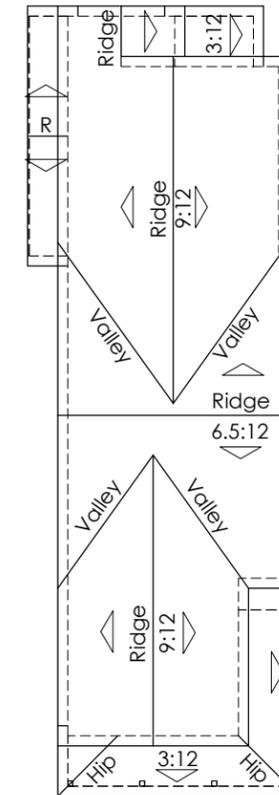
Plan 3.1A Exterior Elevations



A3.3
Sheet 32 of 38



Left Elevation



Roof Plan



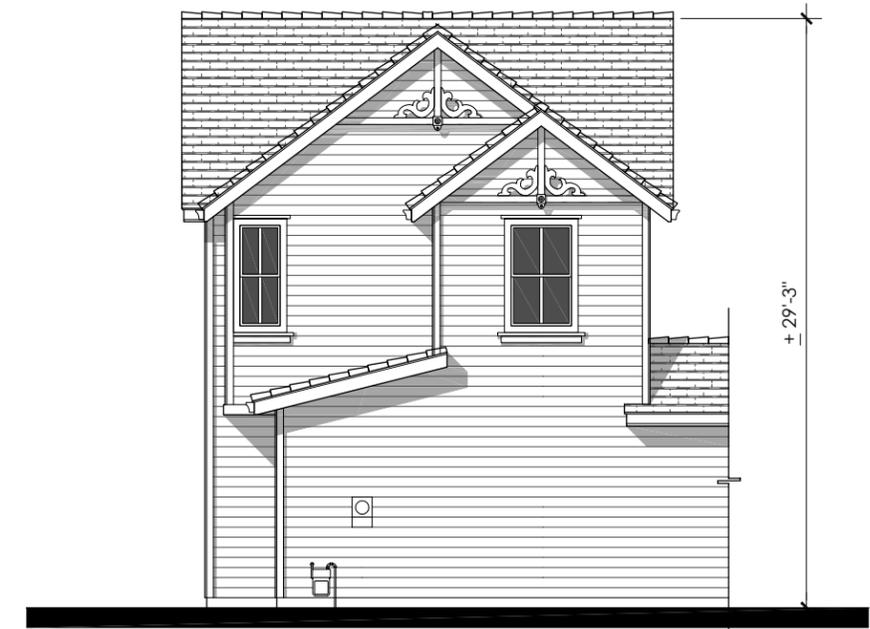
6.5:12 Pitch

Victorian Material List:

- Roof: Architectural Grade Composition Shingles
- Walls: Cementitious Horiz. Siding w/ 1X4 Corner Boards
- Trims: 1X4 Wood Trim
- Accents: Cementitious Scale Siding & Trim Gable Treatment
Turned Posts w/ Decorative Brackets



Right Elevation



Rear Elevation

Plan 3.1B Exterior Elevations



A3.4

Sheet 33 of 38



3.2A Craftsman Side Elevation



3.2A Craftsman Front Elevation



3.2B Victorian Side Elevation

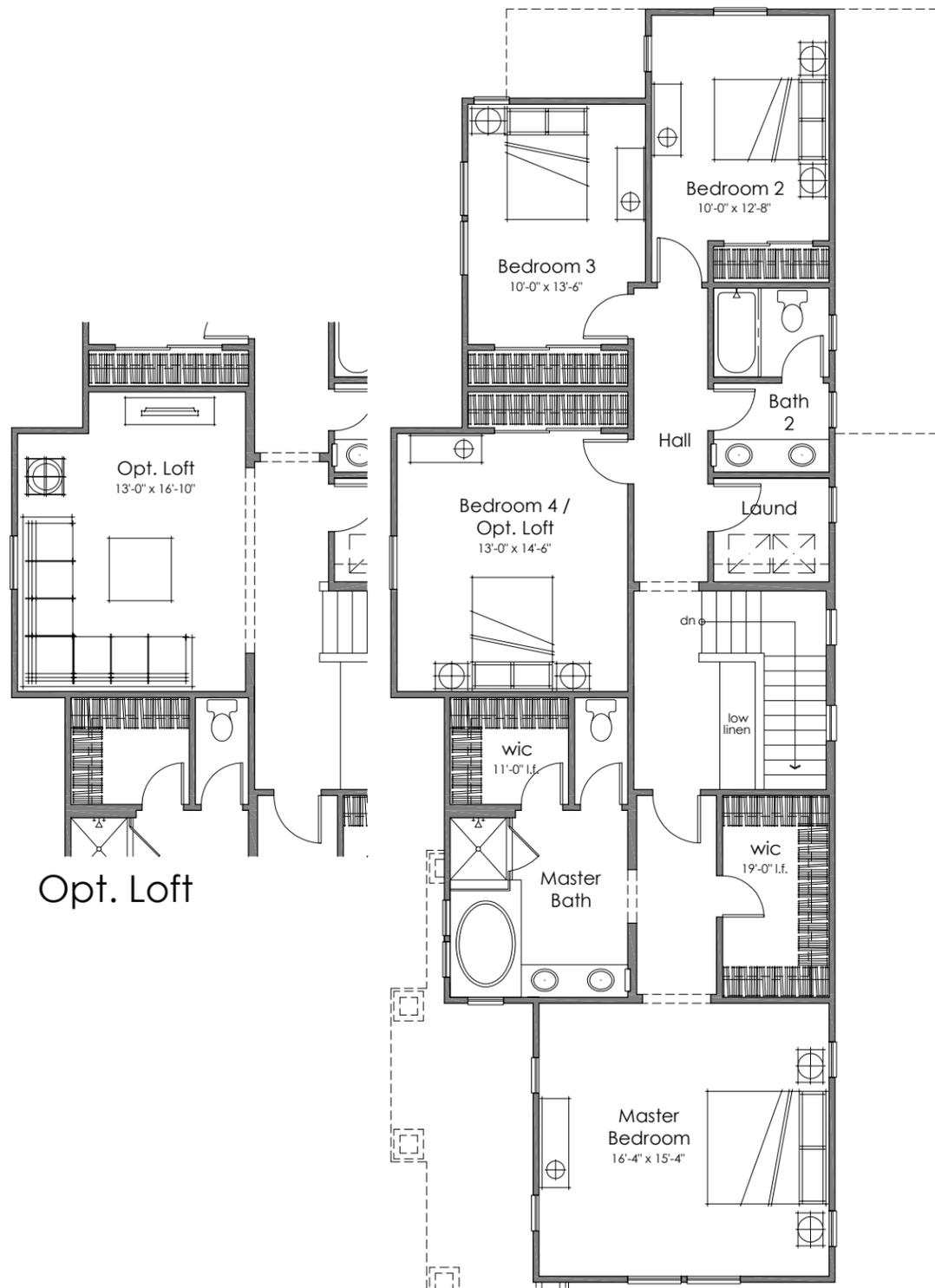


3.2B Victorian Front Elevation

Plan 3.2 Front Elevations



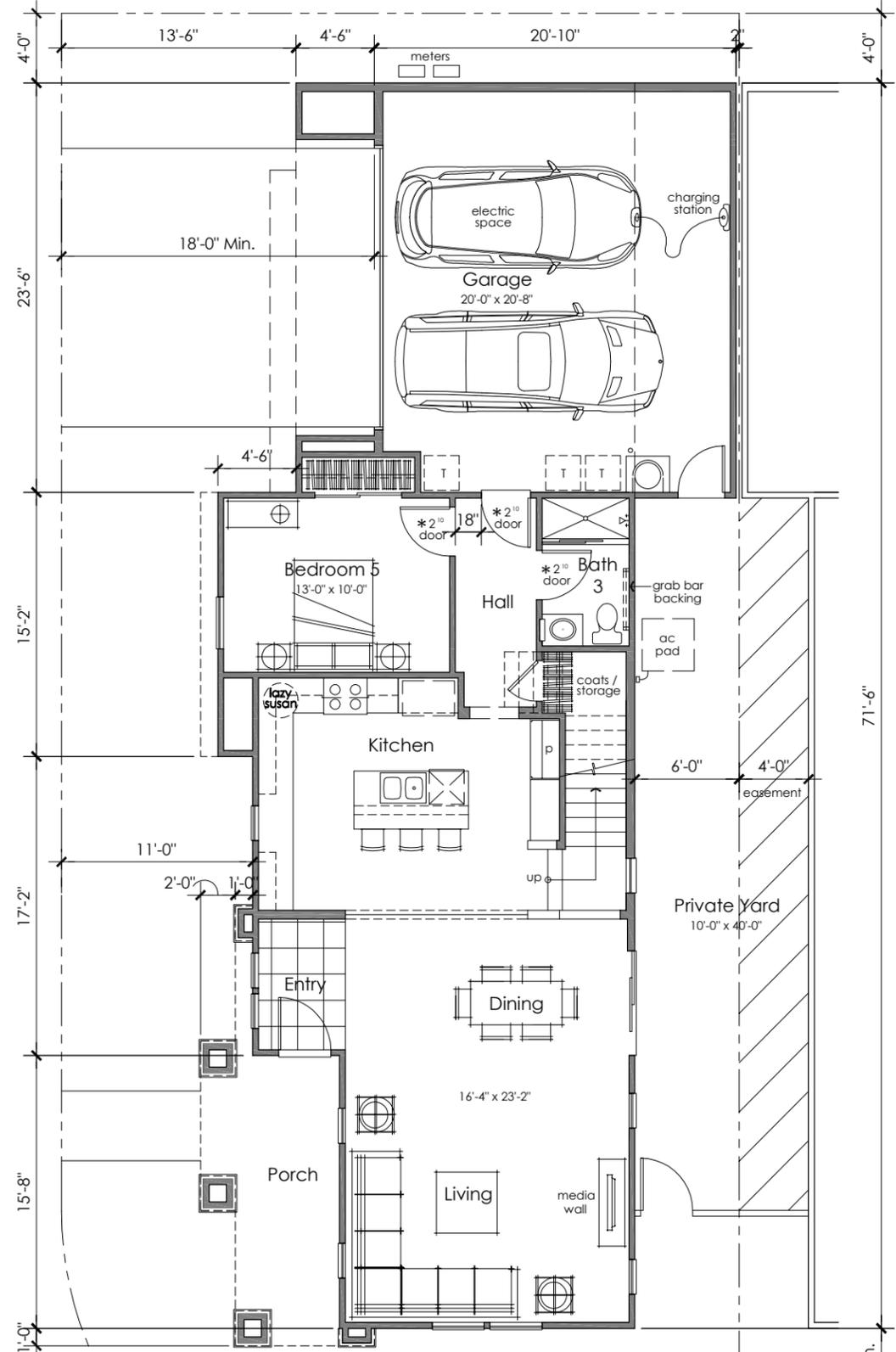
A3.5
Sheet 34 of 38



Second Floor
1408 sf

Plan 3.2 Floor Plan

Floor Plan
5 Bedrooms
Opt. Loft
3 Baths
2423 sf



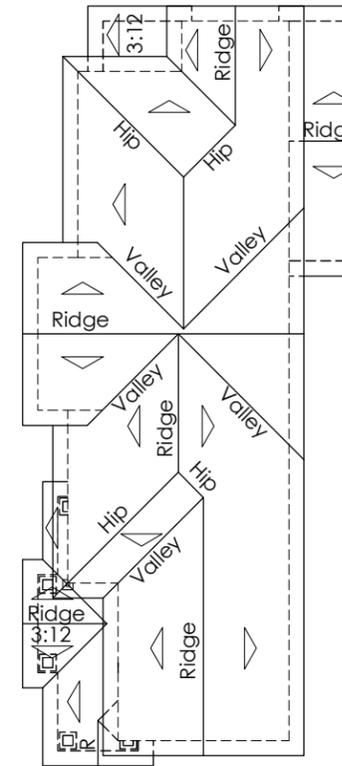
First Floor
1015 sf

*Integrate Universal Design Features within the home.

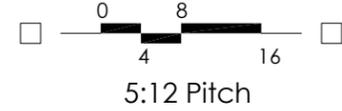
A3.6
Sheet 35 of 38



Left Elevation



Roof Plan



- Craftsman Material List:
- Roof: Architectural Grade Composition Shingles
 - Walls: Cementitious Horiz. Siding w/ Mitered Corners
 - Trims: 1X4 Wood Trim
 - Accents: Cementitious Vert. Siding & Trim Gable Treatment
Outlookers / Kickers
Tapered Columns



Right Elevation



Rear Elevation

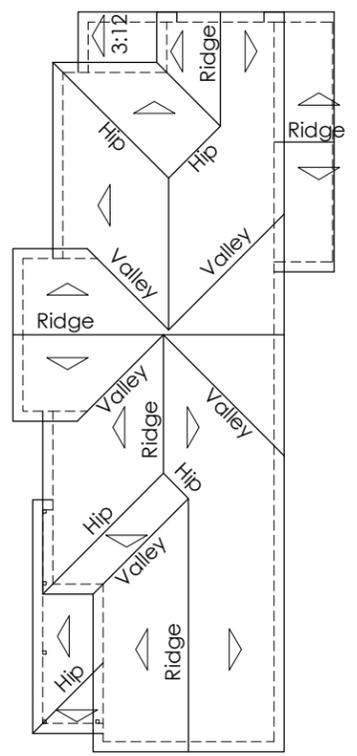
Plan 3.2A Exterior Elevations



A3.7
Sheet 36 of 38



Left Elevation



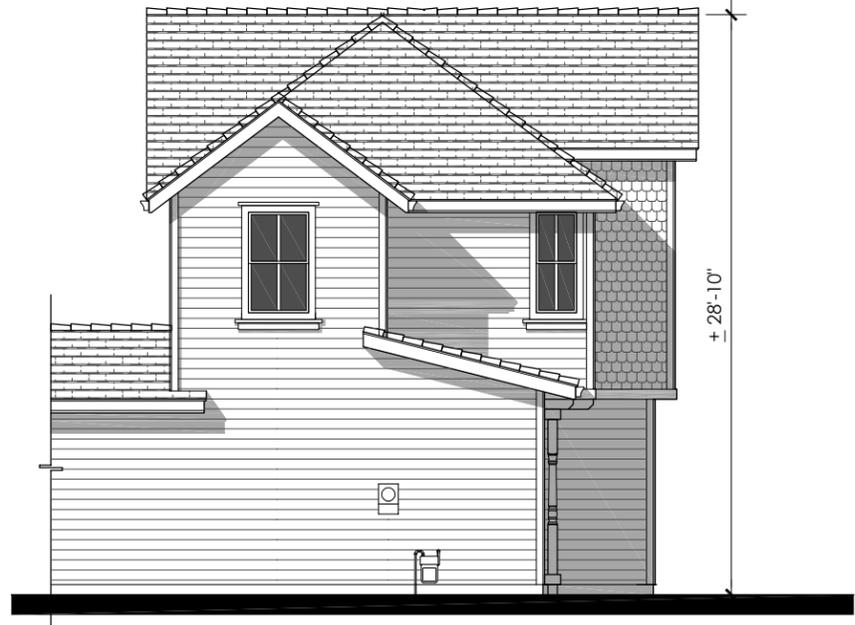
Roof Plan



- Victorian Material List:
- Roof: Architectural Grade Composition Shingles
 - Walls: Cementitious Horiz. Siding w/ 1X4 Corner Boards
 - Trims: 1X4 Wood Trim
 - Accents: Cementitious Scale Siding & Trim Gable Treatment
Turned Posts w/ Decorative Brackets

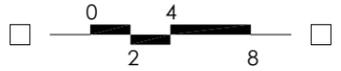


Right Elevation



Rear Elevation

Plan 3.2B Exterior Elevations



A3.8
Sheet 37 of 38



3.2Alt.A Craftsman Side Elevation



3.2Alt.A Craftsman Front Elevation

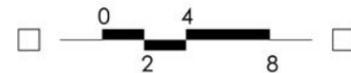


3.2Alt.B Victorian Side Elevation



3.2Alt.B Victorian Front Elevation

Plan 3.2Alt. Front Elevations



A3.9
Sheet 38 of 38