



CITY OF
HAYWARD
HEART OF THE BAY

PLANNING COMMISSION

DECEMBER 18, 2014

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CITY OF HAYWARD
777 B STREET, HAYWARD, CA 94541-5007
(510) 583-4205 / www.hayward-ca.gov
LIVE BROADCAST – LOCAL CABLE CHANNEL 15

AGENDA
HAYWARD PLANNING COMMISSION
THURSDAY, DECEMBER 18, 2014 , AT 7:00 PM
COUNCIL CHAMBERS

MEMBERS OF THE AUDIENCE WISHING TO ADDRESS THE PLANNING COMMISSION:

Obtain a speaker's identification card, fill in the requested information, and give the card to the Commission Secretary. The Secretary will give the card to the Commission Chair who will call on you when the item in which you are interested is being considered. When your name is called, walk to the rostrum, state your name and address for the record and proceed with your comments. The Chair may, at the beginning of the hearing, limit testimony to three (3) minutes per individual and five (5) minutes per an individual representing a group of citizens for organization. Speakers are expected to honor the allotted time.

ROLL CALL

SALUTE TO FLAG

PUBLIC COMMENT: (The PUBLIC COMMENTS section provides an opportunity to address the Planning Commission on items not listed on the agenda. The Commission welcomes your comments and requests that speakers present their remarks in a respectful manner, within established time limits and focus on issues which directly affect the City or are within the jurisdiction of the City. As the Commission is prohibited by State law from discussing items not listed on the agenda, your item will be taken under consideration and may be referred to staff for further action).

ACTION ITEMS: (The Commission will permit comment as each item is called for Public Hearing. Please submit a speaker card to the Secretary if you wish to speak on a public hearing item).

PUBLIC HEARINGS: For agenda items No. 1 and 2, the Planning Commission may make a recommendation to the City Council. For agenda Item No. 3, the decision of the Planning Commission is final unless appealed. The appeal period is 10 days from the date of the decision. If appealed, a public hearing will be scheduled before the City Council for final decision.

1. Legacy Eden Shores Development Agreement - Request to amend the Development Agreement by extending its term for five years. The project is generally located west of Hesperian Boulevard and east of Marina Drive, between Industrial Boulevard and Eden Park Place and south of Industrial Boulevard between the Alameda County Flood Control floodway and Marina Drive, Steve Dunn of Legacy Partners (Applicant/Owner)

[Staff Report](#)

[Attachment I - Draft Development Agreement Amendment](#)



Assistance will be provided to persons requiring accommodations for disabilities in compliance with the Americans with Disabilities Act of 1990. Persons needing accommodation should contact Sonja Dal Bianco 48 hours in advance of the meeting at (510) 583-4204, or by using the TDD line for those with speech and hearing disabilities at (510) 247-3340.

2. Proposed subdivision and construction of 10 townhomes and common areas on a 0.73-acre site at 123-197 A Street, requiring adoption of a Resolution and Introduction of an Ordinance for a Zone Change from Medium Density Residential to Planned Development, Vesting Tentative Tract Map 8104 and a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program. Natalie Monk, Habitat for Humanity East Bay/Silicon Valley (Applicant), The Housing Authority of The City of Hayward (Owner).

[Staff Report](#)

[Attachment I - Area and Zoning Map](#)

[Attachment II - Draft Findings of Approval](#)

[Attachment III - Draft Conditions of Approval](#)

[Attachment IV - Mitigated Neg Dec and MMRP](#)

[Attachment V - Project Plans](#)

3. Proposal to subdivide a 2.15-acre parcel to construct 38 townhomes at 25993 Dollar Street at the southwest corner of Harder Road, requiring approval of a Site Plan Review Application and Warrants for Parking and Roof Pitch Standards, and adoption of a related Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program. John Compaglia/KB Home, South Bay, Inc. (Applicant) / Wilma Family Trust of 2008 (Owner)

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[Attachment I - Area and Zoning Map](#)

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[Attachment III-Recommended Findings for Approval](#)

[Attachment IV-Recommended Conditions of Approval](#)

[Attachment V-IS, MND](#)

[Attachment VI-Plans](#)

COMMISSION REPORTS:

4. Oral Report on Planning and Zoning Matters
5. Commissioners' Announcements, Referrals

APPROVAL OF MINUTES

6. [November 20, 2014](#)

ADJOURNMENT

PLEASE TAKE NOTICE that if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the City's public hearing or presented in writing to the City Clerk at or before the public hearing. **PLEASE TAKE FURTHER NOTICE** that the City Council has adopted Resolution No. 87-181 C.S., which imposes the 90 day deadline set forth in Code of Civil Procedure section 1094.6 for filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5.

NOTE: Materials related to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the Permit Center, first floor at the above address. Copies of staff reports for agenda items are available from the Commission Secretary and on the City's website the Friday before the meeting.

DATE: December 18, 2014

TO: Planning Commission

FROM: Linda Ajello, AICP, Associate Planner

SUBJECT: **Legacy Eden Shores Development Agreement - Request to Amend the Development Agreement by Extending its Term for Five Years. The Project is generally located West of Hesperian Boulevard and East of Marina Drive, Between Industrial Boulevard and Eden Park Place. Steve Dunn of Legacy Partners (Applicant/Owner)**

RECOMMENDATION

Staff recommends that the Planning Commission relies on the previously approved environmental documents and recommends to the City Council that it approves the Development Agreement amendment to extend the term for five (5) years, subject to the required finding that such amendment is consistent with the General Plan.

SUMMARY

In 1998, the City Council certified a Program Environmental Impact Report (EIR) associated with the approval of the South of Route 92 General Plan Amendment, Zone Change and Specific Plan for the Oliver Estate/Weber Properties. On September 28, 1999, the City approved and executed the Mount Eden Business and Sports Park Community Development Agreement in connection with the Oliver Estate properties. The term of the original Development Agreement was for ten (10) years, with five-year extensions allowed with mutual consent of the parties. Due to the impact of the economic recession, the project will not be fully constructed within the existing term of the Development Agreement, which includes a five-year extension approved in 2008. Legacy Partners is requesting a second five-year extension to the terms of the Development Agreement, which allows them to complete construction of the property by 2019.

BACKGROUND

In 1998, City Council certified a Program Environmental Impact Report (EIR) associated with the approval of the South of Route 92 General Plan Amendment, Zone Change and Specific Plan for the Oliver Estate/Weber Properties. In 1999, the City approved and executed the Mount Eden Business and Sports Park Community Development Agreement in connection with the Oliver Estate properties. The Development Agreement was recorded on December 13, 1999.

In November of 2005, the Specific Plan, Development Guidelines and Development Agreement were amended, as were the City's General Plan and Zoning Ordinance, to allow for residential development (Eden Shores East – Bridgeport and The Crossings communities) on approximately 29 acres formerly designated for light manufacturing just east of the railroad tracks. Those developments, consisting of 139 single-family units and 122 condominiums, respectively, have been completed.

In 2006, Legacy Eden Shores, which acquired the property from Standard Pacific, expressed an interest in exploring other potential land uses for the remaining undeveloped approximately 60 acres. In October 2007, City Council approved a General Plan amendment, Specific Plan amendment, Development Guidelines revisions, Zone Change application, Zoning Text amendment, an amendment to the Mount Eden Business and Sports Park Community Development Agreement (Development Agreement), and Partial Assignment of the Development Agreement associated with a request to build 167 units (townhouse and single-family). The proposal also included providing future regional commercial, neighborhood retail, and business park-office space on undeveloped land generally located west of Hesperian Boulevard, along Marina Drive, south of Industrial Boulevard and north of Eden Park Place.

The 2007 action resulted in all of this land being zoned "Business Park," except for approximately 16.5 acres that contains the Costco store, gas station and associated parking lot (approved on December 17, 2008), approximately 5.8 acres of undeveloped land directly south of the Costco site that is zoned "Neighborhood Commercial" (CN), and approximately 14.4 acres south of Eden Shores Boulevard and north of Eden Park Place that is zoned "Medium Density Residential" (RM). As per the Development Agreement, the issuance of building permits for the development of the residential lots must be proportional to the development within the regional commercial (Costco), neighborhood commercial and business park zones. To date, the only development that has occurred within these zones is the Costco site, which equates to the proportional release of 58.4 percent of the area that carries a residential zoning designation.

On May 20, 2014, City Council approved a Zone Change Application and Vesting Tentative Tract Map for 118 detached single-family homes, to be constructed in two phases, to complete the residential component per the Specific Plan. Phase I of the project will consist of sixty-six (66) of the units and represents a proportional release of residential lots (58.4%) in relation to the development of the "Costco Parcel" as per the Development Agreement. The completion of Phase II (52 units) will be contingent on the issuance of building permits for the development of other portions of the Business Park/Neighborhood Commercial site. The applicant has submitted a Wetland Delineation to the Army Corps of Engineers for approval in order to allow construction of Phase I. No site work or construction shall occur until the wetlands have been verified by the US Army Corps of Engineers and Regional Water Quality Control Board.

The applicant is marketing the commercial retail and business park sites for sale and development.

DISCUSSION AND STAFF ANALYSIS

In order to approve the Development Agreement Extension, the Planning Commission must make a finding that the provisions of the Agreement are consistent with the City of Hayward

General Plan and any applicable specific plan. The Amendment to the Development Agreement to extend its term is authorized under the Agreement with the mutual consent of the parties. The Amendment does not propose new or amended provisions that modify the development authorized under the Agreement and other City approvals. Also, the General Plan land use designation for the property has not changed.

Environmental Review - The City certified the Environmental Impact Report (EIR) for the Project in 1998, and thereafter approved an Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, and Technical Memorandum adopted on October 23, 2007. There is no substantial change proposed in the Project or in the circumstances under which the Project is being undertaken, nor is there any new information, which would require additional environmental review.

PUBLIC NOTICE & OUTREACH

A notice of this public hearing was sent to all property owners within the Project 300-foot radius and published in *The Daily Review* on December 6, 2014. Two e-mails were received asking for clarification as to whether or not any development was proposed as part of this application, but no comments addressing the specifics of the application itself were received as of the writing of this report. Any comments that are received before the Planning Commission meeting will be forwarded to the Commission for consideration.

NEXT STEPS

The Planning Commission recommendation will be forwarded to the City Council, which will take action on the proposed Development Agreement modification. If the Development Agreement extension is approved, the new agreement with a modified term will be recorded and the construction of the approved improvements will continue in accordance with the modified development agreement.

Prepared by: *Linda Ajello, AICP, Associate Planner*

Reviewed by: *Sara Buizer, AICP, Planning Manager*

Approved by:



David Rizk, AICP

Development Services Director

Attachments:

Attachment I Draft Development Agreement Amendment

**MOUNT EDEN BUSINESS AND SPORTS PARK COMMUNITY DEVELOPMENT
AGREEMENT RELATING TO DEVELOPMENT OF LEGACY EDEN SHORES, A
PORTION OF OLIVER EAST PROPERTY**

Draft Amendment #4

Amend the Mount Eden Business and Sports Park Community Development Agreement as follows:

7.1 Stated Term. This Agreement is effective as of the Effective Date and continues for a term of ~~40~~ twenty- (20) years unless earlier terminated pursuant to the provisions of this agreement. Notwithstanding the foregoing, the term of this Agreement may be extended an additional 5 years by the further written agreement of the parties in accordance with Section 8. In connection with the execution of the Legacy Eden Shores Amendment, Owner and the City have agreed to an extension of the ~~fifteen~~ ten (10) (15) year term of the Agreement, which expired on September 28, 2015, for an additional five (5) ~~(year)~~ years to September 28, 2019, is ~~fifteen~~ twenty (20) years from the Effective Date, in accordance with the provisions of Sections 7 and 8 of the Agreement.

DATE: December 18, 2014

TO: Planning Commission

FROM: Linda Ajello, AICP, Associate Planner
John Nguyen, P.E., Development Review Engineer

SUBJECT: **Proposed subdivision and construction of 10 townhomes and common areas on a 0.73-acre site at 123-197 A Street, requiring adoption of a Resolution and Introduction of an Ordinance for a Zone Change from Medium Density Residential to Planned Development, Vesting Tentative Tract Map 8104 and a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program. Natalie Monk, Habitat for Humanity East Bay/Silicon Valley (Applicant), The Housing Authority of The City of Hayward (Owner).**

RECOMMENDATION

Staff recommends that the Planning Commission recommends approval to the City Council of the proposed project to build ten two-story townhomes, including approval of the Zone Change and Vesting Tentative Tract Map applications, and adoption of the attached Initial Study, Mitigated Negative Declaration (MND), and Mitigation Monitoring and Reporting Program (MMRP) (Attachment IV), subject to the attached Findings and Conditions of Approval (Attachments II and III).

SUMMARY

The project includes two different floor plans, each being two-stories with three and four bedrooms and a private rear yard. The units are comprised of attached townhomes located in four buildings (two duplexes and two triplexes) with on-site uncovered parking that will be affordable to low-and very low-income first-time homebuyers. Two centrally-located common open spaces are proposed with a picnic area, barbeques, lawn area and seating area, in addition to a community garden for residents. Attractive landscaping is planned throughout the site, including along A Street where five mature Sequoia trees are proposed to be preserved. Ingress and egress into the development will be via a new private driveway with access on Walnut Street.

The Project is supported by staff because the proposed density, 15.8 dwelling units per net acre, is consistent with the General Plan designation of Medium Density Residential (8.7-17.4 dwelling units/net acre) and is consistent with the surrounding development, which includes a mix of single-family and multi-family dwellings and commercial uses. The Project is comprised of two pairs of duplex units and three sets of triplex units. The townhomes are well-designed with high-quality

architectural features that are consistent with the neighborhood character that has been created in other residential developments throughout the City. In addition, as described in this report, the project includes amenities to support making the required Planned Development (PD) rezoning findings.

BACKGROUND

Over the past 27 years, Habitat for Humanity East Bay/Silicon Valley has served over 460 low and very-low income families in Alameda, Contra Costa, and Santa Clara counties by providing affordable [homeownership opportunities](#) to low-income families who meet three criteria:

- Earn an income between 30%-80% of area median income, as defined by the U.S. Department of Housing and Urban Development.
- Have a need for housing.
- Are willing to partner with Habitat for Humanity and contribute hundreds of hours of sweat equity hours to the construction of their own home, or their neighbor's home.

Based on these criteria, Habitat's volunteer-based Family Selection Committee recommends families that will work to build a community of active homeowners.

Habitat for Humanity East Bay/Silicon Valley approaches the challenge of providing affordable homeownership opportunities to low-income families in an innovative way. Affordable homes are built using a large amount of volunteer labor, donated funds and materials. Then the homes are sold at affordable prices to qualifying low-income families. Long-term affordability restrictions (with a maximum of thirty years) are ensured through legal covenants recorded on the homes pursuant to the regulations governing the use of the different sources of funding for the Project.

Qualified families, selected on an equal opportunity basis, buy Habitat East Bay/Silicon Valley homes at affordable prices, through 30-year no-profit mortgages. In addition, each family contributes hundreds of hours of volunteer labor or "sweat equity" to the construction of their home. This "sweat equity" or "self-help" component of the program is a major investment on the part of the homeowner, and increases homeowner pride of ownership. "Sweat equity" can consist of home building as well as community projects and leadership development classes. Once the homes are sold to the partner families, the mortgage payments received by Habitat are then reinvested to help fund the construction of future Habitat homes. Habitat also assists homebuyers in securing 30-year fixed rate mortgages. Since 2010, Habitat has successfully renovated 22 homes in Hayward. Habitat used a combination of Hayward Neighborhood Stabilization Program¹ (NSP) 1, Alameda County NSP2, and Habitat's own funds. By targeting vacant, abandoned, or foreclosed homes, renovating them, and bringing them back to active use, Habitat helped eliminate blight one home at a time. The properties often had code enforcement or deferred maintenance issues which Habitat addressed during renovation. Many of Habitat's NSP1 and NSP2 homes are located in Hayward's Palma Ceia neighborhood, just south of Tennyson Avenue. As work progressed on our renovations, we noticed

¹ The NSP is a HUD program. The purpose of the program is to stabilize communities that have suffered from foreclosures and abandonment.

that neighbors were increasingly taking on their own renovation projects and improving their homes.

On June 24, 2014, City Council approved a Disposition Development and Loan Agreement for disposition of the project site and a \$600,000 loan of Housing Authority funds for the development of a ten-unit affordable homeownership project to be constructed by the project applicant, Habitat for Humanity. All ten units will be affordable to very low- and low-income first-time homebuyers, providing homeownership opportunities for that segment of our population. Current (2014) very low- and low-income limits for a four-person household are \$46,750 and \$67,600, respectively.

DISCUSSION AND STAFF ANALYSIS

Project Description – The project proposes the construction of ten single-family homes affordable to low-income families – those earning at-or-below 80% of the area median income (AMI). Long-term affordability restrictions (with a maximum of thirty years) will be ensured through legal covenants recorded on the homes pursuant to the regulations governing the use of the different sources of funding for the Project. To make homes affordable, the project applicant utilizes a successful “sweat equity” model where home purchasers spend 500 hours working on their new homes in lieu of a down payment. The applicant then helps the homebuyers secure 30-year fixed mortgages.

The project requires a Zone Change from Medium Density Residential to Planned Development, because the project does not meet certain development standards of the existing zoning district (e.g., parking, minimum setbacks), as identified later in this report; and a Vesting Tentative Tract Map to subdivide the property in order to construct ten townhomes and two common parcels for three group open space areas and a private road with designated parking areas (see plans, Attachment V).

The common areas in the plan are designed to instill a sense of community within the development by providing places to meet and gather with other neighbors. The three common areas include a centrally located open space with picnic and play area, a large lawn area with benches, bicycle storage and a community garden located on the west side of the site.

Each unit will have two uncovered on-site parking spaces. The parking spaces are located off the private drive with ingress and egress on Walnut Street and secondary emergency access from A Street. Twenty uncovered on-site parking spaces will be screened from the street with new landscaping and existing mature trees along A and Walnut Streets.

The private street will be constructed to the same standards as a public street and have a minimum of twenty feet travel lane measured from face of curb to face of curb. The proposed private street right-of-way is adequate for circulation and meets the Fire Department accessibility requirements. The private street shall be designated as a fire lane and no parking will be allowed except in the designated twenty uncovered off-street parking areas within the development. Fire lane signage shall be installed to the satisfaction of the Fire Chief and City Engineer.

Existing improvements along A and Walnut Streets will be repaired as necessary. New curb, gutter and sidewalk will be constructed within the development site.

The existing utilities in the project vicinity, including sanitary sewer, water and storm drain systems, have sufficient capacity to adequately serve the proposed development. On-site sewer and water utilities will be installed within the new public utility easements within the project site and connected to existing utilities in Walnut Street. Sanitary sewer and water mains will be publicly owned and maintained by the City. The proposed on-site storm drainage system will be connected to an existing catch basin system within the City right-of-way and will be privately owned and maintained by the HOA, including Cleanwater treatment. Any existing overhead utility lines as well as any new utility lines will be required to be placed underground as part of the site improvements.

Existing Site – The project site is an infill site located on the corner of A and Walnut Streets, within the Burbank Neighborhood and the Cannery Area Special Design District, and consists of one undeveloped, triangular-shaped property, totaling approximately 31,798 square feet (0.73 acres) in size. The flat site contains twelve (12) trees of varying size and species. There is a sidewalk on the north and east sides of the property along A and Walnut Streets and single curb-cut abutting Walnut Street. Properties abutting the Project site include single-family and multi-family residential land uses. The site, which is currently vacant, was previously developed with single-family structures that were demolished in 1980 as part of the A Street overpass and road-widening project.

Development Site Plan – The proposed townhomes will be constructed on lots ranging from approximately 1,054 square feet to 1,796 square feet in size, with an average lot size of 1,430 square feet. Internal circulation will be provided via a pedestrian walkway through the development. Two of the units will front on Walnut Street and will have similar setbacks to the existing duplex on the adjacent site and will create a continuous residential streetscape. The remaining unit will front within the site with three units fronting along the private road and five units fronting onto common open space.

Building Elevations and Floor Plans – As shown on sheets A2.1, A2.2, A2.6A, A2.6B and A2.7, of the plan set (Attachment V), the project proposes two different floor plans. Table 1 on the following page provides details on the proposed units. Note that the two four bedroom units have a bedroom and full bathroom on the ground floor, on the same level as the kitchen and main living area, which would accommodate multi-generational households or aging in place. The exterior design of the townhomes include pitched asphalt shingle roofs, painted horizontal cement fiber siding, vertical painted cement fiber board and batten wainscot, private back yards, covered front entry porches and painted wood window sunshades. The units will have a mix of contrasting building colors and articulation through the integration of recessed wall planes, and covered front and rear porches. The proposed exterior color palate consists of warm earth tones, which will blend with the surrounding landscape and will be compatible with the neighboring residential development and the City's Design guidelines.

Table 1: Unit Summary

Building Type (Number Proposed)	Number of Stories	Number of Bedrooms/Bathrooms	Living Area (sq. ft.)	Other
Townhomes				
Unit A (8)	2	3/1.5	1,341	--
Unit B (2)	2	4/2	1,553	Ground floor bedroom and bath

The preliminary landscape plan provides a variety of drought tolerant landscaping throughout the site. The plan also includes a resident vegetable garden and the preservation of five existing significant Sequoia trees on the site along A Street, preservation of a variety of mature trees on adjacent sites, and planting of fifteen new trees along Walnut Street and within the project site. The stormwater treatment area is located on the west side of the site and will incorporate landscaping and pervious pavers throughout the site. Bio-retention areas will be designed to collect water during rainstorm events and filter it back into the groundwater ecosystem. Final landscape plan details will be reviewed and approved during the Precise Plan phase of the project.

Green Building Components – The City’s Green Building Ordinance for Private Development is no longer in effect, having been superseded with the new State Green Building and Energy Codes. This also applies to the Water Efficiency Ordinance, which has been entirely superseded by current California codes, with the exception of the *Bay Friendly* standards. All projects need to comply with the 2013 series of California Codes. In addition, the applicant incorporates green building materials and techniques in its construction practices above what is required by building code, so each home will be energy efficient and will provide a healthy environment for its residents. Green elements will include photovoltaic solar panels, radiant-barrier roof sheathing, double-pane, low-e windows, raised heel trusses, and recycling or reuse of more than 90% of construction waste. All of the landscaped areas will have drought tolerant and/or native landscaping. As with its other projects, the project applicant intends to get the homes certified as sustainable through Build it Green’s *Green Point Rated* Program.

Parking - As shown in the table below, the City’s parking regulations require a minimum of 1.0 covered and 1.10 open parking spaces per unit, with at least one covered, standard size parking space provided per unit. The plan provides 20 centrally located uncovered on-site parking spaces where 10 covered and 11 uncovered are required. Additionally, two of the units front onto Walnut Street, which provides additional on-street parking. Such parking would be along public streets and available to the general public and not specifically for this development’s residents. The project site also includes eight on-site bicycle parking spaces. Per the City’s Off-Street Parking Regulations, *a credit for one parking space shall be given for each 4 bicycle spaces provided*, which results in a credit of two parking spaces, and thus the project exceeds the required on-site parking by one space. Habitat’s Sequoia Grove development includes 20 uncovered on-site surface parking spaces serving a total of 10 homes, a parking ratio of 2:1. This allows Habitat to provide each home with two parking spaces.

Habitat’s experience with previous developments indicates that on-site parking ratios of 1.83:1 or lower have been adequate to serve Habitat’s partner families. Habitat’s partner families typically include many single-parent households that only own a single car. In addition, the working members of many of these families work nights or weekends, which alleviates pressure on parking during times when parking demand is typically highest. Table 2 below shows the parking ratio for other Habitat Project and the proposed project.

Table 2: Parking Ratio for Completed Habitat Projects vs Proposal

Kinsell Commons Oakland Townhomes 2-3 bd Completed 2010		Brookfield Court Oakland Townhomes 2, 3 & 4 bd Completed 2014		Pleasant Creek Homes Walnut Creek Townhomes 2, 3 & 4 bd Completed 2014		Sequoia Grove Hayward Townhomes 3 & 4 bd Pre-Construction	
Homes	Parking Spaces	Homes	Parking Spaces	Homes	Parking Spaces	Homes	Parking Spaces
22	22	12	22	10	18	10	20
1:1		1.83:1		1.8:1		2:1	

Furthermore, Sequoia Grove’s proximity to public transit also reduces the need for additional on-site parking. Several bus lines (AC Transit Routes 37, 83, 85 and 93) which provide regular service to destinations in and around Hayward can be found less than 400 feet from the site. The Hayward Amtrak station is also less than two blocks from the site, and the Hayward BART station is approximately 0.7 miles from the site. Several options for public transit are easily accessible from the site and within walking distance.

As a non-profit developer of affordable housing, the applicant has indicated that they prefer to utilize as much of its development funds as possible for home construction rather than automobile structures and feel that the carports would create a visual barrier between the homes and the surrounding community. The applicant has indicated that carports cost approximately \$10,000 each to construct. With 20 parking spaces, this would significantly impact the development costs. Habitat prefers to utilize as much of its development funds as possible for its high quality home construction rather than automobile structures. Also, due to the proximity to the parking area from the existing mature redwood trees on the site, construction of covered parking could potentially compromise the root system of the trees. Carports would also create a visual barrier between the Sequoia Grove homes and the surrounding community, and would make the development look less open and visually welcoming. Several of the applicants other developments, Kinsell Commons, Brookfield Court, and Pleasant Creek Homes all featured uncovered surface parking, and this has not been an issue for the residents and surrounding community. Carports located in front of the rectangular gathering space with picnic tables would visually cut off this attractive space from the majority of the development. Carports in front of the five existing redwood trees would do little to screen cars from A Street, as the parking spaces are already screened by the landscaped berm and the carport footings may exacerbate the already tight space around the roots of the existing redwood trees and could contribute to the deterioration of the health of these beautiful trees.

After comparing Sequoia Grove to other similar Habitat developments, Habitat is confident that the number of parking spaces proposed is sufficient to meet the needs of their buyers and their guests. Habitat believes that the site layout they have proposed creates a sustainable balance between homes, parking, and open space.

Table 3 below shows the parking summary for the proposed development.

Table 3: Parking Summary

Home Type	Number of Lots	Minimum Number of On-Site Parking Spaces Required (total)	Total Spaces Proposed	Bicycle Parking	Meets minimum requirements?
Townhomes	10	1.0 covered and 1.10 uncovered spaces per dwelling unit (21)	20 (2 uncovered spaces per unit)	8 spaces (2 parking space credit)	No (no covered spaces provided)

Open Space – Developments within the Medium Density Residential District (RM) are required to provide a total of 350 square feet of usable open space per unit. This open space requirement can be accomplished through a combination of private and group open space, provided that a minimum of 100 square feet per unit is allocated toward group open space. Retention basins, landscaped bulb-outs, required landscaping or substandard sized landscaping are not allowed to be counted toward open space.

The project provides a total of 2,793 square feet of group open space, including a resident vegetable garden and two central open space areas with seating, barbecues and lawn area (see Plan Sheet A1.0 and L-PL-2 in Attachment V). Additionally, each unit includes a private rear yard ranging from 200 to 300 square feet. Each unit has a minimum of 100 square feet of conforming private open space, with an overall average of 248 square feet per unit. Overall, the combined conforming private and common open space areas exceed the minimum requirements. Table 4 below shows a summary of the required and proposed open space.

Table 4: Open Space Summary

Open Space Type	Minimum Amount Required	Amount of Conforming Open Space Provided	Meets Requirement?
Private Open Space ²	None	2,484 sq. ft.	Yes
Group Open Space ³	Minimum 100 sq. ft. of usable open space per dwelling unit Total: 1,000 sq. ft.	2,799 sq. ft.	Yes
Total Open Space	350 sq. ft. of usable open space for each dwelling unit Total: 3,500 sq. ft.	5,283 sq. ft.	Yes (+1,783 sf)

Public Parkland Obligations – Because the project is ownership housing developed by a non-profit housing developer and all units will be affordable to first-time homebuyers with incomes

² Private open space may not include required front or street side yards, exceed 3 percent slope, be less than 100 square feet in area, or have a dimension less than 10 feet.

³ Group open space must be centrally located to all residents, cannot have a greater than 5 percent slope, and not be at least 400 square feet in area.

at-or-below 80% of the area median income, the parkland obligations do not apply, per Hayward's regulations.

Inclusionary Housing Ordinance - The City's Inclusionary Housing Ordinance applies to projects of 20 or more "for sale" dwelling units. Since the project is below that threshold, compliance with the ordinance is not required. Furthermore, the project is providing ten new units that will be affordable to low- and very-low income families, which are those earning at-or-below 80% of the area median income (AMI).

Zone Change/Preliminary Development Plan – Under the current zoning designation, the project would not be feasible without modifications to some of the development standards. The purpose of the Planned Development District is to encourage development through efficient and attractive space utilization that might not otherwise be achieved through strict application of the existing zoning development standards.

The Zoning Ordinance does not have building setback requirements for townhouse lots, except the minimum setbacks for all buildings on the perimeter of the property are required to be provided in the same manner as a detached single-family home. The plans for the proposed units show varied setbacks from those established by the RM zoning regulations. The front yard setbacks for the units fronting on Walnut Avenue are ten feet where 20 feet is required. All other setbacks comply with the minimum requirements.

As discussed in the Parking section of the report, the other code requirements not met as part of this request are for covered, on-site parking and front yard setbacks on Walnut Street. To offset such deviations, the applicant is proposing project amenities in order for the findings to be made for project approval (see discussion below under Planned Development District Finding No. 4).

Findings for the Zone Change/Preliminary Development Plan - In order for a Planned Development District to be approved, the City Council must make the following findings, as recommended by the Planning Commission and staff:

(1) The development is in substantial harmony with the surrounding area and conforms to the General Plan and applicable City policies.

The project is consistent with the existing General Plan designation and policies related to density and providing a variety of housing types, specifically:

Land Use Policies

LU-3.6 Residential Design Strategies: The City shall encourage residential developments to incorporate design features that encourage walking within neighborhoods by:

- Creating a highly connected block and street network.
- Orienting homes, townhomes, and apartment and condominium buildings toward streets or public spaces.
- Enhancing the front facade of homes, townhomes, and apartment and condominium buildings with porches, stoops, balconies, and/or front patios.

- Ensuring that windows are provided on facades that front streets or public spaces.

LU-3.7 Infill Development in Neighborhoods: The City shall protect the pattern and character of existing neighborhoods by requiring new infill developments to have complimentary building forms and site features.

Housing Policies

Goal H-2.1 Homeownership Housing: The City shall encourage the development of ownership housing and assist tenants to become homeowners to reach a 60 percent owner occupancy rate, within the parameters of federal and state housing laws.

H-2.2 Provide Incentives for Affordable Housing: The City shall promote the use of density bonuses and other incentives to facilitate the development of new housing for extremely low-, very low-, and low- income households.

H-3.1 Diversity of Housing Types: The City shall implement land use policies that allow for a range of residential densities and housing types, prices, ownership, and size, including low density single family uses, moderate-density townhomes, and higher-density apartments, condominiums, transit-oriented developments, live-work units, and units in mixed-use developments.

H-3.3 Sustainable Housing Development: The City shall improve affordability by promoting sustainable housing practices that incorporate a ‘whole system’ approach to siting, designing, and constructing housing that is integrated into the building site, consumes less water and improves water quality, reduces the use of energy use, and other resources, and minimizes its impact on the surrounding environment.

H-3.4 Residential Uses Close to Services: The City shall encourage development of residential uses close to employment, recreational facilities, schools, neighborhood commercial areas, and transportation routes.

H-3.6 Flexible Standards and Regulations: The City shall allow flexibility within the City’s standards and regulations to encourage a variety of housing types.

H-4.1 Flexible Development Standards: The City shall review and adjust as appropriate residential development standards, regulations, ordinances, departmental processing procedures, and residential fees that are determined to be a constraint on the development of housing, particularly housing for lower- and moderate-income households and for persons with special needs.

The Project is located on an in-fill site within an existing commercial and residential neighborhood. The proposed development utilizes similar massing as the surrounding residential development, which include a mix of pre- and post-World War II homes, and compatible architectural design, which ensures the development is harmonious with the surrounding neighborhood. In addition, the project has been designed to retain several

substantial mature trees to reduce visual impacts from adjacent properties and retain the streetscape of mature trees along A Street.

(2) Streets and utilities, existing or proposed, are adequate to serve the development.

The proposed project is an in-fill development site surrounded by existing streets and there are utilities available with adequate capacity to serve the proposed development. In addition, the project is required to underground any overhead utilities in front of their project site and fronting any public street.

(3) The development creates a residential environment of sustained desirability and stability, that sites proposed for public facilities, such as playgrounds and parks, are adequate to serve the anticipated population and are acceptable to the public authorities having jurisdiction thereon, and the development will have no substantial adverse effect upon surrounding development or neighborhoods.

The project applicant has proposed a development that integrates density, livability and renewable energy sources (solar energy systems). The project provides a well-balanced neighborhood of three and four-bedroom townhomes that include usable private outdoor spaces along with large common open spaces, a community garden, and pedestrian pathways. The site design maintains the continuity of the surrounding development by using similar size and massing and similar architecture, including covered front porches building finishes, landscaping and pedestrian connectivity to provide a seamless transition. Useable open space and pedestrian connectivity is provided, allowing for better circulation to encourage interaction with neighbors and access to on-site amenities, such as common open space, edible gardens and a community room. Lastly, the home designs offer a wide and flexible range of livability and lifestyles by offering a bedroom suite on the first floor of all of the four-bedroom units to allow for aging in place and multi-generational lifestyles.

Furthermore, as demonstrated by the Mitigated Negative Declaration, Initial Study and Mitigation Monitoring and Reporting Plan, which identified potential impacts associated with the development of the proposed project and provided mitigation measures to eliminate or reduce those impacts, the Project will have no significant impacts or adverse impacts on surrounding development.

(4) Any latitude or exception(s) to development regulations or policies is adequately offset or compensated for by providing functional facilities or amenities not otherwise required or exceeding other required development standards, which, in the judgment of the Planning staff provides for a high quality and attractive development.

The applicant is seeking a Planned Development zoning designation to provide flexibility in the site layout of the units, and to offset certain development standards, such as setbacks and on-site covered parking. To offset these deviations from development standards, the following project amenities are proposed to support the Planned Development zoning and shall be required and shown/indicated on the Precise Plan:

- Provide ten (100% of units) affordable housing units to very low- and low-income first-time homebuyers.
- Install photovoltaic solar systems on all units.
- Provide conforming common and private open space within the development in excess of the minimum required.
- Include enhanced landscaping throughout the site, including a community garden for the residents of the development.

Vesting Tentative Tract Map 8104 - The proposed subdivision creates twelve parcels for ten townhomes and two common parcels on approximately 0.73 acres of land. The Homeowners' Association will own and maintain the two common parcels. A vesting tentative tract map is being processed with this proposal to create individual parcels of land onto which each residential unit will be constructed and sold individually. If the vesting tentative map is approved, a final map and improvement plans will be submitted to the City for review and approval. The City Engineer must find that the improvement plans and final map are in substantial compliance with the approved vesting tentative map and recommend to the City Council for approval of Final Map 8104 for recordation with the Alameda County Recorder's Office. The developer will enter into a Subdivision Agreement and post bonds with the City prior to commencing any construction activities. The developer is proposing a vesting tentative map so that the developer gains, for a period of three years after the date of approval or conditional approval, the right to proceed with the proposed development in substantial compliance with the ordinances, policies, and standards in effect on the date the vesting tentative map application was deemed complete, which was October 23, 2014.

The formation of a Homeowners' Association (HOA) and the creation of the Covenants, Conditions and Restrictions (CC&R's) will be required so that the HOA will be responsible for maintaining all private streets, private street lights, private utilities, and other privately owned common areas and facilities on the site, including, but not limited to, clean water treatment facilities, landscaping, preservation and replacement of trees, as well as decorative paving. For any necessary repairs performed by the City in locations under the on-site decorative paved areas, the City shall not be responsible for the replacement cost of the decorative paving. The replacement cost shall be borne by the HOA established to maintain the common areas within the association boundary. The common area landscaping includes all areas except the private yards. The CC&R's will also contain a standard condition that if the HOA fails to maintain the common areas, private streets, lights and utilities, the City of Hayward will have the right to enter the subdivision and perform the necessary work to maintain these areas and lien the properties for their proportionate share of the costs.

Findings for the Vesting Tentative Tract Map - In order for a Vesting Tentative Tract Map to be approved, the City Council must make certain findings. Staff's responses to the findings for Planning Commission consideration are below.

- (1) The approval of Vesting Tentative Map Tract 8104, as conditioned, will have no significant impact on the environment, cumulative or otherwise. A Mitigated Negative Declaration was prepared pursuant to the guidelines of the California Environmental Quality Act (CEQA) for the development of this site.

- (2) The vesting tentative tract map, as conditioned, substantially conforms to the State Subdivision Map Act, the City's Subdivision Regulations, and the General Plan.
- (3) The preliminary geotechnical investigation performed by Rockridge Geotechnical (dated July 19, 2012) demonstrates that the proposed residential development is feasible and the proposed subdivision would occur on a site suitable for the proposed development with the recommendation that specific measures be reviewed and implemented to mitigate impacts from expansive soils, to be overseen by the project geotechnical engineer. The site provides sufficient lane widths and ingress/egress points, pedestrian facilities and infrastructure locations, such as water and sewer lines, storm drains and stormwater treatment areas, to support the number of units being proposed.
- (4) The design of this infill project and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- (5) The design of the subdivision and the proposed improvements are not likely to cause serious health problems.
- (6) Upon completion of the proposed improvements, the streets and utilities would be adequate to serve the project.
- (7) None of the findings set forth in Section 66474 of the Subdivision Map Act for denial of a tentative map have been made.

ENVIRONMENTAL REVIEW

Staff has prepared an Initial Study, Mitigated Negative Declaration and a Mitigation Monitoring and Report Program for the project (Attachment IV), which indicates there will be no significant environmental impacts resulting from the project, provided mitigation measures are incorporated into the project.

Mitigation measures include adherence to the Bay Area Air Quality Management District's *Basic Construction Mitigation Measures*, implementation of tree preservation measures outlined in the applicant's arborist report, and implementation of recommended measures per the geotechnical report.

The environmental document was made available for public review from November 13 through December 3, 2014. No comments were received as of the publishing date of this report.

PUBLIC CONTACT

On June 18, 2012, staff and Habitat for Humanity held a community meeting to present the Project proposal and Habitat's qualifications to the Burbank Neighborhood Forum. The proposal

was well received by the attendees who were thankful with City and Habitat staff for the opportunity to comment on a new development in their neighborhood.

Initial notice of the proposed project was sent to property owners within a 300-foot radius as well as interested parties in the neighborhood on August 16, 2013. No comments were received.

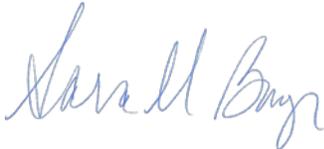
One hundred thirty three notices of this public hearing and availability of a Draft Mitigated Negative Declaration were sent to all property owners within a 300-foot radius of the Project and published in *The Daily Review* on December 6, 2014. No comments during that comment period or comments addressing the specifics of the project had been received as of the writing of this report. Any comments that are received before the Planning Commission meeting will be forwarded to the Commission for consideration.

NEXT STEPS

Following the Planning Commission hearing and assuming the Commission recommends approval of the Project, the City Council will hear the item along with the Planning Commission's recommendation and render a decision on the proposed Project. Should the Council approve the Project, the applicant will be required to incorporate project conditions of approval and submit a more detailed Precise Plan, Final Map and Improvement Plans for staff review, with the City Council required to approve the Final Map. Grading and building permit applications will then be processed and permits issued to allow for construction of the tract improvements and homes.

*Prepared by: Linda Ajello, AICP, Associate Planner
John Nguyen, P.E., Development Review Engineer*

Reviewed by:



Sara Buizer, AICP
Planning Manager

Approved by:



David Rizk, AICP
Development Services Director

Attachments:

Attachment I	Area and Zoning Map
Attachment II	Recommended Findings for Approval
Attachment III	Recommended Conditions of Approval
Attachment IV	Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program
Attachment V	Project Plans



Area & Zoning Map



PL-2013-0290 ZC

Address:
123 - 197 A Street

Applicant:
Natalie Monk

Owner:
City of Hayward

Zoning Classifications

RESIDENTIAL

- RH High Density Residential, min lot size 1250 sqft
- RM Medium Density Residential, min lot size 2500 sqft
- RS Single Family Residential, min lot size 5000 sqft
- SMU Sustainable Mixed Use, up to 100.0 units/net acre

COMMERCIAL

- CN Neighborhood Commercial
- CN-R Neighborhood Commercial/Residential

Zoning Classifications

OPEN SPACE

- OS Open Space

OTHER

- PD Planned Development
- PF Public Facilities

SPECIAL DESIGN DISTRICT OVERLAY

- SD4 Cannery Area Special Design District Overlay

FINDINGS FOR APPROVAL

Zone Change Application No. PL-2013-0290, and Tentative Tract Map Application No. PL-2013-0291

Findings for Approval – California Environmental Quality Act:

1. Pursuant to CEQA Guidelines Section 15220, an Initial Study (“IS”) was prepared for this project with the finding that a Mitigated Negative Declaration (“MND”) was appropriate because all potentially significant impacts could be reduced to a level of insignificance.
2. That the proposed MND was prepared by the City of Hayward as the Lead Agency and was circulated with a twenty (20) day public review period, beginning on November 13, 2014 and ending on December 3, 2014.
3. That the proposed MND was independently reviewed, considered and analyzed by the Planning Commission and reflects the independent judgment of the Planning Commission; that such independent judgment is based on substantial evidence in the record (even though there may be differences between or among the different sources of information and opinions offered in the documents, testimony, public comments and such responses that make up the proposed MND and the administrative record as a whole); that the Planning Commission adopts the proposed MND and its findings and conclusions as its source of environmental information; and that the proposed MND is legally adequate and was completed in compliance with CEQA.
4. That the proposed MND identified all potential significant adverse impacts and feasible mitigation measures that would reduce these impacts to less-than-significant levels, and that all of the applicable mitigation measures identified in the MND and Mitigation Monitoring and Reporting Program will be adopted and implemented. Based on the MND and the whole record before the Planning Commission, there is no substantial evidence that the project will have a significant effect on the environment.
5. That the project complies with CEQA, and that the proposed MND was presented to the Planning Commission, which reviewed and considered the information contained therein prior to approving the project. The custodian of the record of proceedings upon which this decision is based in the Development Services Department of the City of Hayward located at 777 B Street, Hayward, CA 94544.
6. The monitoring and reporting of CEQA mitigation measures in connection with the project will be conducted in accordance with the attached Mitigation Monitoring Program, which is adopted as conditions of approval for the project. Adoption of this program will constitute fulfillment of the CEQA monitoring and/or reporting requirement set forth in Section 21081.6 of CEQA. All proposed mitigation measures are capable of being fully implemented by the efforts of the project sponsor, City of Hayward or other identified public agencies of responsibility

Findings for Approval – Zone Change:

1. The development is in substantial harmony with the surrounding area and conforms to the General Plan and applicable City policies.

The project is consistent with the existing General Plan designation and policies related to density and providing a variety of housing types, specifically:

Land Use Policies

LU-3.6 Residential Design Strategies: The City shall encourage residential developments to incorporate design features that encourage walking within neighborhoods by:

- Creating a highly connected block and street network.
- Orienting homes, townhomes, and apartment and condominium buildings toward streets or public spaces.
- Enhancing the front facade of homes, townhomes, and apartment and condominium buildings with porches, stoops, balconies, and/or front patios.
- Ensuring that windows are provided on facades that front streets or public spaces.

LU-3.7 Infill Development in Neighborhoods: The City shall protect the pattern and character of existing neighborhoods by requiring new infill developments to have complimentary building forms and site features.

Housing Policies

Goal H-2.1 Homeownership Housing: The City shall encourage the development of ownership housing and assist tenants to become homeowners to reach a 60 percent owner occupancy rate, within the parameters of federal and state housing laws.

H-2.2 Provide Incentives for Affordable Housing: The City shall promote the use of density bonuses and other incentives to facilitate the development of new housing for extremely low-, very low-, and low- income households.

H-3.1 Diversity of Housing Types: The City shall implement land use policies that allow for a range of residential densities and housing types, prices, ownership, and size, including low density single family uses, moderate-density townhomes, and higher-density apartments, condominiums, transit-oriented developments, live-work units, and units in mixed-use developments.

H-3.3 Sustainable Housing Development: The City shall improve affordability by promoting sustainable housing practices that incorporate a ‘whole system’ approach to siting, designing, and constructing housing that is integrated into the building site, consumes less water and improves water quality, reduces the use of energy use, and other resources, and minimizes its impact on the surrounding environment.

H-3.4 Residential Uses Close to Services: The City shall encourage development of residential uses close to employment, recreational facilities, schools, neighborhood commercial areas, and transportation routes.

H-3.6 Flexible Standards and Regulations: The City shall allow flexibility within the City's standards and regulations to encourage a variety of housing types.

H-4.1 Flexible Development Standards: The City shall review and adjust as appropriate residential development standards, regulations, ordinances, departmental processing procedures, and residential fees that are determined to be a constraint on the development of housing, particularly housing for lower- and moderate-income households and for persons with special needs.

The Project is located on an in-fill site within an existing commercial and residential neighborhood. The proposed development utilizes similar massing as the surrounding residential development, which include a mix of pre- and post-World War II homes, and compatible architectural design, which ensures the development is harmonious with the surrounding neighborhood. In addition, the project has been designed to retain several substantial mature trees to reduce visual impacts from adjacent properties and retain the street scape of mature trees along A Street.

2. Streets and utilities, existing or proposed, are adequate to serve the development

The proposed project is an in-fill development site surrounded by existing streets and there are utilities available with adequate capacity to serve the proposed development. In addition, the project is required to underground any overhead utilities in front of their project site and fronting any public street.

3. The development creates a residential environment of sustained desirability and stability, that sites proposed for public facilities, such as playgrounds and parks, are adequate to serve the anticipated population and are acceptable to the public authorities having jurisdiction thereon, and the development will have no substantial adverse effect upon surrounding development or neighborhoods.

The project applicant has proposed a development that integrates density, livability and renewable energy sources (solar energy systems). The project provides a well-balanced neighborhood of three and four-bedroom townhomes that include usable private outdoor spaces along with large common open spaces, a community garden, and pedestrian pathways. The site design maintains the continuity of the surrounding development by using similar size and massing and similar architecture, including covered front porches building finishes, landscaping and pedestrian connectivity to provide a seamless transition. Useable open space and pedestrian connectivity is provided, allowing for better circulation to encourage interaction with neighbors and access to on-site amenities, such as common open space, edible gardens and a community room. Lastly, the home designs offer a wide and flexible range of livability and lifestyles by offering a bedroom

suite on the first floor of all of the four-bedroom units to allow for aging in place and multi-generational lifestyles.

Furthermore, as demonstrated by the Mitigated Negative Declaration, Initial Study and Mitigation Monitoring and Reporting Plan, which identified potential impacts associated with the development of the proposed project and provided mitigation measures to eliminate or reduce those impacts, the Project will have no significant impacts or adverse impacts on surrounding development.

4. Any latitude or exception(s) to development regulations or policies is adequately offset or compensated for by providing functional facilities or amenities not otherwise required or exceeding other required development standards.

The applicant is seeking a Planned Development zoning designation to provide flexibility in the site layout of the units, and to offset certain development standards, such as setbacks and on-site covered parking. To offset these deviations from development standards, the following project amenities are proposed to support the Planned Development zoning and shall be required and shown/indicated on the Precise Plan:

- Provide ten (100% of units) affordable housing units to very low- and low-income first-time homebuyers.
- Install photovoltaic solar systems on all units.
- Provide conforming common and private open space within the development in excess of the minimum required.
- Include enhanced landscaping throughout the site, including a community garden for the residents of the development.

Findings for Approval - Vesting Tentative Tract Map:

1. The approval of Vesting Tentative Map Tract 8104, as conditioned, will have no significant impact on the environment, cumulative or otherwise. A Mitigated Negative Declaration was prepared pursuant to the guidelines of the California Environmental Quality Act (CEQA) for the development of this site.
2. The vesting tentative tract map substantially conforms to the State Subdivision Map Act, the City's Subdivision Regulations, and the General Plan.
3. The preliminary geotechnical investigation performed by Rockridge Geotechnical (dated July 19, 2012) demonstrates that the proposed residential development is feasible and the proposed subdivision would occur on a site suitable for the proposed development with the recommendation that specific measures be reviewed and implemented to mitigate impacts from expansive soils, to be overseen by the project geotechnical engineer. The site provides sufficient lane widths and ingress/egress points, pedestrian facilities and infrastructure locations, such as water and sewer lines, storm drains and stormwater treatment areas, to support the number of units being proposed.

4. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
5. The design of the subdivision and the proposed improvements are not likely to cause serious health problems.
6. Upon completion of the proposed improvements, the streets and utilities would be adequate to serve the project.
7. None of the findings set forth in Section 66474 of the Subdivision Map Act for denial of a tentative map have been made.

CONDITIONS OF APPROVAL

December 18, 2014

**Sequoia Grove – Natalie Monk, Habitat for Humanity East Bay/Silicon Valley (Applicant)
The Housing Authority of The City of Hayward (Owner)**

**Zone Change Application No. PL-2013-0290, and
Vesting Tentative Tract Map Application No. PL-2013-0291 (Tract 8104)**

**Zone Change from Medium Density Residential to Planned Development (PD), and
Vesting Tentative Tract Map 8104, associated with the subdivision and construction of 10
townhomes and common areas on a 0.73-acre site at 123-197 A Street**

GENERAL

1. In accordance with Zoning Ordinance §10-1.2500 (Planned Development District), this approval is for the Preliminary Development Plan, subject to all conditions listed below, included herein as:

Exhibit A – Planned Development and Vesting Tentative Tract Map 8104 submitted by Habitat for Humanity East Bay/Silicon Valley, dated September 30, 2014.

2. The project approval shall coincide with the approval period for the Vesting Tentative Tract Map. If a building permit is issued for construction of improvements authorized by the General Plan Amendment and Zone Change approval, said approval shall be void two years after issuance of the building permits, or three years after approval of Precise Plan application, whichever is later, unless the construction authorized by the building permits has been substantially completed or substantial sums have been expended in reliance upon the Precise Plan approval.
3. This approval is subject to the Mitigation Monitoring and Reporting Program included in the City's Project files as Exhibit B.
4. The subdivider shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit excluding any claims for gross negligence or willful misconduct of city or its officers or employees.

PRECISE PLAN SUBMITTAL

5. In accordance with Zoning Ordinance §10-1.2550 and prior to submitting a building permit application, a Precise Development Plan shall be submitted for review and approval.
6. The Precise Development Plan shall be in substantial conformance with the approved Preliminary Development Plan and incorporate conditions herein, and shall be submitted in

conjunction with the subdivision improvement plans and Final Map.

7. The project approval includes the following project amenities to support the finding required to be made that “any latitude or exception(s) to development regulations or policies is adequately offset or compensated for by providing functional facilities or amenities not otherwise required or exceeding other required development standards”. Details of all project amenities shall be submitted for review and approval by the Planning Director during the Precise Plan phase of the project. These four (4) amenities include:
 - Provide ten (100% of units) affordable housing units to very low- and low-income first-time homebuyers.
 - Install photovoltaic solar systems on all units.
 - Provide conforming common and private open space within the development in excess of the minimum required.
 - Include enhanced landscaping throughout the site, including a community garden for the residents of the development.

8. The applicant shall submit revised project plans for review and approval by the Planning Director that clearly shows the details of each project amenity. Such project amenity details shall be included in the Precise Plan submittal for final approval.

9. The Precise Development Plan shall include the following information and/or details:
 - a) A copy of these conditions of approval shall be included on a full-sized sheet(s).
 - b) Proposed location for construction staging, designated areas for construction employee parking (on- and off-site), construction office, sales office (if any), hours of construction, provisions for vanpooling construction workers or having them use transit to access the site, provisions for noise and dust control, and common area landscaping.
 - c) Details of address numbers shall be provided. Address number shall be decorative. Building addresses shall be minimum 4-inch self-illuminated or 6-inch on contrasting background. Address numbers shall be installed so as to be visible from the street.
 - d) Proposed locations, heights, materials and colors of all walls and fences.
 - e) A minimum of one exterior hose bib shall be provided for each residential unit.
 - f) Proposed pavement materials for all drive aisles, parking areas, and pedestrian paths. All surfaces should be enhanced by the use of decorative pavement materials such as colored, stamped concrete (bomanite or equal), brick, concrete interlocking pavers or other approved materials.
 - g) Proposed mailbox design and locations, subject to Post Office approval.
 - h) A final lighting plan prepared by a qualified illumination engineer shall be included to show exterior lighting design. Exterior lighting shall be erected and maintained so that adequate lighting is provided along the private street. The Planning Director shall approve the design and location of lighting fixtures, which shall reflect the architectural style of the building(s). Exterior lighting shall be shielded and deflected away from neighboring properties and from windows of houses within the project.
 - i) All air conditioners and utility connections for air conditioners shall be located behind solid board fences or walls and shall not exceed the height of the fence or wall, unless otherwise approved.
 - j) Proposed color and materials board for all buildings, fences and walls. No changes to

- colors shall be made after construction unless approved by the Planning Director.
- k) All above-ground utility meters, mechanical equipment and water meters shall be enclosed within the buildings or shall be screened with shrubs and/or an architectural screen.
 - l) No mechanical equipment, other than solar panels, shall be placed on the roof unless it is completely screened from view by the proposed roof structure. All roof vents shall be shown on roof plans and elevations. Vent piping shall not extend higher than required by building code. Roof apparatus, such as vents, shall be painted to match the roof color.
 - m) Large expanses of blank wall shall not be allowed. Articulate or otherwise treat such expanses to avoid bulkiness.
 - n) All decorative window treatments shall be extended to all elevations as shown on the Preliminary Development Plan.
 - o) All rear and side entries visible from the street shall be protected by roofs with rooflines to match the pitch of the roof.
 - p) An area within the fenced side yard or on-site trash enclosure shall be provided for the garbage and recycling containers as approved on the Preliminary Development Plan. Any changes are subject to review and approval of the Planning Director and Solid Waste Manager.
 - q) All parking stall dimensions shall conform to the approved plans and/or the City's Off-street Parking Ordinance. All two car garages shall have minimum interior dimensions of 20-foot width by 19-foot depth. The dimensions shall be shown on plans. No doors, stairs, landings, laundry facilities, trash/recycle containers or HVAC shall project within the required interior parking areas.
10. Any proposal for alterations to the proposed site plan and/or design which does not require a variance to any zoning ordinance standard must be approved by the Development Services Director or his/her designee, prior to implementation.
 11. All final exterior building finishes, paint colors and other architectural details shall be reviewed and approved by the Planning Division in accordance with the City of Hayward's Design Guidelines prior to issuance of a building permit for the project.
 12. The project shall comply with the 2013 California Energy Code Section 110.10 for Solar Ready Homes, involving coordination between the project architect and energy consultant regarding the design and orientation of roof surfaces.

Planning Division

13. **Mitigation Measure 1¹**: The Project shall adhere to the following Bay Area Air Quality Management District (BAAQMD) "Basic Construction Mitigation Measures".
 - All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
 - All visible mud or dirt track-out onto adjacent public roads shall be removed using wet

¹ BAAQMD's recommendation to require, "All vehicle speeds on unpaved roads shall be limited to 15 mph" has not been included with Air-1 since the Project would not result in unpaved roads or surfaces where vehicles could exceed 15 mph.

power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.

- All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

14. **Mitigation Measure 2:** The applicant shall follow all recommendations in the tree evaluation report including protection of all trees adjacent to the project site to be preserved during all phases of the development. Any modifications to the arborist recommendations shall require an updated arborist report to be submitted to the City for review and approval by the City's Landscape Architect:

Pre-construction

- i) Hand dig or use an airspade to trench adjacent to redwoods #13-14 along the proposed perimeter footing for the driveway where within 12' of the trees. The trenching shall avoid any damage to roots over 2" in diameter and shall extend down to the depth of the proposed footing. Design adjustments, such as bridging the roots, to avoid damage to roots over 2" will be necessary to avoid significant damage to the trees.
- ii) Establish a Tree Protection Zone (TPZ) around trees #11-15, 23, 24 and 26 as indicated on the Tree Inventory Map using 6' chain-link fencing attached to metal stakes driven firmly into the ground.
- iii) Apply a 4" layer of chipper mulch throughout the tree protection zones.
- iv) Irrigate trees to a depth of 14" throughout their driplines where extending over the project property 2 weeks prior to grading.

Grading and Construction Phase

- v) Keep all equipment, debris, supplies, trenching, grading, stockpiling, or any other encroachments outside of the TPZ. Any desired adjustment or encroachment within the TPZ shall require consult with an arborist.
- vi) All pruning shall be performed by an ISA certified arborists or certified tree workers under the project arborist's supervision. Pruning to comply with all ISA and ANSI pruning standards and best management practices.

- vii) Trees #11-15, 24 and 26 shall be irrigated weekly to a depth of 12-14” throughout all accessible driplines, and at a minimum the entire TPZ.
 - viii) Since trees #23, 24, 25 and 2 are all off site trees that hang over the project, written permission from the tree owners will need to be granted prior to accessing their canopies.
15. **Mitigation Measure 3:** Prior to issuance of a Building Permit for the project, the applicant shall implement all measures as recommended by the project geotechnical consultant. Such measures will reduce the significance of impacts related to the expansive soils to a level of insignificance.

PRIOR TO SUBMITTAL OF SUBDIVISION IMPROVEMENT PLANS AND FINAL MAP

16. In conjunction with the Precise Plan, the applicant/developer shall submit subdivision improvement plans including Landscape and irrigation plans and a final map application for the entire project. Said improvement plans and final map shall meet all City standards and submittal requirements except as expressly approved for this Planned Development. The following information shall be submitted with, or in conjunction with, improvement plans and final map. The City reserves the right to include more detailed conditions of approval regarding required infrastructure based on these more detailed plans.
17. Unless otherwise stated, all necessary easements shall be dedicated, and all improvements shall be designed and installed, at no cost to the City of Hayward.
18. Unless indicated otherwise, the design for development shall comply with the following:
- a) All improvements shall be designed and constructed in accordance with the City of Hayward Municipal Code – Chapter 10, Articles 1 and 3, and Standard Specifications and Details.
 - b) All construction shall meet the California Building Codes (CBC) and all applicable City of Hayward Building Codes and amendments in effective at the time of submitting a building permit application.
 - c) Design and construction of all pertinent life safety and fire protection systems shall meet the California Fire Code and all applicable City of Hayward Fire Codes and amendments if effective at the time of submitting a building permit application.
19. A Registered Civil Engineer shall prepare all Civil Engineering improvement plans; a Licensed Architect shall prepare all architectural plans; and a Licensed Landscape Architect shall prepare all landscape plans unless otherwise indicated herein.

Subdivision Improvement Plans

20. Subdivision Improvement Plans shall be approved in concurrence with the Precise Development Plan. Submit the following proposed improvement plans with supporting documents, reports and studies:
- a) A detailed drainage plan, to be approved by the Alameda County Flood Control and Water Conservation District (ACFC&WCD) and the City Engineer, designing all on-site drainage facilities to accommodate the runoff associated with a ten (10) year storm and

- incorporating onsite storm water detention measures sufficient to reduce the peak runoff to a level that will not cause capacity of downstream channels to be exceeded. Existing offsite drainage patterns, i.e., tributary areas, drainage amount and velocity shall not be altered by the development. The detailed grading and drainage plan with supporting calculations and a completed Drainage Review Checklist shall be approved by the City Engineer and by the ACFC&WCD prior to issuance of any construction or grading permit.
- b) A detailed Stormwater Treatment Plan and supporting documents, following City ordinances and conforming to Regional Water Quality Control Board's Staff recommendations for new development and redevelopment controls for storm water programs.

Storm Water Quality Requirements

21. The following materials related to the Storm water quality treatment facility requirements shall be submitted with improvement plans and/or grading permit application. All reports such as Geotechnical Report, SWPPP, and SWMP, etc. are to be submitted in bound form. Reports that are clipped or stapled will not be accepted:
- a) Hydromodification Management Worksheet.
 - b) Infiltration/Rainwater Harvesting and Use Feasibility Screening Worksheet.
 - c) Development and Building Application Information Impervious Surface Form.
 - d) Project Applicant Checklist of Stormwater Requirements for Development Projects.
 - e) C.3 and C.6 Data Collection Form.
 - f) Numeric Sizing Criteria used for stormwater treatment (Calculations).
 - g) A detailed Stormwater Treatment Plan and supporting documents conforming to the City ordinances and Regional Water Quality Control Board's Staff recommendations for new development and redevelopment controls for storm water programs.
 - h) The project plans shall include the storm drain design in compliance with post-construction stormwater requirements to provide treatment of the stormwater according to the National Pollutant Discharge Elimination System (NPDES) permit's numeric criteria. The design shall comply with the C.3 established thresholds and shall incorporate measures to minimize pollutants to the maximum extent practicable (MEP).
 - i) The project plans shall identify Best Management Practices (BMPs) appropriate to the uses conducted on-site in order to limit the entry of pollutants into storm water runoff to the maximum extent practicable.
 - j) The proposed BMPs shall be designed to comply with the hydraulic sizing criteria listed in Provision of the ACCWP NPDES permit (page 30). In addition, the California Stormwater Quality Association's Stormwater Best Management Practice Handbook New Development and Redevelopment, Subsection 5.5 on pages 5-12 has a section titled "BMP Design Criteria for Flow and Volume". These materials are available on the internet at www.cabmphandbooks.com.
 - k) The design of the bioretention treatment area shall use a Bioretention Soil Mix (BSM) per Attachment L of the C.3 Stormwater Technical Guidance dated May 14, 2013, with a minimum infiltration rate of 5 inches per hour.
 - l) The inlet rims in the Bioretention Treatment Area (BTA) shall be set at a minimum of six inches above the flow line of the BTA. The design of the longitudinal flow line shall be level.

- m) The proposed (storm water treatment facility) Bioretention Treatment Area (BTA) shall be encircled with decorative fence and gated with lock to be used for maintenance use only.
22. The developer shall be responsible for ensuring that all contractors are aware of all storm water quality measures and implement such measures. Failure to comply with the approved construction BMPs will result in the issuance of correction notices, citations or a project stop order.

Private Street

23. The private streets, driveways, and parking areas shall be designed to facilitate street sweeping, including the layout of the tree and pedestrian ramps. The HOA shall be responsible for street sweeping on a regular basis.
24. The on-site streetlights and pedestrian lighting shall be LED lights and have a decorative design approved by the Planning Director. The locations of the lights shall be shown on the improvement plans and shall be approved by the City Engineer. Submit photometric plans with the improvement plans. Such fixtures shall have shields to minimize “spill-over” lighting on adjacent properties that are not part of the tract.
25. The proposed street shall be private, owned and maintained by the HOA.
26. The driveway access on A Street shall conform to City Standard Detail SD-108A, Alternate “A”.

Public Streets (A and Walnut Streets)

27. Any damaged and/or broken curb, gutter and sidewalks along the property frontages shall be removed and replaced as determined by the City.
28. The new streetlight on Walnut Street shall be a Standard LED luminaire

Storm Drainage

29. The Hydrology and Hydraulics Criteria Summary, Alameda County Flood Control and Water Conservation District, latest edition shall be used to determine storm drainage runoff. A detailed drainage plan, to be approved by the Alameda County Flood Control and Water Conservation District (ACFC&WCD) and the City Engineer, designing all on-site drainage facilities to accommodate the runoff associated with a ten (10) year storm and incorporating onsite storm water detention measures sufficient to reduce the peak runoff to a level that will not cause capacity of downstream channels to be exceeded. Existing offsite drainage patterns, i.e., tributary areas, drainage amount and velocity shall not be altered by the development. The detailed grading and drainage plan with supporting calculations and a completed Drainage Review Checklist shall be approved by the City Engineer and by the ACFC&WCD prior to issuance of any construction or grading permit.
30. The project shall also include erosion control measures to prevent soil, dirt, debris and contaminated materials from entering the storm drain system, in accordance with the regulations outlined in the ABAG Erosion and Sediment Control Handbook.

31. The on-site storm drain system shall be a private system owned and maintained by the HOA.
32. Improvements for storm drain system shall incorporate the following:
 - a) The project shall not block runoff from, or augment runoff to, adjacent properties. The drainage area map developed for the project hydrology design shall clearly indicate all areas tributary to the project area. The developer is required to mitigate unavoidable augmented runoffs with offsite and/or on-site improvements.
 - b) No surface runoff is allowed to flow over the sidewalks and/or driveways. Area drains shall be installed behind the sidewalks to collect all runoff from the project site.
 - c) Storm drain pipes in streets and courts shall be a minimum of twelve inches in diameter with a minimum cover of three feet over the pipe.
 - d) All storm drain inlets must be labeled "No Dumping - Drains to Bay," using City-approved methods.
 - e) Storm water inlets shall be installed at the curb face per the City of Hayward Standard Details. The design and location shall be approved by the City Engineer.
 - f) Post-development flows should not exceed the existing flows. If the proposed development warrants a higher runoff coefficient or will generate greater flow, mitigation measures shall be implemented.

Sanitary Sewer System

42. The development's sanitary sewer mains and appurtenances shall be privately owned-and-maintained by the HOA.
43. All public sewer mains and appurtenances shall be constructed in accordance to the City's "Specifications for the Construction of Sanitary Sewer Mains and Appurtenances," latest revision at the time of permit approval (available on the City's website at <http://user.govoutreach.com/hayward/faq.php?cid=11188>).
44. Manholes shall be installed in the sewer main at any change in direction or grade, at intervals not to exceed 400 feet, and at the upstream end of the pipeline.
45. Each single family dwelling unit shall have an individual sanitary sewer lateral. The sewer laterals shall have cleanouts and be constructed per City Standard Detail SD-312. Sewer cleanouts shall be installed on each sewer lateral at the connection with the building drain, at any change in alignment, and at uniform intervals not to exceed 100 feet.
42. The Sanitary Sewer Connection Fees for a single-family residence are due and payable prior to final inspection.

Water System

43. The project water mains and valves shall be public, and shall be owned and maintained by the City. If the water mains are located in a private roadway, a minimum 10 feet wide easement shall be granted to the City.

44. All water mains and hydrants shall be constructed in accordance with the City's "Specifications for the Construction of Water Mains (12" Diameter or Less) and Fire Hydrants, "latest revision at the time of permit approval (available on the City's website at <http://user.govoutreach.com/hayward/faq.php?cid=11188>).
45. All water services from existing water mains shall be installed by City Water Distribution Personnel at the applicant/developer's expense. The developer may only construct new services in conjunction with the construction of new water mains.
46. Water mains shall be configured in a looped system and located 5 feet from the face of curb. Dead-end water mains are not allowed.
47. Each single family residence shall have an individual domestic water meter. Separate water meters and services shall be installed for development private fire hydrant and landscaping.
48. All domestic and irrigation water meters shall be radio-read type.
49. Residential combined domestic and fire services are allowed, per City Standard SD-216. The minimum size for a residential fire service connection is 1-inch and the maximum size for combined services is 2 inches. If the fire demand exceeds 160 GPM, a separate fire service will be required. Note that, per CBC 2010 R313, flow-through or multipurpose systems may not require a backflow device.
50. A dedicated irrigation water meter shall be installed for the HOA's maintained-landscaping. A Reduced Pressure Backflow Prevention Assembly shall be installed on each irrigation water meter, per City Standard SD-202. Backflow preventions assemblies shall be at least the size of the water meter or the water supply line on the property side of the meter, whichever is larger.
51. An above-ground Double Check Valve or Detector Assembly, per City Standards SD-201 and SD-204 shall be installed for on-site private fire hydrants.
52. Fire flow data for the hydrants in the vicinity of the proposed development shall be obtained for the design water pressure for all fire protection systems that is either a maximum of 80 psi or the actual supply pressure, whichever is lower. Fire flow tests are performed by City Water Distribution Personnel at a charge of **\$300** each.
53. Water meters and services are to be located a minimum of two feet from top of driveway flare as per City Standard Details SD-213 thru SD-218.
54. Water mains and services, including the meters, must be located at least 10 feet horizontally from and one-foot vertically above any parallel pipeline conveying untreated sewage (including sanitary sewer laterals), and at least six feet from and one foot vertically above any parallel pipeline conveying storm drainage, per the current California Waterworks Standards, Title 22, Chapter 16, Section 64572. The minimum horizontal separation distances can be reduced by using higher grade (i.e. pressure) piping materials.

Solid Waste

55. Applicants must comply with City standards to obtain building permits, as follows:
- a. Residential Collection of Garbage and Recyclables: Residents are required to place their garbage, recycling, and organics carts at the curb for weekly collection service by contracted service providers:
 - i. The standard type of garbage, recycling, and organics containers are (1) 32-gallon cart for Garbage, (1) 64-gallon cart for Recycling, and (1) 64-gallon cart for Organics.
 - ii. Trash and recycle containers shall be stored out of public view on non-pickup days. Sufficient storage space for garbage carts shall be provided for each residential unit. The total space required for the standard service is approximately 3 feet by 9 feet.
 - iii. Residents shall not place carts at the curb any earlier than 6:00 a.m. the day before scheduled collection, and are required to retrieve them no later than midnight the days the carts are emptied. (Hayward Municipal Code Section 5-1.15).
 - b. Trash Enclosures: Adequate indoor and outdoor storage space for recyclables is required by state law (California Public Resources Code 42910-42912 and Hayward Municipal Code 5-1.27). Federal provisions require a roof on all outdoor trash *enclosures where food or other organics is disposed* (Federal Clean Water Act). The enclosures shall be adequately sized for collection of trash and recyclables. To deter illegal dumping, a gate on each enclosure is required. Adequate provisions must be provided to ensure that all residents, regardless of physical ability, are able to easily dispose of their garbage and recyclables in the bins. Any arrangements required to provide reasonable access to these trash enclosures shall be included in the CC&R's for this development.
 - c. Requirements for Recycling Construction & Demolition Debris: City regulations require that applicants for all construction, demolition, and/or renovation projects, in excess of \$75,000 (or combination of projects at the same address with a cumulative value in excess of \$75,000) must recycle all asphalt and concrete and all other materials generated from the project. Applicants must complete the *Construction & Demolition Debris Recycling Statement*, a *Construction and Demolition Debris Recycling Summary Report*, and weigh tags for all materials disposed during the entire term of the project, and obtain signature approval from the City's Solid Waste Manager prior to any off haul of construction and demolition debris from the project site.

Other Utilities

56. All service to dwellings shall be an "underground service" designed and installed in accordance with the Pacific Gas and Electric Company, AT&T (phone) Company and Comcast cable company regulations. Transformers and switch gear cabinets shall be placed underground unless otherwise approved by the Planning Director and the City Engineer. Underground utility plans must be submitted for City approval prior to installation.

57. All proposed surface-mounted hardware (fire hydrants, electroliers, etc.) along the proposed streets shall be located outside of the sidewalk within the proposed Public Utility Easement in accordance with the requirements of the City Engineer or, where applicable, the Fire Chief.
58. The developer shall provide and install the appropriate facilities, conduit, junction boxes, etc., to allow for installation of a fiber optic network within the subdivision.
59. All utilities shall be designed in accordance with the requirements of the City of Hayward and applicable public agency standards.

Landscape and Irrigation Plans

60. Prior to the approval of improvement plans or issuance of the first building permit, detailed landscape and irrigation plans shall be reviewed and approved by the City and shall be part of approved improvement plans and the building permit submittal. The plans shall be prepared by a licensed landscape architect on an accurately surveyed base plan and shall comply with the City's *Bay-Friendly Water Efficient Landscape Ordinance, Hayward Environmentally Friendly Landscape Guidelines and Checklist for the landscape professional, and Municipal Codes*. Dripline of the existing trees to be saved shall be shown on the plan.
61. Mylar of the approved landscape and irrigation improvement plans shall be submitted to the Engineering Department. The size of Mylar shall be 22" x 34" without an exception. A 4" wide x 4" high blank signing block shall be provided in the low right side on each sheet of Mylar. The signing block shall contain two signature lines and dates for City of Hayward, Landscape Architect/Planner and City Engineer. Upon completion of installation, As-built/Record Mylar shall be submitted to the Engineering Department by the developer.
62. Prior to the issuance of a grading or building permit, a tree preservation bond, surety or deposit, equal in value to the trees to be preserved, shall be provided by the developer. If any trees that are designated as saved are removed or damaged during construction they shall be replaced with trees of equal size and equal value. The bond, surety or deposit shall be returned when the tract is accepted if the trees are found to be in a healthy, thriving and undamaged condition. The developer shall provide an arborist's report evaluating the conditions of the trees.
63. A tree pruning and removal permit is required prior to pruning or removal of any existing trees. If off-site trees to be pruned to minimize impacts from the construction, a written permission from the neighboring property shall be submitted with the tree pruning/removal permit.
64. Masonry walls, solid building walls, trash enclosures or fences facing a street or driveway shall be continuously buffered with shrubs and vines. Trash enclosure shall have a minimum 5' interior planting width on 3 sides and shall be screened with a minimum 5-gallon shrubs and vines.
65. Above ground utilities and equipment shall be screened from the street with five gallon shrubs.
66. A tree removal permit is required prior to the removal of any existing trees.

Fire Protection

67. Duplex buildings shall be required to install fire sprinkler systems in accordance with NFPA 13D. Triplex buildings shall be required to install fire sprinkler systems in accordance with NFPA 13D when the demising walls between residential units are provided with one two-hour-rated wall or two one-hour-rated walls. Otherwise, sprinkler systems installed in accordance with NFPA 13 shall be provided in triplex buildings.
68. Maximum 80 PSI water pressure should be used when water data indicates a higher static pressure. Residual pressure should be adjusted accordingly.
69. Underground fire service line serving NFPA 13D sprinkler system shall be installed in accordance with the Hayward Public Work Department SD-216. Water meters shall be minimum one-inch in diameter. Sprinkler monitoring systems shall be provided for NFPA 13 sprinkler systems.
70. Underground fire service line serving NFPA 13 sprinkler system shall be installed in accordance with the Hayward Public Work Department SD-204. Water meter shall be minimum four-inch in diameter.
71. An audible alarm bell (device) shall be installed on the fire sprinkler system riser.
72. An interior audible alarm device shall be installed within the dwelling in a location so as to be heard throughout the home. The device shall activate upon any fire sprinkler system waterflow activity.
73. All bedrooms and hallway areas shall be equipped with smoke detectors, hard-wired with battery backup. Installation shall conform to the California Building Code (CBC).
74. CO detectors should be placed near the sleeping area on a wall about 5 feet above the floor. The detector may be placed on the ceiling. Each floor needs a separate detector.
75. An approved type spark arrestor shall be installed on any chimney cap.
76. A minimum 4" self-illuminated address shall be installed on the front of the dwelling in a location so as to be visible from the street. Otherwise, a minimum 6" address shall be installed on a contrasting background and shall be in a location approved by the Fire Department.

Hazardous Materials

77. Prior to issuance of Building or Grading Permits, a final clearance shall be obtained from either California Regional Water Quality Control Board or Department of Toxic Substance Control and submitted to the Hayward Fire Department to ensure that the property meets residential development investigation and cleanup standards. Allowance may be granted for some grading activities if necessary to ensure environmental clearances.
78. Prior to grading: Structures and their contents shall be removed or demolished under permit in an environmentally sensitive manner. Proper evaluation, analysis and disposal of materials shall be done by appropriate professional(s) to ensure hazards posed to development construction

workers, the environment, future residents and other persons are mitigated

79. Any wells, septic tank systems and others subsurface structures shall be removed properly in order not to pose a threat to the development construction workers, future residents or the environment. These structures shall be documented and removed under permit when required.
80. The Hayward Fire Department's Hazardous Materials Office shall be notified immediately at (510) 583-4910 if hazardous materials are discovered during demolition or during grading. These shall include, but shall not be limited to, actual/suspected hazardous materials, underground tanks, vessels that contain or may have contained hazardous materials.
81. During construction, hazardous materials used and hazardous waste generated shall be properly managed and disposed.
82. If hazardous materials storage and/or use are to be a part of the facility's permanent operations then a Chemical Inventory Packet shall be prepared and submitted with building plans to the City of Hayward Fire Department at the time of application for construction permits.

Final Tract Map

83. Prior to recordation, a proposed Final Tract Map shall be submitted for review by the City. The Final Tract Map shall be presented to the City Council for review and action. The City Council meeting will be scheduled approximately sixty (60) days after the Improvement Plans with supporting documents and Final Map are deemed technically correct, and Subdivision Agreement and Bonds are approved by the City. The executed Final Map shall be returned to the City Public Works Department if Final Map has not been filed in the County Recorder's Office within ninety (90) days from the date of the City Council's approval.
84. Prior to the recordation of the Final Tract Map, all documents that need to be recorded with the final map shall be approved by the City Engineer and any unpaid invoices or other outstanding charges accrued to the City for the processing of the subdivision application shall be paid.
85. The final map shall reflect all easements needed to accommodate the project development. The private street shall be dedicated as a Public Utility Easement (PUE), Public Assess Easement (PAE), Water Line Easement (WLE), Sanitary Sewer Easement (SSE), Emergency Vehicle Access Easement (EVAE), and Ingress and Egress Easement (IE).

PRIOR TO ISSUANCE OF BUILDING OR GRADING PERMITS AND CONSTRUCTION WITH COMBUSTIBLE MATERIALS

86. Pursuant to the Municipal Code §10-3.332, the developer shall execute a subdivision agreement and post bonds with the City that shall secure the construction of the public improvements. Insurance shall be provided per the terms of the subdivision agreement.
87. Prior to issuance of building permits, a final map that reflects and is in substantial compliance with the approved vesting tentative tract map, shall be approved by the City Engineer and is in the process for filing with the office of the Alameda County Clerk Recorder.

88. Submit the following documents for review and approval, or for City project records/files:
- a) Engineer's estimate of costs, including landscape improvements;
 - b) Signed Final Map;
 - c) Signed Subdivision Agreement;
 - d) Certificate of Insurance; and
 - e) Subdivision bonds.
89. Plans for building permit applications shall incorporate the following:
- a) The approved Precise Plan;
 - b) The approved Improvement Plan; and
 - c) The approved Landscaping and Irrigation Plan.
90. Required water system improvements shall be completed and operational prior to the start of combustible construction.
91. A representative of the project soils engineer shall be on the site during grading operations and shall perform such testing as deemed necessary by the City Engineer. The representative of the soils engineer shall observe all grading operations and provide any recommended corrective measures to the contractor and the City Engineer.
92. The minimum soils sampling and testing frequency shall conform to Chapter 8 of the Caltrans Construction Manual. The subdivider shall require the soils engineer to daily submit all testing and sampling and reports to the City Engineer.

PRIOR TO COMPLETION OF SITE IMPROVEMENTS AND ISSUANCE OF CERTIFICATES OF OCCUPANCY

During Construction

93. The developer shall ensure that unpaved construction areas are sprinkled with water as necessary to reduce dust generation. Construction equipment shall be maintained and operated in such a way as to minimize exhaust emissions. If construction activity is postponed, graded or vacant land shall immediately be revegetated.
94. The following control measures for construction noise, grading and construction activities shall be adhered to, unless otherwise approved by the Planning Director or City Engineer:
- a. Grading and site construction activities shall be limited to the hours 7:00 AM to 7:00 PM Monday through Saturday and 10:00 AM to 6:00 PM Sunday and Holidays. Grading hours are subject to the City Engineer's approval. Building construction hours are subject to Building Official's approval;
 - b. Grading and construction equipment shall be properly muffled;
 - c. Unnecessary idling of grading and construction equipment is prohibited;
 - d. Stationary noise-generating construction equipment, such as compressors, shall be located as far as practical from occupied residential housing units;
 - e. Applicant/developer shall designate a "noise disturbance coordinator" who will be responsible for responding to any local complaints about construction noise. Letters shall be

- mailed to surrounding property owners and residents within 300 feet of the project boundary with this information and a copy provided to the Planning Division.
- f. The developer shall post the property with signs that shall indicate the names and phone number of individuals who may be contacted, including those of staff at the Bay Area Air Quality Management District, when occupants of adjacent residences find that construction is creating excessive dust or odors, or is otherwise objectionable. Letters shall also be mailed to surrounding property owners and residents with this information prior to commencement of construction and a copy provided to the Planning Division.
 - g. Daily clean-up of trash and debris shall occur on streets fronting project site, and other neighborhood streets utilized by construction equipment or vehicles making deliveries.
 - h. Gather all construction debris on a regular basis and place them in a dumpster or other container which is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water pollution;
 - i. Remove all dirt, gravel, rubbish, refuse and green waste from the sidewalk, street pavement, and storm drain system adjoining the project site. During wet weather, avoid driving vehicles off paved areas and other outdoor work;
 - j. The site shall be watered twice daily during site grading and earth removal work, or at other times as may be needed to control dust emissions;
 - k. All grading and earth removal work shall follow remediation plan requirements, if soil contamination is found to exist on the site;
 - l. Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites;
 - m. Sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at construction sites;
 - n. Sweep public streets daily if visible soil material is carried onto adjacent public streets;
 - o. Apply (non-toxic) soil stabilizers or hydroseed to inactive construction areas (previously graded areas inactive for 10-days or more);
 - p. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
 - q. Broom sweep the sidewalk and public street pavement adjoining the project site on a daily basis. Caked on mud or dirt shall be scraped from these areas before sweeping;
 - r. No site grading shall occur during the rainy season, between October 15 and April 15, unless approved erosion control measures are in place.
 - s. Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site prior to: 1) start of the rainy season; 2) site dewatering activities; or 3) street washing activities; and 4) saw cutting asphalt or concrete, or in order to retain any debris or dirt flowing into the City storm drain system. Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and prevent street flooding. Dispose of filter particles in the trash;
 - t. Create a contained and covered area on the site for the storage of bags of cement, paints, flammables, oils, fertilizers, pesticides or any other materials used on the project site that have the potential for being discharged to the storm drain system through being windblown or in the event of a material spill;
 - u. Never clean machinery, tools, brushes, etc., or rinse containers into a street, gutter, storm drain or stream. See "Building Maintenance/Remodeling" flyer for more information;

- v. Ensure that concrete/gunite supply trucks or concrete/plasters finishing operations do not discharge washwater into street gutters or drains; and
 - w. The developer shall immediately report any soil or water contamination noticed during construction to the City Fire Department Hazardous Materials Division, the Alameda County Department of Health and the Regional Water Quality Control Board.
95. In the event that human remains', archaeological resources, prehistoric or historic artifacts are discovered during construction of excavation, the following procedures shall be followed: Construction and/or excavation activities shall cease immediately and the Planning Division shall be notified. A qualified archaeologist shall be retained to determine whether any such materials are significant prior to resuming groundbreaking construction activities. Standardized procedure for evaluation accidental finds and discovery of human remains shall be followed as prescribed in Sections 15064.f and 151236.4 of the California Environmental Quality Act.
96. Prior to final inspections, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the Planning Director.
97. Prior to the issuance of Certificate of Occupancy, all landscape and irrigation shall be completed and installed in accordance with the approved plan and accepted by the project landscape architect prior to submitting a Certificate of Completion. The final acceptance form must be submitted prior to requesting an inspection with the City Landscape Architect. An Irrigation Schedule shall be submitted prior to the final inspection and acceptance of landscape improvements.
98. Landscape and tree improvements shall be installed according to the approved plans prior to the occupancy of each building. All common area landscaping, irrigation, and other required improvements shall be installed prior to acceptance of tract improvements, or occupancy of eighty percent of the dwelling units, whichever first occurs, and a Certificate of Completion, as-built Mylar and an Irrigation Schedule shall be submitted prior to the Final Approval of the landscaping for the Tract to the Public Works – Engineering and Transportation Department by the developer.

Homeowners Association (HOA)

99. Prior to the sale of any parcel, or prior to the acceptance of site improvements, whichever occurs first, Conditions, Covenants and Restrictions (CC&R's) creating a homeowners association (HOA) for the property shall be reviewed and approved by the Planning Director and City Attorney and recorded. The CC&R's shall describe how the storm drain system, including stormwater treatment facilities BMP, private street and infrastructure, common landscaping areas and amenities for the developments shall be maintained by the association. The CC&Rs shall include the following provisions:
- a) Each owner shall automatically become a member of the association(s) and shall be subject to a proportionate share of maintenance expenses.
 - b) A reserve fund shall be maintained to cover the costs of improvements and landscaping to be maintained by the Association(s).
 - c) The HOA shall be managed and maintained by a professional property management

- company.
- d) The HOA shall own and maintain the private access road.
 - e) The HOA shall own and maintain the on-site storm drain system.
 - f) The HOA shall maintain the common area irrigation system and maintain the common area landscaping in a healthy, weed-free condition at all times. The HOA shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over 30% die-back) shall be replaced within fifteen days of notification to the homeowner. Plants in the common areas shall be replaced within thirty days of the inspection. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected and size determined by the City Landscape Architect, within the timeframe established by the City and pursuant to the Hayward Municipal Code.
 - g) A provision that if the HOA fails to maintain the common outdoor patio areas, and all other landscaping and irrigation in all other common areas for which it is responsible so that owners, their families, tenants, or adjacent owners will be impacted in the enjoyment, use or property value of the project, the City shall have the right to enter upon the project and to commence and complete such work as is necessary to maintain the common areas and private streets, after reasonable notice, and lien the properties for their proportionate share of the costs, in accordance with Section 10-3.385 of the Hayward Subdivision Ordinance.
 - h) A provision that the building exteriors and fences shall be maintained free of graffiti. The owner's representative shall inspect the premises on a weekly basis and any graffiti shall be removed within 48 hours of inspection or within 48 hours of notification by the City.
 - i) A tree removal permit is required prior to the removal of any protected tree, in accordance with the City's Tree Preservation Ordinance.
 - j) The residents shall not use common parking spaces for storage of recreational vehicles, camper shells, boats or trailers. These parking spaces shall be monitored by the HOA. The CC&R's shall include authority for the HOA to tow illegally-parked vehicles.
 - k) Individual homeowners shall maintain in good repair the exterior elevations of their dwelling. The CC&Rs shall include provisions as to a reasonable time period that a unit shall be repainted, the limitations of work (modifications) allowed on the exterior of the building, and the right of the home owners association to have necessary work done and to place a lien upon the property if maintenance and repair of the unit is not executed within a specified time frame. The premises shall be kept clean and free of debris at all times. Color change selections shall be compatible with the existing setting.
 - l) The HOA shall maintain all fencing, parking surfaces, common landscaping, lighting, drainage facilities, project signs, exterior building elevations, etc. The CC&Rs shall include provisions as to a reasonable time period that the building shall be repainted, the limitations of work (modifications) allowed on the exterior of the buildings, and its power to review changes proposed on a building exterior and its color scheme, and the right of the home owners association to have necessary work done and to place a lien upon the property if maintenance and repair of the unit is not executed within a specified time frame. The premises shall be kept clean.
 - m) Any future major modification to the approved site plan shall require review and approval by the Planning Commission.
 - n) On-site streetlights and pedestrian lighting shall be owned and maintained by the HOA

- and shall have a decorative design approved by the Planning Director and the City Engineer.
- o) Street sweeping of the private street and private parking stalls shall be conducted at least once a month.
 - p) A covenant or deed restriction shall be recorded with each lot requiring the property owner to properly maintain the front yard landscaping and street trees, and replace any dead or dying plant material

Prior to the Issuance of Certificate of Occupancy or Final Report

- 100. All buildings shall be designed using the California Building Codes in effective at the time of submitting building permit applications.
- 101. All tract improvements, including the complete installation of all improvements relative to streets, fencing, sanitary sewer, storm drainage, water system, underground utilities, etc., shall be completed and attested to by the City Engineer before approval of occupancy of any unit. Where facilities of other agencies are involved, such installation shall be verified as having been completed and accepted by those agencies.
- 102. Park Dedication In-Lieu Fees are required for all new dwelling units. Fees shall be those in effect at the time of the Vesting Tentative Tract Map is approved. All Park dedication in-lieu fees shall be paid prior to issuance of a Certificate of Occupancy for a residential unit.
- 103. All landscape improvements shall be completed in accordance with approved plan and accepted by the project landscape architect prior to submitting a Certificate of Completion. The final acceptance form must be submitted prior to requesting an inspection to the City Landscape Architect. An Irrigation Schedule shall be submitted prior to the final inspection and acceptance of improvements.
- 104. Landscaping shall be maintained in a healthy, weed-free condition at all times and shall be designed with efficient irrigation practices to reduce runoff, promote surface filtration, and minimize the use of fertilizers and pesticides, which can contribute to runoff pollution. The owner's representative shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over 30% dieback) shall be replaced within ten days of the inspection. Three inches deep mulch should be maintained in all planting areas. Mulch should be organic recycled chipped wood in the shades of Dark Brown Color. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected by, and size determined by the City Landscape Architect, within the timeframe established by the City and pursuant to the Municipal Code. Irrigation system shall be tested periodically to maintain uniform distribution of irrigation water; irrigation controller shall be programmed seasonally; irrigation system should be shut-off during winter season; and the whole irrigation system should be flushed and cleaned when the system gets turn on in the spring.
- 105. The developer/subdivider shall be obligated for the following additional fees. The amount of the fee shall be in accordance with the fee schedule in effect at the time Vesting Tentative Tract Map was accepted as complete, unless otherwise indicated herein:
 - a. Supplemental Building Construction and Improvement Tax, and

b. School Impact Fee.

106. Final Hayward Fire Department inspection is required to verify that requirements for fire protection facilities have been met and actual construction of all fire protection equipment have been completed in accordance with the approved plan. Contact the Fire Marshal's Office at (510) 583-4910 at least 24 hours before the desired final inspection appointment.
107. The improvements associated with the Pacific Gas and Electric Company, AT&T (phone) company and local cable company shall be installed to the satisfaction of the respective companies.
108. The Stormwater Treatment Measures Maintenance Agreement for the project, prepared by Public Works Engineering and Transportation Division staff, shall be signed and recorded in concurrence with the Final Map at the Alameda County Recorder's Office to ensure that the maintenance is bound to the property in perpetuity.
109. The applicant/subdivider shall submit "as built" plans and final reports for the following:
 - a) Final Storm Water Management Plan (SWMP) prepared by a QSD and signed by a Qualified Inspector;
 - b) AutoCAD file format (release 2010 or later) in a CD of approved final map and 'as-built' improvement plans showing landscape and irrigation improvements, lot and all underground facilities, sanitary sewer mains and laterals, water services (including meter locations), Pacific Gas and Electric, AT&T (phone) facilities, local cable company, etc. that can be used to update the City's Base Maps; and
 - c) Final Geotechnical Report.



CITY OF
HAYWARD
HEART OF THE BAY

November 12, 2014

Alameda County Clerk
1106 Madison Street, 1st Floor
Oakland, CA 94607

Subject: Notice of Intent to Adopt a Mitigated Negative Declaration for Zone Change Application No. PL-2013-0290 – from Medium Density Residential to Planned Development and Vesting Tentative Tract Map 8104 (Application No. PL-2013-0291) associated with the subdivision and construction of 10 townhomes and common areas on a 0.73-acre site located at 123-197 A Street. Natalie Monk, Habitat for Humanity East Bay/Silicon Valley (Applicant), City of Hayward (Owner)

Dear Mr. O'Connell,

Please post this letter with the attached Mitigated Negative Declaration and Initial Study for a period of 20 days to conform to CEQA Guideline Section 15072. The specific posted comment period is from Thursday, November 13, 2014 to Wednesday, December 3, 2014.

The Planning Commission of the City of Hayward has scheduled a public hearing on Thursday, December 18, 2014, at 7:00 p.m., Council Chambers, 2nd Floor, City Hall, 777 B Street, Hayward, to obtain citizen input on the proposed project and the Mitigated Negative Declaration and Initial Study. A copy of the staff report can be viewed on the City's website at www.hayward-ca.gov after December 12, 2014.

Following the Planning Commission public hearing this matter will then be heard by the City Council. Notice of the City Council hearing will be sent out at a later date. The Planning Commission can either recommend approval to the City Council or deny the application. If denied, the denial action is appealable. The appeal period is 10 days from the date of the decision. If recommended for approval or appealed, a public hearing will be scheduled before the City Council for final decision. Notice of the City Council hearing will be sent out at a later date.

Department of Development Services
Planning Division

777 B Street, Hayward, CA 94541-5007
Tel: 510/583-4200 Fax: 510/583-3649

If the Mitigated Negative Declaration is approved, a copy will be sent to the General Business Division of your office for recordation. If you have any questions, please contact me at (510) 583-4210 or e-mail me at linda.ajello@hayward-ca.gov.

Sincerely,

A handwritten signature in black ink that reads "Linda Ajello". The signature is written in a cursive style with a large, looping "L" and "A".

Linda Ajello, AICP
Associate Planner



State of California - Department of Fish and Wildlife
NO EFFECT DETERMINATION REQUEST
 DFW 866 (Rev 01/13)

Lead agencies or project applicants that anticipate their project having no effect on fish and wildlife may use this form to request a "No Effect" Determination (NED) from the California Department of Fish and Wildlife (Department). This form prompts submittal of required information specified in the California Code of Regulations (Title 14 Section 753.5(c)(1)(A)). The California Environmental Quality Act (CEQA) document that was prepared for the project or a link to the webpage where the CEQA document has been published must also be provided with the written request.

Requests should be submitted when the CEQA document is released for public review, or as early as possible in the public comment period. Requests should include sufficient documentation to support a no effect determination, and must be submitted to the appropriate [Regional Office](#). Requests for projects with multi-region or statewide impacts should be submitted to the [Habitat Conservation Planning Branch](#).

If insufficient documentation is submitted, or if the project will cause a physical disturbance to habitat regardless of the magnitude of effect or size of a project a NED will not be issued. Please refer to Title 14 California Code of Regulations 753.5(d) for determination criteria.

Date Submitted: November 10, 2014

Applicant Name: Natalie Monk/Habitat for Humanity of the East Bay/Silicon Valley		Phone Number: 510-803-3372
Address: 2619 Broadway		Fax Number: 510-251-6309
City: Oakland	State: CA	Zip: 94612
		Email: NMonk@habitatebsv.org
Contact Person: Linda Ajello		Phone Number: 510-583-4207
Address: 777 B Street		Fax Number: 510-583-3649
City: Hayward	State: CA	Zip: 94541
		Email: linda.ajello@hayward-ca.gov
CEQA Lead Agency: City of Hayward		
Project Name: Sequoia Grove		
SCH Number and/or Local Agency ID number: <small>Zone Change Application No. PL-2013-0290 and Vesting Tentative Map Application No. PL-2013-0291</small>		CEQA Document Type: Mitigated Negative Declaration
Project Location: (Include street address, city, county, lat/long, township/range/section, or other description that clearly indicates the location of the project site. Submit an aerial photograph and/or topographic map showing the project location if otherwise not included with the CEQA document) 123-197 A Street, Hayward, CA 94541 Alameda County		
Use "Comment" section on next page if more room is needed.		
Brief Project Description: (Include details on the type of project; e.g. new construction [with square footage], demolition of existing buildings, adaptive reuse of existing buildings, zoning amendments, general plan amendments, conditional use for sale of alcoholic beverages, etc.) Zone change application to change the zoning from Medium Density Residential (RM) to Planned Development (PD) and Vesting Tentative Tract Map to subdivide the property to construct 10 residential townhomes and common areas on a .73 acre in-fill site that was previously developed with single-family homes.		
Use "Comment" section on next page if more room is needed.		
Justification of No Effect Determination [Explain how the proposed project has no effect on fish and wildlife consistent with 14 CCR § 753.5(d)]: 1. The Project would not result in or have the potential to result in hard, harassment, or take any fish and/or wildlife species because the project consists of an in-fill site that was previously developed with single-family homes that preclude movement of fish and wildlife species. No impacts related to wildlife movement or corridors are anticipated as a result of the project.		
Use "Comment" section on next page if more room is needed.		



COMMENTS (Continued from previous page)

Project Location: (Include street address, city, county, lat/long, township/range/section, or other description that clearly indicates the location of the project site. Submit an aerial photograph and/or topographic map showing the project location if otherwise not included with the CEQA document)

COMMENTS (Continued from previous page)

Brief Project Description: (Include details on the type of project; e.g. new construction [with square footage], demolition of existing buildings, adaptive reuse of existing buildings, zoning amendments, general plan amendments, conditional use for sale of alcoholic beverages, etc.)

COMMENTS (Continued from previous page)

Justification of No Effect Determination [Explain how the proposed project has no effect on fish and wildlife consistent with 14 CCR § 753.5(d)]:

2. The project would not result in or have the potential to result in direct or indirect destruction, ground disturbance, or other modification of any habitat that may support fish and/or wildlife species in that the project consists of development of an in-fill site that was previously developed and disturbed.
3. The project would not result in or have the potential to result in the removal of vegetation with potential to support wildlife in that the General Plan EIR notes that the City's urban area (which encompasses the project area), is composed of common upland habitat which does not provide suitable habitat conditions for special-status animal species. Furthermore, the site is an in-fill site that was previously developed and disturbed.
4. The project would not result in or have the potential to result in noise, vibration, dust, light, pollution, or an alteration in water quality that may affect fish and/or wildlife directly or from a distance in that the project site does not contain nor is it located near any riparian or wildlife corridors.
5. The project would not result in or have the potential to result in any interference with the movement of any fish and/or wildlife species in that the project consists of the construction of 10 townhomes on an in-fill site that was previously developed and disturbed.



No Effect Determination Request Form Instructions	
Applicant Name and Address	Full name and address of the CEQA project applicant
Date Submitted	Date of No Effect Determination Request Form submission
Phone Number	CEQA project applicant's phone number
Email	CEQA project applicant's email address
Fax Number	Primary fax line for the CEQA project applicant
Contact Person and Address	Full name and address of the person that should be contacted should additional information be needed to issue an NED
Phone Number	Contact person's direct phone or cell number
Email	Contact person's email address
Fax Number	Contact person's direct fax number (if available)
CEQA Lead Agency	The agency responsible for primary approval of the project, and for filing the Notice of Determination, or Decision, and any applicable findings
SCH Number and/or Local Agency ID Number	State Clearinghouse Number – "SCH" – tracking number generated by Office of Planning and Research (OPR) when a project's CEQA documents are filed/circulated with/through OPR's State Clearinghouse Local Agency ID Number – tracking/file number generated by the local agency (e.g. city or county) when a local agency is CEQA lead AND the project's CEQA documents will not be filed/circulated with/through OPR's State Clearinghouse
CEQA Document Type	Options include: <ul style="list-style-type: none"> • Negative Declaration, • Mitigated Negative Declaration, • Environmental Impact Report, or • Document for Certified Regulatory Program
Project Location	May be the project's street address including city and county, geographic coordinates (latitude/longitude, UTM), public land survey system coordinates (township/range/section), or other description that clearly indicates the location of the project site Submit an aerial photograph and/or topographic map showing the project location if otherwise not included with the CEQA document
Brief Project Description	Please include details on the type of project; e.g. new construction (with square footage), demolition of existing buildings, adaptive reuse of existing buildings, zoning amendments, general plan amendments, conditional use for sale of alcoholic beverages, etc.
Justification of No Effect Determination	Explain how the proposed project has no effect on fish and wildlife consistent with CCR Title 14 § 753.5(d)



CITY OF HAYWARD MITIGATED NEGATIVE DECLARATION

Notice is hereby given that the City of Hayward finds that could not have a significant effect on the environment as prescribed by the California Environmental Quality Act of 1970, as amended will occur for the following proposed project:

I. PROJECT DESCRIPTION:

Project title: Sequoia Grove; Zone Change Application PL-2013-0290 and Vesting Tentative Tract Map Application No. PL-2013-0291 (8104).

Description of project: The project proposes a subdivision of an approximately .73 acre vacant site in order to develop 10 townhomes and common open space that would be provide access from existing public streets.

Project review involves consideration of a vesting tentative map and rezoning.

II. FINDING PROJECT WILL NOT SIGNIFICANTLY AFFECT ENVIRONMENT:

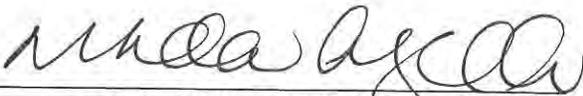
The proposed project, with the mitigation measures identified in the attached initial study checklist, will not have a significant effect on the environment.

III. FINDINGS SUPPORTING DECLARATION:

1. The proposed project has been reviewed according to the standards and requirements of the California Environmental Quality Act (CEQA) and an Initial Study Environmental Evaluation Checklist has been prepared for the proposed project. The Initial Study has determined that the proposed project, with the recommended mitigation measures, could not result in significant effects on the environment.
2. The project will not adversely affect any scenic resources. A lighting plan will be required to ensure that light and glare do not affect area views. Also, compliance with the City's Design Guidelines will ensure visual impacts are minimized. Landscape plans will also be required to ensure that structures are appropriately screened.
3. The project will not have an adverse effect on agricultural land since the subject site is not used for such purposes, does not contain prime, unique or Statewide important farmland.
4. The project will not result in significant impacts related to changes in air quality. When the property is developed the City will require the developer to submit a construction Best Management Practice (BMP) program prior to the issuance of any grading or building permit.
5. The project, proposed on properties surrounded by other residential development and within an urbanized area, will not result in significant impacts to biological resources. Any trees removed are required to be replaced as per the City's Tree Preservation ordinance.

6. The project will not result in significant impacts to known cultural resources including historical resources, archaeological resources, paleontological resources, unique topography or disturb human remains.
7. The project will not result in significant impacts to geology and soils. The project is located west of the Hayward fault, which poses potential risk to any development in the city of Hayward. Recommendations of the project geotechnical engineer will be required to be incorporated into project design and implemented throughout construction, to address such items as seismic shaking. Construction will also be required to comply with the California Building Code standards to minimize seismic risk due to ground shaking.
8. The project will not lead to the exposure of people to hazardous materials.
9. The project will be required to meet all water quality standards as part of the normal development review and construction process, to be addressed in a Stormwater Pollution Prevention Plan and Erosion Control Plan that utilize best management practices. Drainage improvements will be required to accommodate stormwater runoff, so as not to negatively impact the existing downstream drainage system of the Alameda County Flood Control and Water Conservation District.
10. The project is consistent with the overall density supported by the Hayward General Plan. In addition, the project will be required to be consistent with the City of Hayward's Design Guidelines.
11. The project will not result in any long-term noise impacts. Construction noise will be mitigated through restriction on construction hours, mufflers, etc., to be approved as part of the future building permits for the homes.
12. The project will not result in significant impacts related to population and housing in that the amount of development proposed is within the range of development analyzed in the Hayward General Plan.
13. The project will not result in a significant impact to public services in that development is at least as intensive as that proposed was analyzed in the Hayward General Plan EIR and found to have less-than-significant impacts.
14. The project will not result in significant impacts to traffic since it would not generate sufficient traffic to cause nearby intersections to operate at an unacceptable level of service.

IV. PERSON WHO PREPARED INITIAL STUDY:



Linda Ajello, AICP, Associate Planner

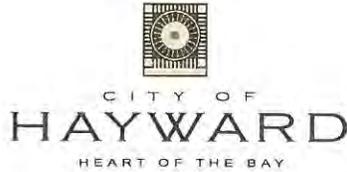
Dated: November 7, 2014

V. COPY OF ENVIRONMENTAL CHECKLIST IS ATTACHED

For additional information, please contact the City of Hayward, Planning Division, 777 B Street, Hayward, CA 94541-5007, telephone (510) 583-4200

DISTRIBUTION/POSTING

- Provide copies to all organizations and individuals requesting it in writing.
- Provide a copy to the Alameda County Clerk's Office.
- Reference in all public hearing notices to be distributed 20 days in advance of initial public hearing and/or published once in Daily Review 20 days prior to hearing.
- Project file.
- Post immediately upon receipt at the City Clerk's Office, the Main City Hall bulletin board, and in all City library branches, and do not remove until the date after the public hearing.



**DEPARTMENT OF DEVELOPMENT SERVICES
Planning Division**

INITIAL STUDY CHECKLIST

Project Title: Sequoia Grove Residential Development

Lead agency name/address: City of Hayward / 777 B Street, Hayward

Contact person: Linda Ajello, AICP, Associate Planner

Project location: 123-197 A Street; Assessor's Parcel Number: 431-0016-088-03

Project sponsors:

Name and Address: Natalie Monk, Habitat for Humanity East Bay/Silicon Valley, 2619 Broadway, Oakland, CA 94612

Existing General Plan Designation: Medium Density Residential

Existing Zoning: RM/SD4 (Medium Density Residential/Special Design Overlay District)

Project description: The project proposes a subdivision of an approximately .73 acre vacant site in order to develop 10 townhomes and common open space that would provide access from existing public streets.

Approval of the project would require a change to the zoning designation for the site, from *Medium Density Residential (RM)* to *Planned Development (PD)*.

Surrounding land uses and setting: The project site is located within an already developed area just west of downtown Hayward. The project site is comprised of a single parcel, which previously contained residential development. The project site is surrounded by residential uses to the south, residential and commercial uses to the north and east and the Amtrak Station to the west.

Other public agencies whose approval is required: None

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources | <input checked="" type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Geology /Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology / Water Quality |
| <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities / Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.


 Linda Ajello, AICP, Associate Planner

11.07.14
 Date

EVALUATION OF ENVIRONMENTAL IMPACTS:

ENVIRONMENTAL ISSUES:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
I. AESTHETICS -- Would the project:				
a) Have a substantial adverse effect on a scenic vista? Comment <i>There are no designated scenic vistas in the vicinity of the project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? Comment <i>The project is not located within a state scenic highway; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings? Comment <i>The existing site is vacant and was previously developed with single family homes. The proposed townhomes will be consistent with surrounding residential development and will add to the visual character of the site; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? Comment <i>The new residential units will add some additional light to this area, but the amount is considered less than significant given the surrounding developed area; no mitigation is required.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

II. AGRICULTURE AND FOREST RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state’s inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. -- Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? Comment <i>The project does not involve any Prime Farmland, Unique Farmland or Farmland of Statewide Importance; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? Comment <i>The project site is not zoned for agricultural uses nor under a Williamson Act contract; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))? Comment <i>The project does not involve the rezoning of forest land or timberland; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use? Comment <i>The project does not involve the loss of forest land or involve conversion of forest land; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use? Comment <i>The project does not involve changes to the environment that could result in conversion of Farmland or forest land; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
III. AIR QUALITY -- Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:				
a) Conflict with or obstruct implementation of the applicable air quality plan? Comment <i>The project is a residential in-fill project located near public transit and will not conflict with the goals of the air quality plan; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? Comment <i>The Bay Area Air Quality Management District (BAAQMD) has established screening criteria as part of their CEQA</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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guidance to assist in determining if a proposed project could result in potentially significant air quality impacts. Based on the District's criteria, the proposed project of 10 new townhomes screens below what would require additional evaluation; thus the proposed project and impacts caused by construction activities will not violate any air quality standard and the impact is less than significant. However, implementation of the following measures for the Project is recommended to reduce fugitive dust and exhaust emissions:

Mitigation Measure 1¹: The Project shall adhere to the following Bay Area Air Quality Management District (BAAQMD) "Basic Construction Mitigation Measures".

- i) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- ii) All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- iii) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- iv) All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- v) Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- vi) All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.

¹ BAAQMD's recommendation to require, "All vehicle speeds on unpaved roads shall be limited to 15 mph" has not been included with Air-1 since the Project would not result in unpaved roads or surfaces where vehicles could exceed 15 mph.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
vii) <i>Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.</i>				
c) <i>Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? Comment The proposed project meets the screening criteria in Table 3-1 of the Air District's CEQA Guidelines; thus, it can be determined that the project would result in a less-than-significant cumulative impact to air quality from criteria air pollutants and precursor emissions.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Expose sensitive receptors to substantial pollutant concentrations? Comment The project is an in-fill development located in an already developed area that will not involve exposing sensitive receptors to substantial pollutant concentrations; thus the impact is less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Create objectionable odors affecting a substantial number of people? Comment The project is an in-fill residential development that will not create any objectionable odors; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

IV. BIOLOGICAL RESOURCES -- Would the project:

a) <i>Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? Comment The General Plan EIR notes that the City's urban area (which encompasses the project area), is composed of common upland habitat which does not provide suitable habitat conditions for special-status animal species. The General Plan EIR also notes that special-status plant species are found along the bay front and within the Hayward hills area, neither of which includes the project area. Since the project area is an in-fill site that was previously developed and disturbed, no significant impact related to special-status species is anticipated as a result of the project.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? Comment <i>The project site is an in-fill site that was previously developed and does not contain any riparian habitat or known sensitive natural communities; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? Comment <i>The project site, located in an urban setting, contains no wetlands; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? Comment <i>The project site is an in-fill site that was previously developed with urban uses that preclude movement of fish and wildlife species. No impacts related to wildlife movement or corridors are anticipated as a result of the project.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? Comment <i>The project site contains mature trees that will be impacted and the applicant proposes removal of 8 trees and preservation of 9 trees. To be preserved are five Sequoia trees onsite and 4 offsite trees, including a Coast Live Oak, Willow, Plum and Avocado tree. Of the trees to be removed, 3 were rated in poor condition, 3 in fair condition, and 2 were rated in good condition. Traverso Tree Service prepared an arborist report and tree appraisal dated August 6, 2012 which identified 17 protected trees (13 on-site, 4 off-site) per the City's Tree Preservation Ordinance, 8 of which are proposed to be removed. Traverso Tree Service prepared a Tree Protection Plan, dated August 6, 2012, identifying methods for tree preservation to mitigate for the potential impacts. The following recommendations will reduce impacts to a level of insignificance.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Mitigation Measure 2: *The applicant shall follow all recommendations in the tree evaluation report including protection of all trees adjacent to the project site to be preserved during all phases of the development:*

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Pre-construction

- i) *Hand dig or us an airspade to trench adjacent to redwoods #13-14 along the proposed perimeter footing for the driveway where within 12' of the trees. The trenching shall avoid any damage to roots over 2" in diameter and shall extend down to the depth of the proposed footing. Design adjustments, such as bridging the roots, to avoid damage to roots over 2" will be necessary to avoid significant damage to the trees.*
- ii) *Establish a Tree Protection Zone (TPZ) around trees #11-15, 23, 24 and 26 as indicated on the Tree Inventory Map using 6' chain-link fencing attached to metal stakes driven firmly into the ground.*
- iii) *Apply a 4" layer of chipper mulch throughout the tree protection zones.*
- iv) *Irrigate trees to a depth of 14" throughout their driplines where extending over the project property 2 weeks prior to grading.*

Grading and Construction Phase

- v) *Keep all equipment, debris, supplies, trenching, grading, stockpiling, or any other encroachments outside of the TPZ. Any desired adjustment or encroachment within the TPZ shall require consult with an arborist.*
- vi) *All pruning shall be performed by an ISA certified arborists or certified tree workers under the project arborist's supervision. Pruning to comply with all ISA and ANSI pruning standards and best management practices.*
- vii) *Trees #11-15, 24 and 26 shall be irrigated weekly to a depth of 12-14" throughout all accessible driplines, and at a minimum the entire TPZ.*
- viii) *Since trees #23, 24, 25 and 2 are all off site trees that hang over the project, written permission from the tree owners will need to be granted prior to accessing their canopies.*

f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

Comment *The project site is not located in an area covered by an adopted Habitat Conservation Plan or Natural Community Conservation Plan; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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V. CULTURAL RESOURCES -- Would the project:

a) Cause a substantial adverse change in the significance of a historical resource as defined in § 15064.5? **Comment:** *There are no historical resources associated with the improvements on the site or the affected parcels. Moreover, the project site was previously developed with structures. Due to the prior disturbance, there is a very low likelihood of impacting archeological or paleontological resources or disturbing human remains. In addition, the surrounding properties, which are fully developed, have no historical significance. Should any disturbance occur below previously developed areas, a remote possibility exists that historical or cultural resources might be discovered. If that should occur, standard measures should be taken to stop all work adjacent to the find and contact the City of Hayward Development Services Department for ways to preserve and record the uncovered materials. If standard procedures are followed in the event cultural/historical resources are uncovered at the project site, the proposed impact is less than significant.*

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b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5? **Comment** *No known archaeological resources exist on the currently developed site. Due to prior disturbance, there is a very low likelihood of impacting archeological resources. Should any disturbance occur below develop areas, a remote possibility exists that historical or cultural resources might be discovered. If that should occur, standard measures should be taken to stop all work adjacent to the find and contact the City of Hayward Development Services Department for ways to preserve and record the uncovered materials. If standard procedures are followed in the event cultural/historical resources are uncovered at the project site, the proposed impact is less than significant.*

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c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? **Comment** *No known paleontological resources exist on the site, which was previously developed. Due to extensive prior disturbance, there is a very low likelihood of impacting paleontological resources. There are no unique geological features on or near the site; thus, no impact.*

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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Disturb any human remains, including those interred outside of formal cemeteries? Comment: <i>There are no known human remains nor cemeteries nearby the project site; however, standard procedures for grading operations would be followed during development, which require that if any such remains or resources are discovered, grading operations are halted and the resources/remains are evaluated by a qualified professional and, if necessary, mitigation plans are formulated and implemented. These standard measures would be conditions of approval should the project be approved.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

VI. GEOLOGY AND SOILS -- Would the project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. **Comment:** *Based upon a Geotechnical Investigation Report prepared by Rockridge Geotechnical dated July 19, 2012, the project site is not within the State-designated Alquist-Priolo Earthquake Fault Zone. Impacts related to fault rupture are not anticipated, thus no impact.*

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ii) Strong seismic ground shaking? **Comment:** *An earthquake of moderate to high magnitude could cause considerable ground shaking at the site; however, all structures will be designed using sound engineering judgment and adhere to the latest California Building Code (CBC) requirements, thus the impact is considered less than significant.*

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iii) Seismic-related ground failure, including liquefaction? **Comment:** *The site is located within a State-designated Liquefaction Hazard Zone (Geotechnical Investigation, Rockridge Geotechnical dated July 19, 2012) and could potentially be susceptible to liquefaction. Based on the analysis, the Investigation concluded that the potential for surface manifestation of liquefaction, such as ground fissures or sand boils, to be low, thus the impact is considered less than significant.*

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iv) Landslides? **Comment:** *Due to the relatively flat site topography, landslides are not likely; thus*

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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<i>no impact.</i>				
b) Result in substantial soil erosion or the loss of topsoil? Comment: <i>Although the project would result in an increase in impervious surface, the project site is relatively flat and erosion control measures that are typically required for such projects, including but not limited to gravelling construction entrances and protecting drain inlets will address such impacts. Therefore, the potential for substantial erosion or loss of topsoil is considered less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? Comment: <i>The site is relatively flat and such impacts are not anticipated, thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? Comment: <i>According to the Geotechnical Investigation prepared by Rockridge Geotechnical dated July 19, 2012, moderately to highly expansive clay soils were observed on the near-surface of the project site. The Geotechnical Investigation recommends specific criteria be followed for all site preparation and grading, foundation support, flatwork and pavements, retaining walls, seismic design, and other geotechnical considerations and concludes with a recommendation that they be retained to: 1) review project plans and specifications to verify that they conform to the intent of their recommendations; 2) to be present to provide on-site observation during site preparation, placement, compaction fill, and installation of building foundation. Provided the recommendations in the geotechnical investigation report are followed, the impacts of the expansive soils will be mitigated to a less than significant level.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mitigation Measure 3: <i>All measures as recommended by the project geotechnical consultant shall be implemented. Such measures will reduce the significance of impacts related to expansive soils to a level of insignificance.</i>				
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water? Comment: <i>The project will be connected to an existing sewer system with sufficient capacity and does not involve septic</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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tanks or other alternative wastewater; thus, no impact.

VII. GREENHOUSE GAS EMISSIONS --

Would the project:

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? **Comment:** *The Bay Area Air Quality Management District (BAAQMD) has established screening criteria as part of their CEQA guidance to assist in determining if a proposed project could result in operational-related impacts to Greenhouse Gases. The project involves the construction of 10 new residential townhomes. General condo/townhouse projects with less than 78 dwelling units have been identified by the BAAQMD Air Quality Guidelines as having emissions less than 1,100 metric tons of CO₂e per year which is below the threshold recommended by the Air District for evaluation of greenhouse gas emissions for new land use projects; thus no impact.*

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b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases? **Comment:** *As discussed in VII(a) above, the project will not exceed the threshold for operational greenhouse gases. In addition, the project proposes incorporating such amenities as solar panels on all of the residential units; thus no impact.*

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VIII. HAZARDS AND HAZARDOUS MATERIALS -- Would the project:

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? **Comment:** *The project is an in-fill residential project that does not involve the transport or use of hazardous materials; thus, no impact.*

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b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? **Comment:** *A Phase I assessment was conducted on the site by Environ, dated October 2011. The assessment revealed no evidence of "Recognized Environmental Conditions", as defined in the ASTM standards; thus no impact.*

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c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or

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proposed school? **Comment:** *The project will not emit hazardous materials, substances, or waste; thus no impact.*

d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? **Comment:** *See VIII(b) above. The project site is not listed as a hazardous materials site; thus, no impact.*

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? **Comment:** *The project is not located within an airport land use plan area; thus, no impact.*

f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? **Comment:** *The site is not located within the vicinity of a private air strip and therefore, no such impacts would occur as a result of the project.*

g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? **Comment:** *The project site is bounded by two publically maintained roads including A Street and Walnut Street within an urbanized area and will not interfere with an adopted emergency response plans or evacuation plan; thus, no impact..*

h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? **Comment:** *The project site is located within a suburban setting, away from areas with wildland fire potential. Therefore, no such impacts related to wildland fires are anticipated.*

IX. HYDROLOGY AND WATER QUALITY

-- Would the project:

a) Violate any water quality standards or waste discharge requirements? **Comment:** *The project will comply with all water quality and wastewater discharge requirements of the city; thus, no impact.*

Potentially Significant Impact Less Than Significant with Mitigation Incorporated Less Than Significant Impact No Impact

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?</p> <p>Comment <i>The project will be connected to the existing water supply and will not involve the use of water wells and will not deplete groundwater supplies or interfere with groundwater recharge; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site? Comment <i>The project site is an infill site. All drainage from the site is required to be treated before it enters the storm drain system and managed such that post-development run-off rates do not exceed pre-development run-off rates; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site? Comment <i>The project site is an infill site. All drainage from the site is required to be treated before it enters the storm drain system and managed such that post-development run-off rates do not exceed pre-development run-off rates; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? Comment <i>The project site is an infill site. All drainage from the site is required to be treated before it enters the storm drain system and there is sufficient capacity to handle any drainage from the property; thus, the impact is considered less than significant.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>f) Otherwise substantially degrade water quality? Comment <i>The project site is an infill site. All drainage from the site is required to be treated before it enters the storm drain system; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? Comment</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<i>According to FEMA Flood Insurance Rate Maps, this site is not within a 100-year flood hazard area; thus no impact.</i>				
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows? Comment <i>According to FEMA Flood Insurance Rate Maps, this site is not within a 100-year flood hazard are; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? Comment <i>According to FEMA Flood Insurance Rate Maps, this site is not within a 100-year flood hazard area; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow? Comment <i>The project site is not located within a 100-year flood hazard area and is located approximately 75 feet above mean sea level; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
X. LAND USE AND PLANNING -- Would the project:				
a) Physically divide an established community? Comment: <i>The proposed project is in a developed suburban setting and would not divide an established community; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? Comment <i>The project involves construction of 10 new residential townhomes and is consistent with the designated General Plan density. The project does include a request to modify the zoning designation; however, the Planned Development designation is to allow for flexibility in the development standards, not to accommodate additional density not anticipated by the General Plan, thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural community conservation plan? Comment <i>The project site is not covered by any habitat conservation plan or natural community conservation plan; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

XI. MINERAL RESOURCES -- Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? Comment: <i>There are no known mineral resources on the project site; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? Comment: <i>There are no known mineral resources on the project site; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
XII. NOISE -- Would the project result in:				
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? Comment: <i>The project is a residential development and will not involve an increase in the ambient noise levels above standards established in the General Plan; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels? Comment: <i>No significant vibration impacts are anticipated for the project site; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? Comment: <i>The project is a residential development and will not involve an increase in the ambient noise levels in the area; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? Comment: <i>Existing residential development will experience a slight increase in ambient noise levels during the construction of the proposed project. Construction is limited to the allowable hours per the City's Noise Ordinance; thus the impact is considered less-than-significant and no mitigation is required.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? Comment: <i>The project is not located within</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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an airport land use plan area; thus, no impact.

f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? **Comment:** *The project is not located within the vicinity of a private air strip; thus, no impact*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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XIII. POPULATION AND HOUSING --

Would the project:

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? **Comment:** *The project involves the construction of 10 new residential townhomes, however, the residential development is consistent with the density established by the City's General Plan; thus, no impact.*

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b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? **Comment:** *The project involves the construction of 10 residential townhomes on a vacant site and will not result in the displacement of existing housing; thus, no impact.*

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c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? **Comment:** *The project involves the construction of 10 residential townhomes on a vacant site and will not result in the displacement of people or existing housing; thus, no impact*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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XIV. PUBLIC SERVICES --

a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Fire protection? **Comment:** *No such facilities are required and therefore, no such impacts are expected to occur.*

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Police protection? **Comment:** *No such facilities are required and therefore, no such impacts are expected to occur.*

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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Schools? Comment: <i>The project site is within the Burbank Elementary School, Winton Middle School and Hayward High School attendance areas of the Hayward Unified School District. The developer will be required to pay school impact mitigation fees, which, per State law, is considered full mitigation, thus the impact is considered less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Parks? Comment: <i>The project proponent would be required to pay park dedication in-lieu fees. Such measures would reduce such impacts to levels of insignificance.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other public facilities? Comment: <i>Approval of the project may impact long-term maintenance of roads, streetlights and other public facilities; however, the project will be conditioned to become part of the City's Communities Facilities District; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

XV. RECREATION --

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? Comment: <i>Each new residential townhome will have private open space and access to common open space within the development. The development is also located approximately 250 feet north of Cannery Park and future residents will be able to utilize this facility. In addition, the developer will be required to pay applicable park in-lieu fees; thus the impact is considered less-than-significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? Comment: <i>Each new single family home will have private open space and access to common open space within the development. The development is also located approximately 250 feet north of Cannery Park and future residents will be able to utilize this facility. In addition, the developer will be required to pay applicable park in-lieu fees; thus the impact is considered less-than-significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

XVI. TRANSPORTATION/TRAFFIC --

Would the project:

a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit? Comment: <i>The project will not conflict with any plan regarding effective performance of the circulation system. The project is a residential project located near multiple public transportation options including BART, AC Transit and the Amtrak; thus, no impact.</i>				
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways Comment: <i>No level of service will be impacted by the construction of the additional residential units on an existing in-fill site; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that result in substantial safety risks? Comment: <i>The project involves no change to air traffic patterns; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? Comment: <i>The project has been designed to meet all City requirements, including site distance and will not increase any hazards; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in inadequate emergency access? Comment: <i>The project is on an in-fill site completely accessible and will not result in inadequate emergency access; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities? Comment: <i>The project does not involve any conflicts or changes to policies, plans or programs related to public transit, bicycle or pedestrian facilities; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

XVII. UTILITIES AND SERVICE SYSTEMS

-- Would the project:

a) Exceed wastewater treatment requirements of	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
the applicable Regional Water Quality Control Board? Comment <i>The project will not exceed wastewater treatment requirements; thus no impact.</i>				
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? Comment <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? Comment <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? Comment <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project' s projected demand in addition to the provider' s existing commitments? Comment <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project' s solid waste disposal needs? Comment <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste? Comment <i>There is sufficient capacity to accommodate the proposed project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE --

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>animal or eliminate important examples of the major periods of California history or prehistory? <u>Comment:</u> <i>The project will not have any impacts on wildlife or fish habitat nor eliminate a plant or animal community; thus, no impact.</i></p>				
<p>b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? <u>Comment:</u> <i>The proposed 10-lot development is consistent with the density of development identified in the City's General Plan; therefore, no such impacts are anticipated.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? <u>Comment:</u> <i>The project is consistent with the City of Hayward General Plan, which is a long-range document that addresses desired goals and future development for the City of Hayward. Since the project is consistent with the adopted plan, it is therefore not expected to cause substantial adverse effects on human beings either directly or indirectly; thus no impact is anticipated.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sequoia Grove

Mitigation Monitoring and Reporting Program

Zone Change Application No. PL-2013-0290 and Vesting Tentative Tract
Map Application No. PL-2013-0291 (8104);
Natalie Monk, Habitat for Humanity East Bay/Silicon Valley (Applicant)
City of Hayward (Owner)

November 7, 2014

Mitigation 1

Significant environmental Impact:

Based on the Bay Area Air Quality Management District's (BAAQMD) established screening criteria for potentially significant air quality impacts, construction of the proposed project would not violate any air quality standards. However, implementation of BAAQMD "Basic Construction Mitigation Measures" are recommended, as follows:

Mitigation Measure 1¹

The Project shall adhere to the following Bay Area Air Quality Management District (BAAQMD) "Basic Construction Mitigation Measures".

- i) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- ii) All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- iii) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- iv) All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- v) Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]).

¹ BAAQMD's recommendation to require, "All vehicle speeds on unpaved roads shall be limited to 15 mph" has not been included with Air-1 since the Project would not result in unpaved roads or surfaces where vehicles could exceed 15 mph.

Clear signage shall be provided for construction workers at all access points.

- vi) All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- vii) Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Implementation Responsibility: Project developer

Monitoring Responsibility: City of Hayward Planning and Building Divisions

Timing: During project construction

Mitigation 2

Significant environmental Impact:

The project site contains mature trees that will be impacted and the applicant proposes removal of 8 trees to accommodate 10 new townhomes. Preservation and/or protection of trees on adjacent properties are suggested as part of the project. Traverso Tree Service prepared an arborist report and tree appraisal dated August 6, 2012 identifying methods for tree preservation and tree replacement to mitigate for the potential impacts. The following requirements will reduce impacts to a level of insignificance.

Mitigation Measure:

The applicant shall follow all recommendations in the tree evaluation report including protection of all trees adjacent to the project site to be preserved during all phases of the development:

Pre-construction

- i) Hand dig or use an airspade to trench adjacent to redwoods #13-14 along the proposed perimeter footing for the driveway where within 12' of the trees. The trenching shall avoid any damage to roots over 2" in diameter and shall extend down to the depth of the proposed footing. Design adjustments, such as bridging the roots, to avoid damage to roots over 2" will be necessary to avoid significant damage to the trees.
- ii) Establish a Tree Protection Zone (TPZ) around trees #11-15, 23, 24 and 26 as indicated on the Tree Inventory Map using 6' chain-link fencing attached to metal stakes driven firmly into the ground.
- iii) Apply a 4" layer of chipper mulch throughout the tree protection zones.
- iv) Irrigate trees to a depth of 14" throughout their driplines where extending over the project property 2 weeks prior to grading.

Grading and Construction Phase

- v) Keep all equipment, debris, supplies, trenching, grading, stockpiling, or any other encroachments outside of the TPZ. Any desired adjustment or encroachment within the TPZ shall require consult with an arborist.
- vi) All pruning shall be performed by an ISA certified arborists or certified tree workers under the project arborist's supervision. Pruning to comply with all ISA and ANSI pruning standards and best management practices.
- vii) Trees #11-15, 24 and 26 shall be irrigated weekly to a depth of 12-14" throughout all accessible driplines, and at a minimum the entire TPZ.
- viii) Since trees #23, 24, 25 and 2 are all off site trees that hang over the project, written permission from the tree owners will need to be granted prior to accessing their canopies.

Implementation Responsibility: Project developer

Monitoring Responsibility: City of Hayward Planning Division

Timing: Prior to any project construction and during project construction

Mitigation 3

Significant environmental Impact:

According to the Geotechnical Investigation prepared by Rockridge Geotechnical dated July 19, 2012, moderately to highly expansive clay soils were observed on the near-surface of the project site. The Geotechnical Investigation recommends specific criteria be followed for all site preparation and grading, foundation support, flatwork and pavements, retaining walls, seismic design, and other geotechnical considerations and concludes with a recommendation that they be retained to: 1) review project plans and specifications to verify that they conform to the intent of their recommendations; 2) to be present to provide on-site observation during site preparation, placement, compaction fill, and installation of building foundation. Provided the recommendations in the geotechnical investigation report are followed, the impacts of the expansive soils will be mitigated to a less than significant level.

Mitigation Measure:

Prior to issuance of a Building Permit for the project, the applicant shall implement all measures as recommended by the project geotechnical consultant. Such measures will reduce the significance of impacts related to the expansive soils to a level of insignificance.

Implementation Responsibility: Project developer

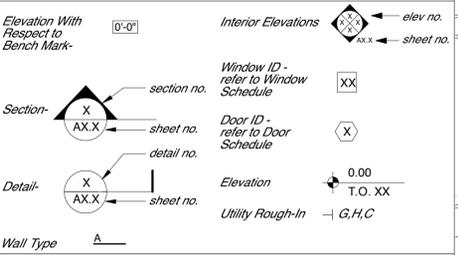
Monitoring Responsibility: City of Hayward Building Division

Timing: Prior issuance of a Building Permit for the project

SHEET INDEX

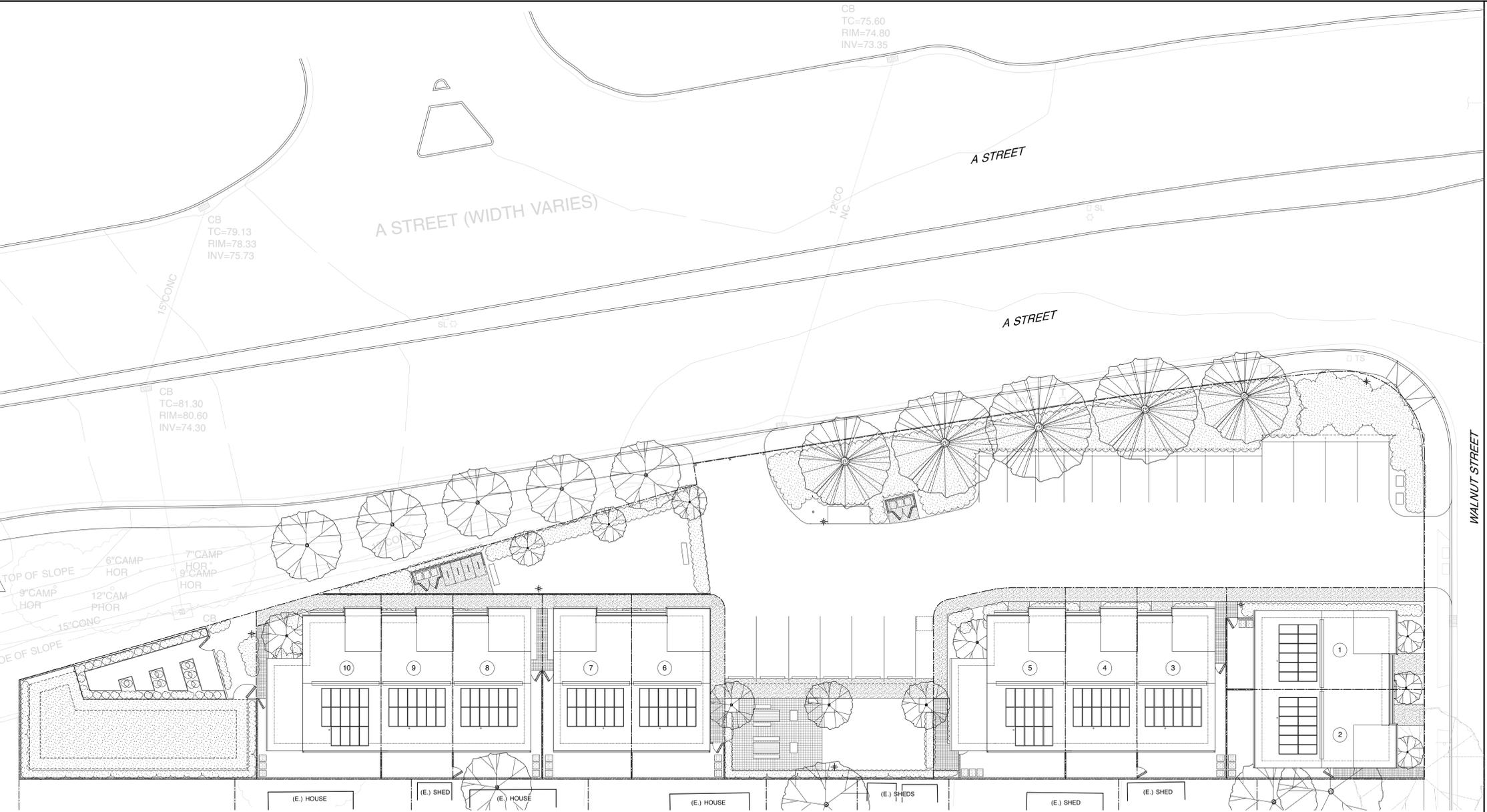
- ARCHITECTURAL:**
- A 0.0 ROOF PLAN, PROJECT SUMMARY, ABBREVIATIONS, SYMBOLS, GENERAL NOTES, MAPS
 - A 0.4 GRAPHIC CODE ANALYSIS & FENCING PLAN
 - A 1.0 SITE PLAN
 - A 1.1 RECYCLE & WASTE PLAN
 - A 2.1 DUPLEX BUILDING PLANS - BUILDINGS 1/2 & 6/7
 - A 2.2 TRIPLEX BUILDING PLANS - BUILDING 3/4/5 & 8/9/10
 - A 2.6A 3-BEDROOM OUTER UNIT PLANS
 - A 2.6B 3-BEDROOM CENTER UNIT PLANS
 - A 2.7 4-BEDROOM UNIT PLANS
 - A 3.1 TRIPLEX BUILDING ELEVATIONS - BUILDINGS 3/4/5 & 8/9/10
 - A 3.2 DUPLEX BUILDING ELEVATIONS - BUILDINGS 1/2 & 6/7
 - A 3.3 STREET ELEVATIONS
 - A 6.0 SITE DETAILS
- CIVIL:**
- TNT-1 TITLE SHEET
 - TNT-2 LOT LAYOUT PLAN
 - TNT-3 PRELIMINARY GRADING PLAN
 - TNT-4 PRELIMINARY UTILITY PLAN
 - TNT-5 SITE SECTIONS
 - TNT-6 STORM WATER CONTROL PLAN SURVEY
- LANDSCAPE:**
- L-PL-1 TREE REMOVAL PLAN
 - L-PL-2 PRELIMINARY LANDSCAPE PLAN
 - L-PL-3 PRELIMINARY PLANT LIST
 - L-PL-4 PRELIMINARY IRRIGATION PLAN

SYMBOLS



GENERAL NOTES

1. All work shall comply with all applicable codes, amendments, and ordinances as adopted by the City of Hayward, including but not limited to the 2013 California Residential Code, 2013 California Building Code and the Hayward Planning Code.
2. Builder should verify all dimensions and conditions at the job site before starting work and notify architect of any discrepancies or errors. Commencement of work by any trade shall constitute agreement that conditions are acceptable for such work.
3. All subcontractors are to compare architectural drawings with the structural drawings as well as any supplemental drawings prior to commencing work. Notify architect & owner of any discrepancies and obtain adequate information prior to commencing work.
4. DO NOT SCALE DRAWINGS. Follow figure dimensions in preference to scaled measurements; details to general drawings. If figures or information are insufficient, inaccurate or inconsistent, notify the architect and obtain adequate information before proceeding with the work.
5. All dimensions to face of stud, as indicated on drawings, u.o.n.
6. Any work interfacing with City property or City services shall be performed per City standards.
7. No work defective in construction or quality or deficient in any requirements of drawings and specifications will be acceptable, despite owner's or architect's failure to discover such defects or deficiencies during construction. Defective work shall be replaced by work conforming with intent of contract. No payment whether partial or final shall be construed as an acceptance of defective work or improper materials.



HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - SITE PLAN
 123 A STREET, APN 431-0016-088-03
 PROJECT NORTH

SCALE: 1" = 16'-0"

HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY, INC.

SEQUOIA GROVE
 123 A STREET, HAYWARD, CA 94541

CIVIL ENGINEER:
 Lea & Braze Engineering Inc.
 2495 Industrial Parkway West
 Hayward CA 94545
 (510) 887-4088

LANDSCAPE ARCHITECT:
 Widelock Landscape Design, ASLA
 4685 Commonwealth Drive
 Oakland, CA 94605
 (510) 638-8660

ABBREVIATIONS AND SYMBOLS

①	Unit Number	Int.	Interior
⊕	Centerline	Max.	Maximum
-SS-	Sanitary or Storm Sewer	Min.	Minimum
-SD-	Storm Drain	(N)	New
A.B.	Anchor Bolt	No.	Number
ABV.	Above	NR	Not rated
AESS	"Architecturally Exposed Structural Steel" per AISC req.	O.C.	On center
		OPP.	Opposite
A.S.F.	Above Sub Floor	O.S.B.	Oriented Strand Board
A.F.C.I.	Arc Fault Circuit Interrupter	Perf.	Perforated
A.F.F.	Above Finish Floor	PLYWD.	Plywood
A.P.	Assessor's Parcel	P.S.D.	Per Structural Drawings
Alum'n	Aluminum	Ptd.	Painted
B.N.	Boundary Nailing	PTDF	Pressure Treated Douglas Fir
Bldg.	Building	Reinf.	Reinforced
Bot.	Bottom	Req'd	Required
K.O.	Clean-out	R.O.	Rough Opening
Comp.	Composition	RWD	Redwood
Conc.	Concrete	R.W.L.	Rain water leader
Cont.	Continuous	S.A.S.M	Self-Adhered Sheet Membrane
(E)	Existing	SIM.	Similar
EQ.	Equal	Spec.	Specifications
Fdn.	Foundation	T.O.	Top of
F.O.	Face of	Typ.	Typical
G.F.C.I.	Ground Fault Circuit Interrupter	U.O.N.	Unless otherwise noted
G.S.M.	Galvanized Sheet Metal	V.I.F.	Verify in field
Galv.	Galvanized	W	With
H.B.	Hose Bib	W.H.	Water Heater
Horiz.	Horizontal	W.S.	Wood Screw

PROJECT SUMMARY

ADDRESS: 123 A Street, Hayward, CA 94541
A.P.N.#: 431-0016-088-03
ZONING: RM/SD4, Medium Density Residential
OCCUPANCY GROUP: R-3, Fire-zone 10 Planned Unit Development (PUD) City of Hayward
OWNER: Habitat for Humanity East Bay/Silicon Valley, Inc.
PROPOSED: (10) Single family residences on individual lots separated by (2) 1-hour party walls, one on each side of property line. Wood frame, 2-story, type V-B construction 100 st/unt required

MIN. PRIVATE OPEN SPACE: 170 sf min. per 2-bedroom unit provided by rear yard 190 sf min. per 3-bedroom unit provided by rear yard 320 sf min. per 4-bedroom unit provided by rear yard 100 st/unt required (1000 sf, 20'-0" min. dimension)

MIN. PUBLIC OPEN SPACE: 3,360 sf total provided by (3) common areas 40'-0" MAXIMUM, pitched roof;

HEIGHT: 26'-4" proposed height to peak

CURRENT ZONING SETBACKS: Front - 20'-0" MINIMUM Back - 20'-0" MINIMUM Side - 5'-0" MINIMUM

PROPOSED SETBACKS: Front - 6'-0" MINIMUM Back - 10'-0" MINIMUM Side - 4'-2" MINIMUM

PARKING: Required: 2.1 parking spaces per unit Provided: 2 spaces per unit. 20 spaces total.

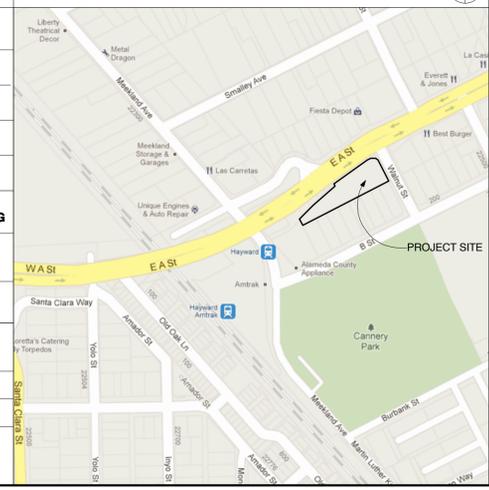
SPRINKLERS: ALL UNITS ARE TO BE FULLY SPRINKLERED (per 2013 CBC) WITH AUDIBLE ALARM BELL INSTALLED ON THE FIRE SPRINKLER SYSTEM RISER

ACCESSIBILITY: Accessibility requirements from 2013 CBC Chapter 11A do not apply to individual single-family homes on separate sites, bounded by property lines. Per CBC 1102A.1 "Each building on a building site shall be considered separately when determining the requirements contained in this chapter." Per 2010 CBC Chapter 2, Definition of Site "A parcel of land bounded by a property line or a designated portion of a public right-of-way."

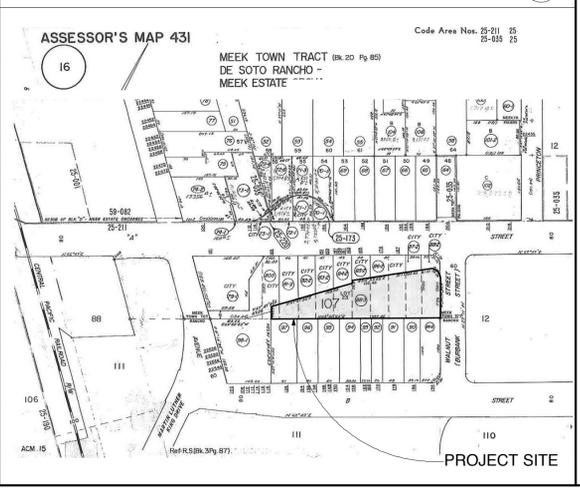
PROJECT DATA

UNIT TYPES	# OF HOMES	FOOTPRINT	GROSS FLOOR AREA / UNIT
3 BEDROOM	8	684 SF	1,341 SF
4 BEDROOM	2	905 SF	1,553 SF
TOTAL	10	7,282 SF	16,214 SF
BUILDING TYPES	QUANTITY	GROSS FLOOR AREA / BUILDING	
A TRIPLEX	(2) BUILDING WITH 4-BEDR. AND 3-BEDR. UNITS	4,235 SF	
B DUPLEX	(2) BUILDINGS WITH (2) 3-BEDR. UNITS EACH	2,682 SF	
PARKING	QUANTITY	DIMENSION	
STANDARD	10	9'-0" X 19'-0"	
COMPACT	10	8'-0" X 15'-0"	

REGIONAL MAP



ASSESSOR'S PARCEL MAP



HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY, INC.
 123 A STREET, HAYWARD, CA 94541
 SEQUOIA GROVE

GHA
 GEOFFREY HOLTON & ASSOCIATES
 1743 Alcatraz Avenue
 Berkeley, CA 94703
 tel: 510.663.9797
 fax: 510.663.1807
 http://www.ghadesign.net



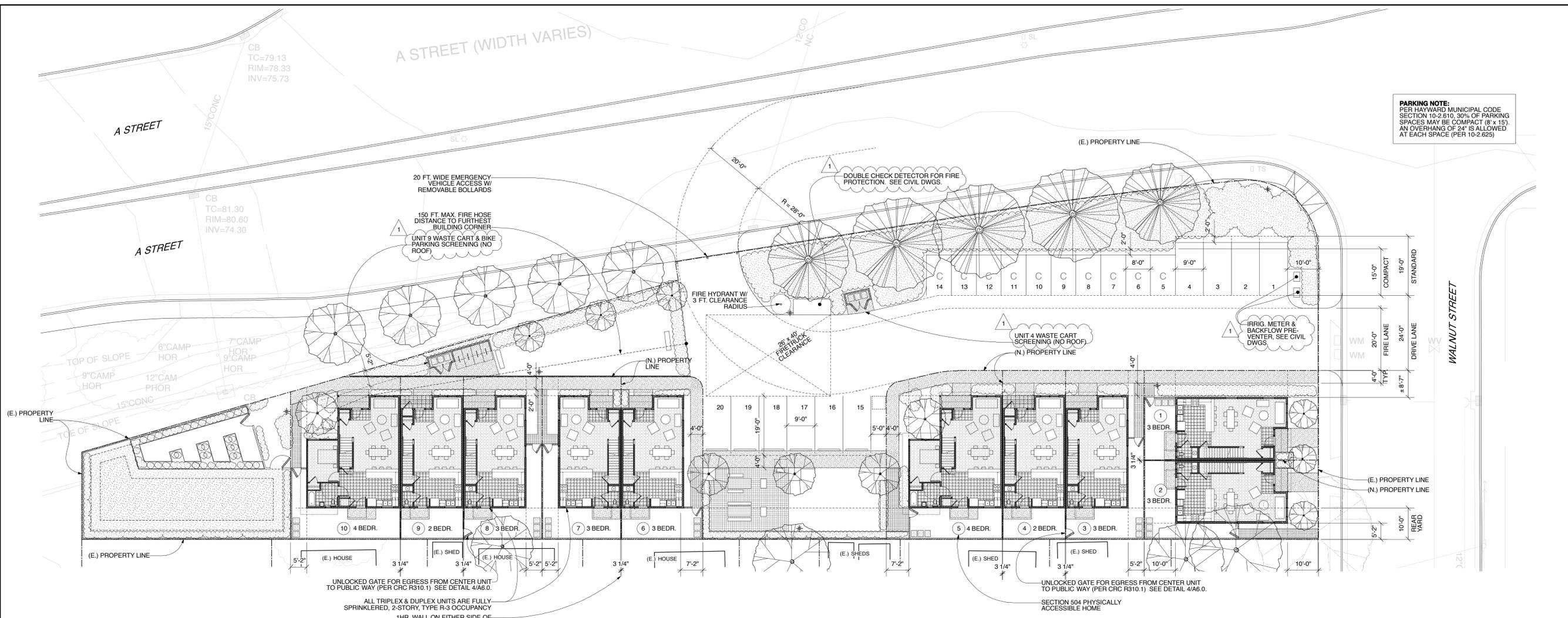
CURRENT ISSUE DATE
 9.12.14

INITIAL SUBMITTAL DATE
 7.30.13

REVISIONS

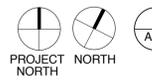
1 9.12.2014 PLANNING RESUBMITTAL

SHEET NO.
A0.0
 ROOF PLAN



PARKING NOTE:
PER HAYWARD MUNICIPAL CODE
SECTION 10-2.610, 30% OF PARKING
SPACES MAY BE COMPACT (8' x 15').
AN OVERHANG OF 24" IS ALLOWED
AT EACH SPACE (PER 10-2.625)

HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - GRAPHIC CODE ANALYSIS



123 A STREET, APN 431-0016-088-03

SCALE: 1" = 16'-0"

- PLAN NOTES & SYMBOLS:**
- STANDARD PARKING SPACE - 9'-0" x 19'-0"
 - COMPACT PARKING SPACE - 8'-0" x 15'-0"
 - PROPOSED MINI-LOT SETBACK LINES
 - U-SHAPED BIKE RACK W/ 3' x 6' CLEARANCE
 - LIGHT POST W/ CONCRETE BASE - SEE SHEET A1.0 FOR CUT SHEET. ALL LIGHTING WILL BE IN ACCORDANCE W/ THE CODE.
1. ALL EXTERIOR DIMENSIONS @ UNITS ARE TO FACE OF FRAMING.
 2. ALL DUPLEX AND TRIPLEX UNITS ARE 2-STORY TYPE R-3 OCCUPANCY
 3. SEE CIVIL SHEETS FOR GRADING PLAN
 4. SEE LANDSCAPE SHEETS FOR PLANTING PLAN
 5. SEE LANDSCAPE SHEETS FOR FENCING DETAILS

HOME CODE ANALYSIS: PER 2013 CALIFORNIA RESIDENTIAL CODE

Accessibility requirements from 2013 CBC Chapter 11A do not apply to individual single-family homes on separate sites, bounded by property lines. Per CBC 1102A.1 "Each building on a building site shall be considered separately when determining the requirements contained in this chapter." Per 2013 CBC Chapter 2, Definition of Site "A parcel of land bounded by a property line or a designated portion of a public right-of-way."

The 2013 CRC will be used for all building code related to the homes.

CRC R302.1 Exterior Walls
Refer to the CRC definition of "fire separation distance" (CRC Ch. 2 Definitions) to distinguish between the interior lot lines and the lot line between two buildings. Per table R302.1(2) the fire resistance rating for walls, projections, and openings can be determined using the min. fire separation distance from the lot line.
I. Relationship to interior lot lines (per R302.1 exception 1):
a. Walls must be greater than 3 ft. to interior lot line to be non-rated
b. Projections (such as eaves or sunshades) must be greater than 3 ft. to the interior lot line in order to not be fire rated or enclosed. No projection may be less than or equal to 2 ft. from the interior lot line. If a projection is between 2-3 ft. from the interior lot line it must be rated.
c. Openings greater than or equal to 3 ft. from the interior lot line are unlimited and don't need to be rated.
II. Relationship to lot line between two buildings (per R302.1 exception 1):
a. Walls perpendicular to the lot line between two buildings do not need to be rated
b. Projections perpendicular to the line between two buildings do not need to be rated or enclosed.
c. Openings perpendicular to the line between two buildings do not need to be rated.

Using the definition of fire separation distance again, unit 5's walls that come close to its own lot line do not need to be rated because the walls, windows, and projections are greater than 3 ft. to the centerline of the street.

CRC R302.2 Townhouses
The definition of townhouse will apply to both the duplex and triplex buildings (per CRC Ch. 2 Definitions.) Therefore a MINIMUM 1-hr. fire resistance rated COMMON wall is adequate between adjacent units as long as this wall does not contain plumbing or mechanical equipment.

CRC R302.2.1 Continuity
Per this section, the common wall must extend up to the underside of the roof.

CRC R302.2.2 Parapets
Per the exception in this section, parapets are not required through the use of a minimum Class C roof covering AND the roof decking (or sheathing) is of non-combustible materials (or approved fire retardant-treated wood) for a distance of 4 ft. on each side of the common wall or walls.
SEE 11/A4.2 FOR UPPER ROOF DETAIL & 4/A6.1 FOR PORCH ROOF DETAIL.

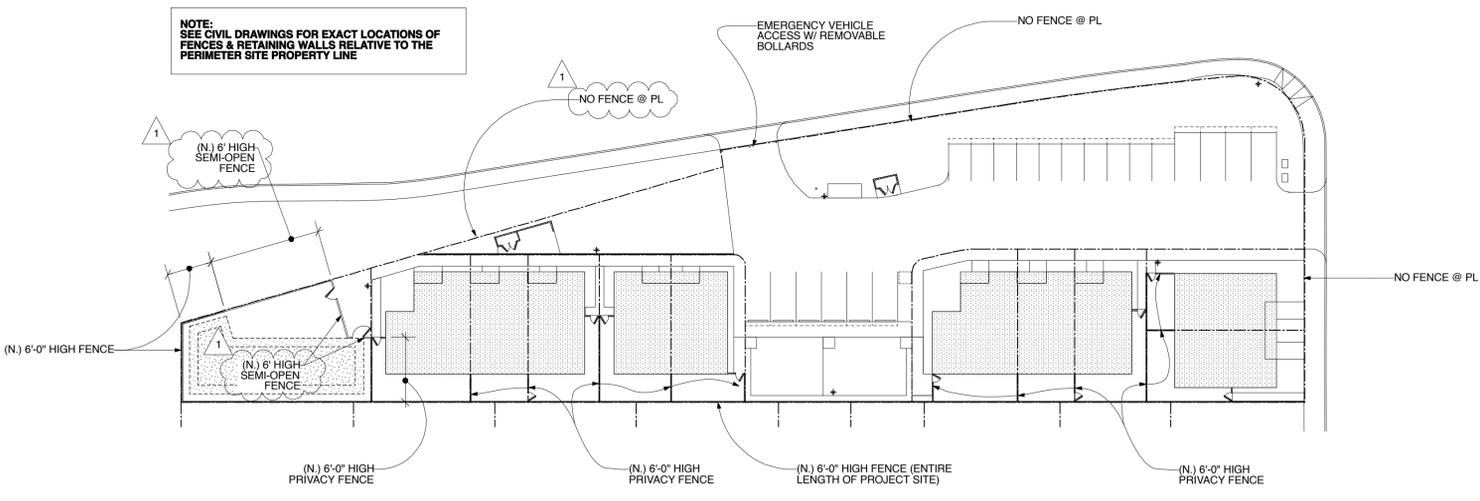
Per #3 in this same section, the common wall must be a min. 1-hr. rated above the level of the porch roof to the underside of the of the higher roof deck. The same is true for the common wall below the porch roof.

CRC R302.2.4 Structural Independence
Per exception 1, we do not need to separate the foundations of 2 units at the common wall.
SEE 6/A6.1 FOR FOUNDATION DETAIL.
Per exception 2, roof structure and wall sheathing may fasten to the common wall
SEE SHEET A4.2 FOR PARTY WALL DETAILS.
Per exception 3, roof coverings do not need to be structurally independent. Asphalt shingles, but not sheathing, can be laced continuously over the top of the common wall.
SEE 11/A4.2 FOR ROOF DETAIL.
Per exception 5, for buildings considered townhomes, these homes may share a common 1 hr. rated wall and therefore do not need to be structurally independent.
HOWEVER, (2) STRUCTURALLY INDEPENDANT 1-HR. RATED WALLS ARE PROVIDED. SEE PARTY WALL DETAILS, A4.2.

CRC R310.1 Emergency escape and rescue required. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.
AN UNLOCKED GATE FROM THE REAR YARDS OF UNITS 4 & 9 IS SHOWN ON THE SITE PLAN, A0.4, A1.0

PER 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
All subcontractors must comply with CALGREEN Mandatory Measures on sheet A0.7.

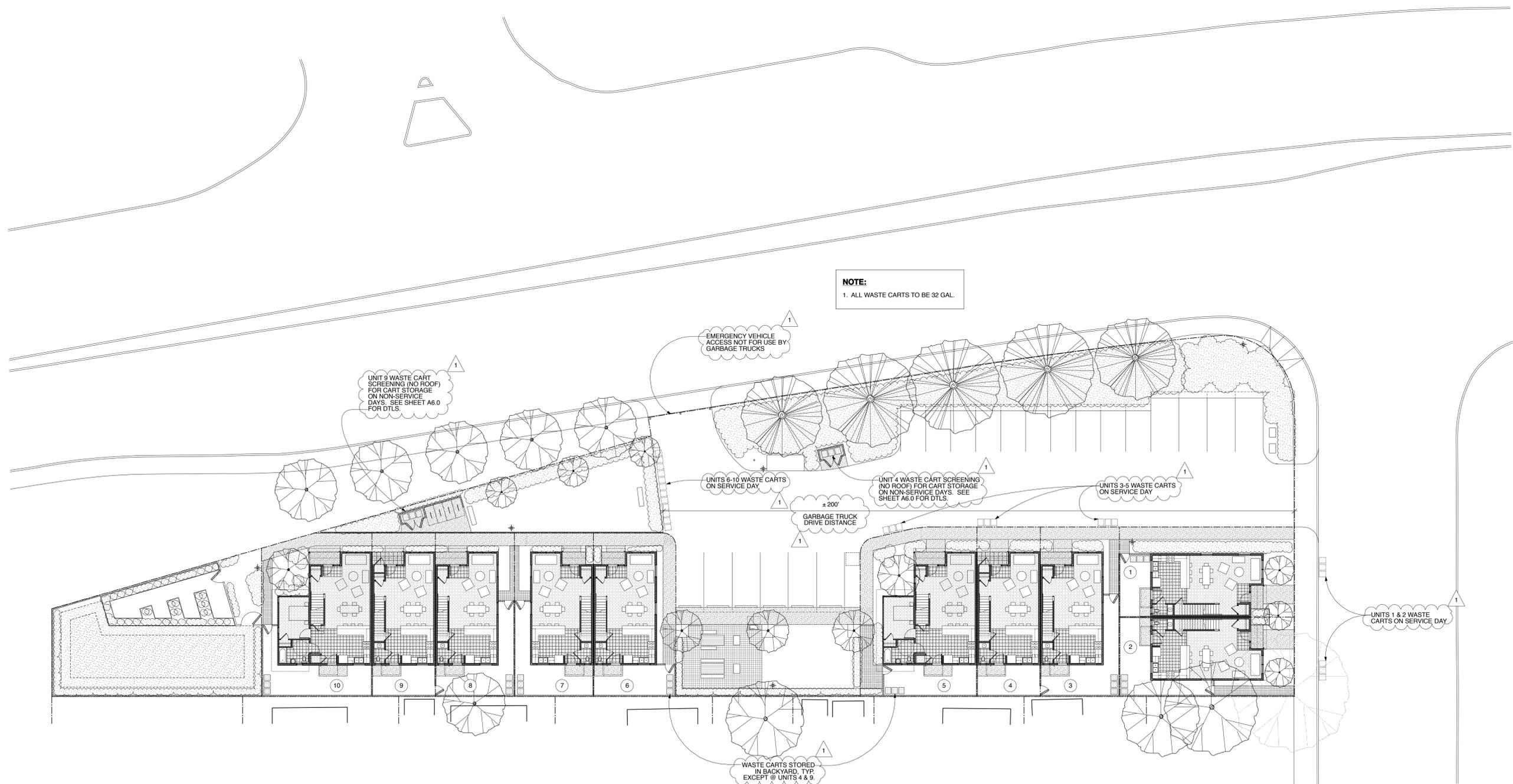
NOTE:
SEE CIVIL DRAWINGS FOR EXACT LOCATIONS OF
FENCES & RETAINING WALLS RELATIVE TO THE
PERIMETER SITE PROPERTY LINE



PROPOSED FENCING PLAN

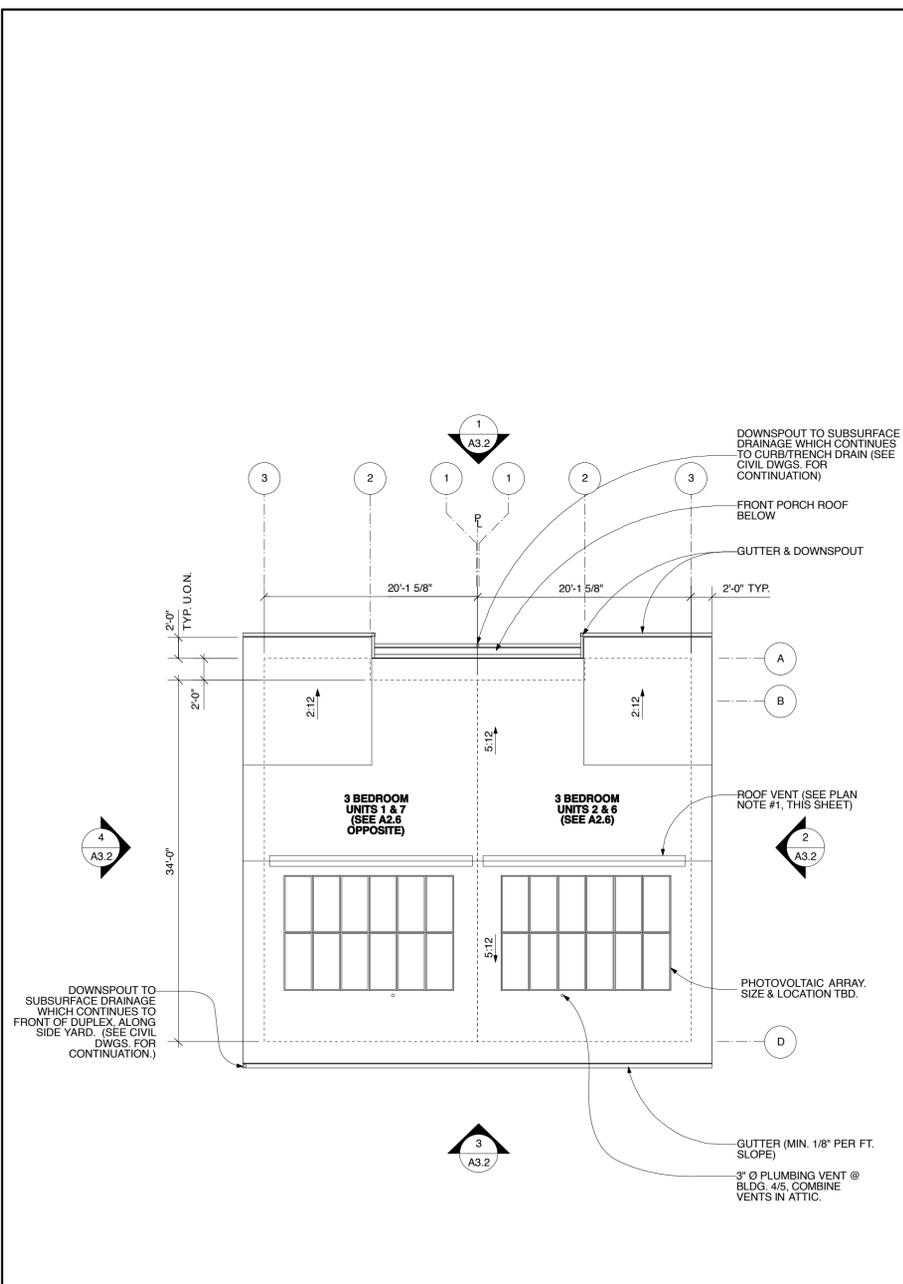
2
A0.4

SCALE: 1" = 30'-0"

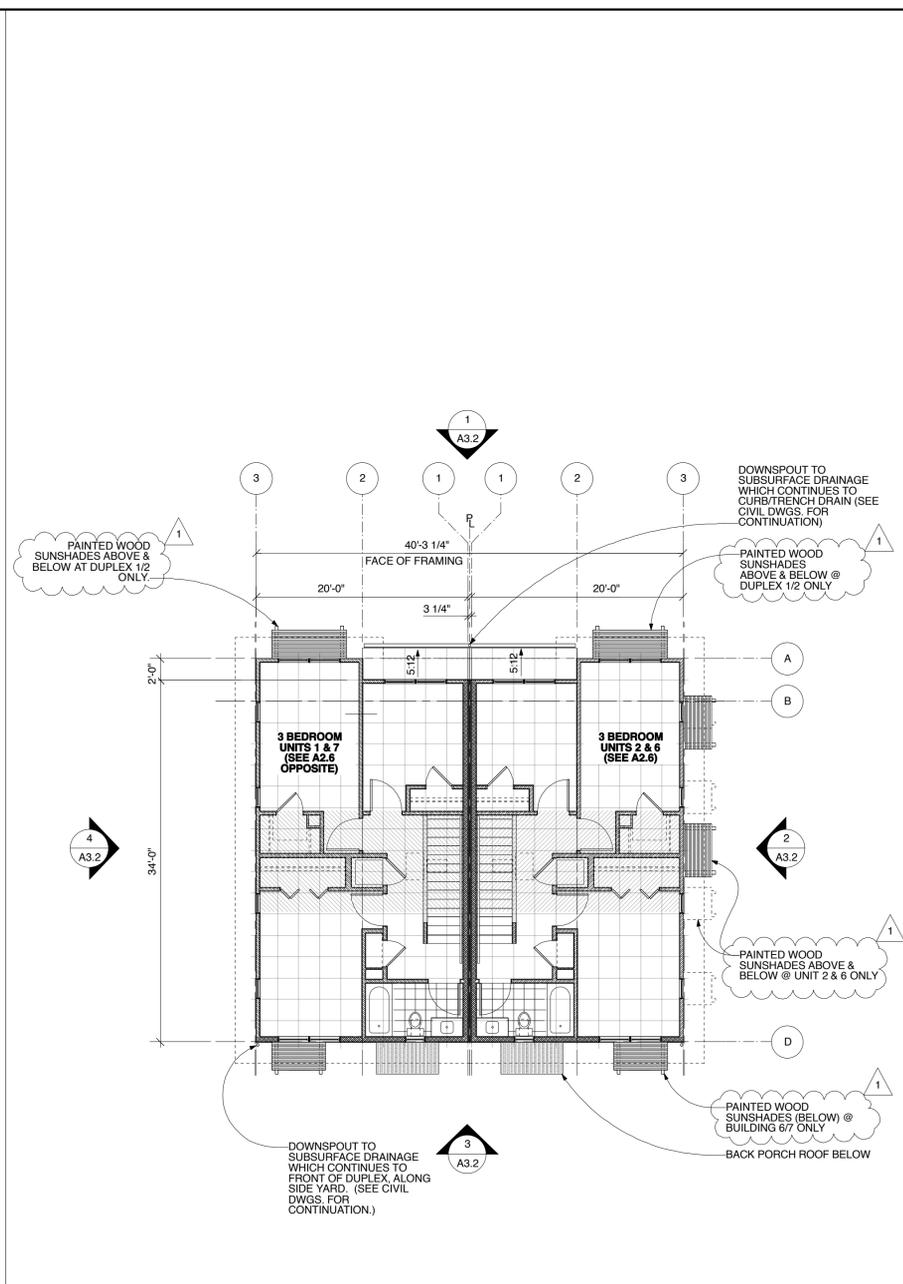


PROJECT NORTH
1 A1.0 HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - SEQUOIA GROVE - RECYCLE & WASTE PLAN
123 A STREET, APN 431-0016-088-03

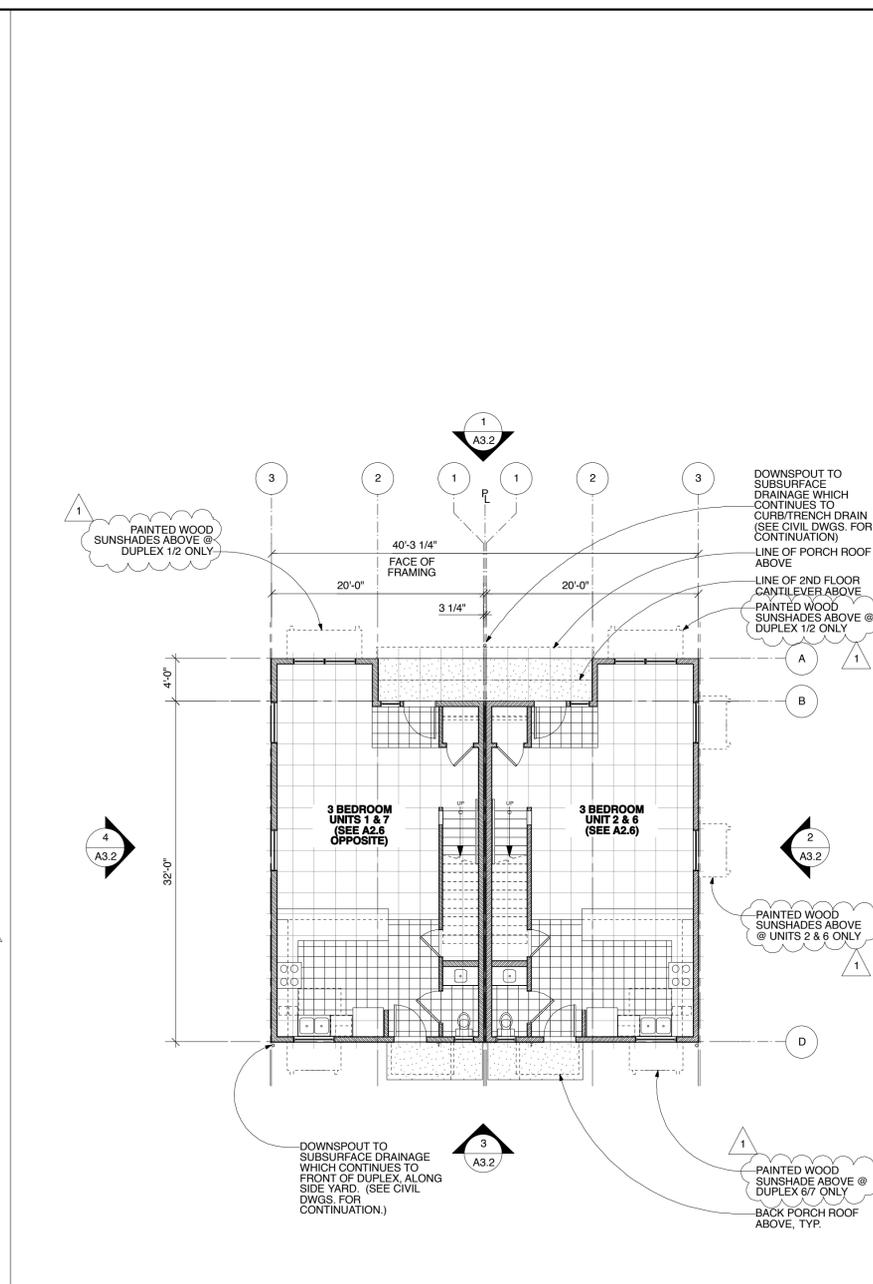
SCALE: 1" = 16'-0"



1 ROOF PLAN - DUPLEX 1/2 & 6/7
SCALE: 1/8" = 1'-0"



2 2ND FLOOR PLAN - DUPLEX 1/2 & 6/7
SCALE: 1/8" = 1'-0"

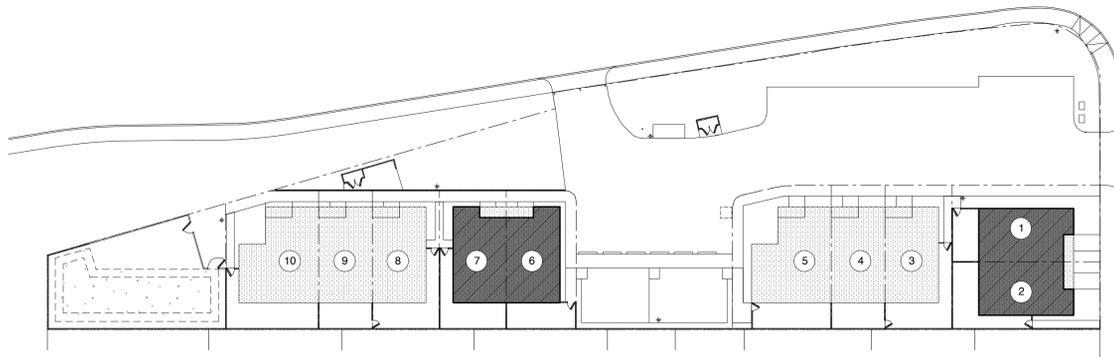


3 1ST FLOOR PLAN - DUPLEX 1/2 & 6/7
SCALE: 1/8" = 1'-0"

PLAN NOTES & SYMBOLS:

PER 2013 CBC SECTION 1203.2, THE NET FREE VENTILATION AREA (NFVA) SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, WITH 50% OF THE REQUIRED VENTILATION AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FT. ABOVE EAVE OR CORNICE VENTS W/ THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

- VENTING AREA OF 3 BEDR. UNIT ATTIC = 705 SF / 300 = 338 SQ. IN. / 2 = 169 SQ. IN. REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF RIDGE VENT @ 12 SQ. IN NFVA / 1 LINEAL FT. = 12 SQ. IN. x 20 FT. = 240 SQ. IN.
LOWER: (3) 2" Ø HOLES (3.14 SQ. IN.) @ 18 TRUSS BAYS = 169 SQ. IN.
- ALL DIMENSIONS ARE MEASURED TO FACE OF FRAMING (F.O.F.), UNLESS OTHERWISE NOTED. (U.O.N.)



4 KEY SITE PLAN
SCALE: 1/32" = 1'-0"

**HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.**
123 A STREET, HAYWARD, CA 94541
SEQUOIA GROVE

GHA
GEOFFREY HOLTON & ASSOCIATES
1743 Alcatraz Avenue
Berkeley, CA 94703
tel: 510.663.9797
fax: 510.663.1807
http://www.ghadesign.net



CURRENT ISSUE DATE
9.12.14
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SHEET NO.
A2.1
DUPLEX BUILDING PLANS

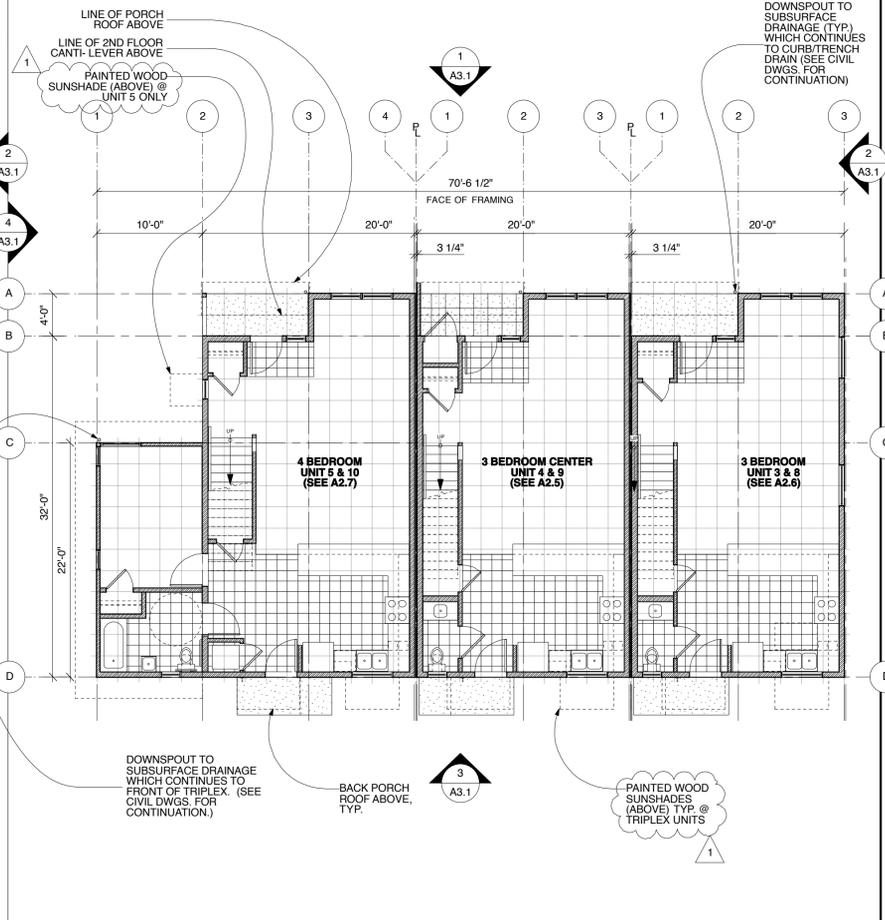
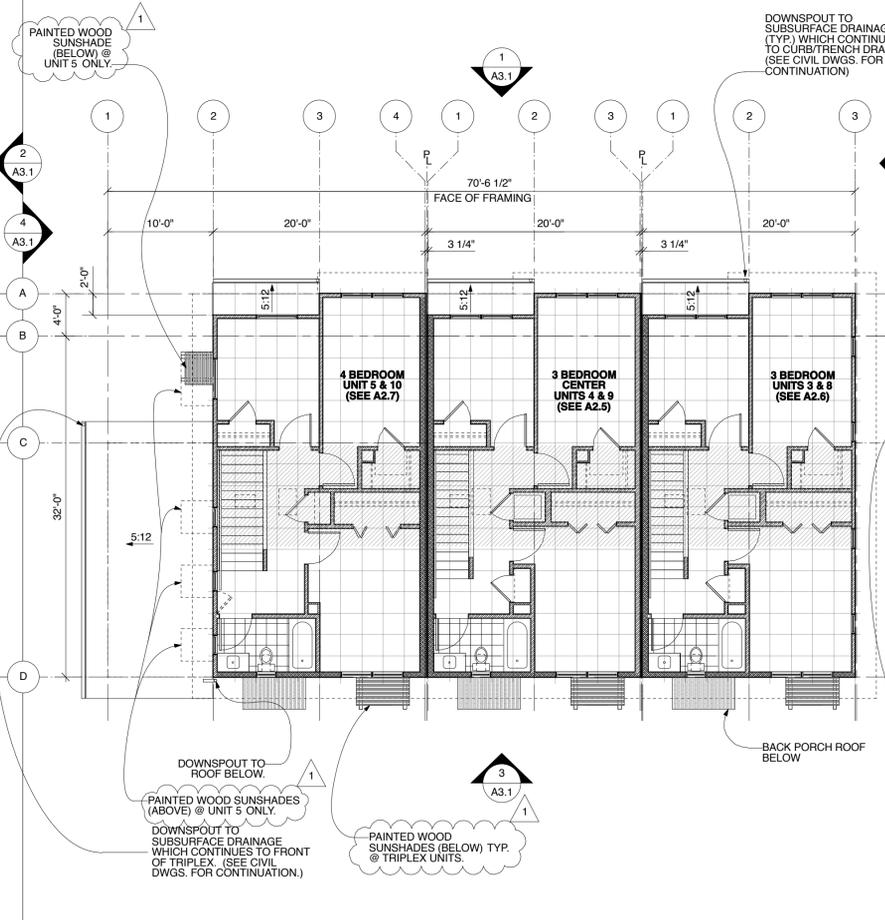
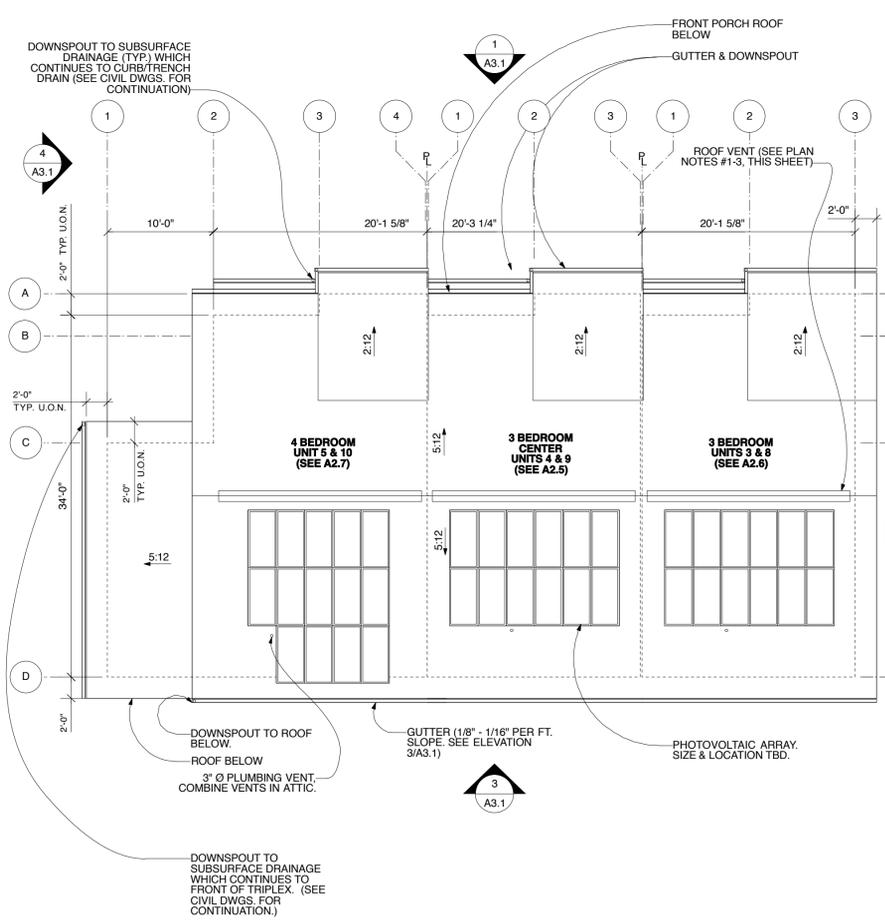


CURRENT ISSUE DATE
9.12.14

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1	9.12.2014 PLANNING RESUBMITTAL
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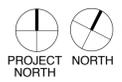
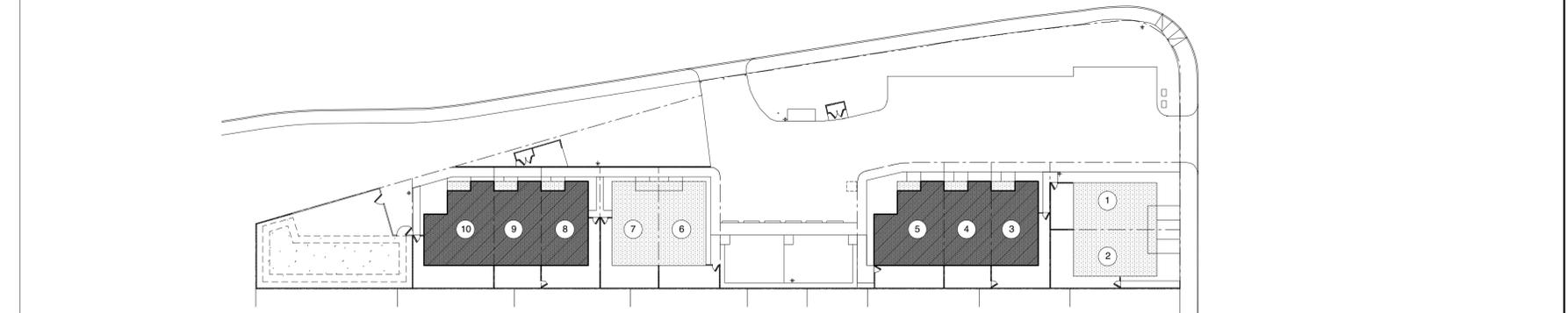


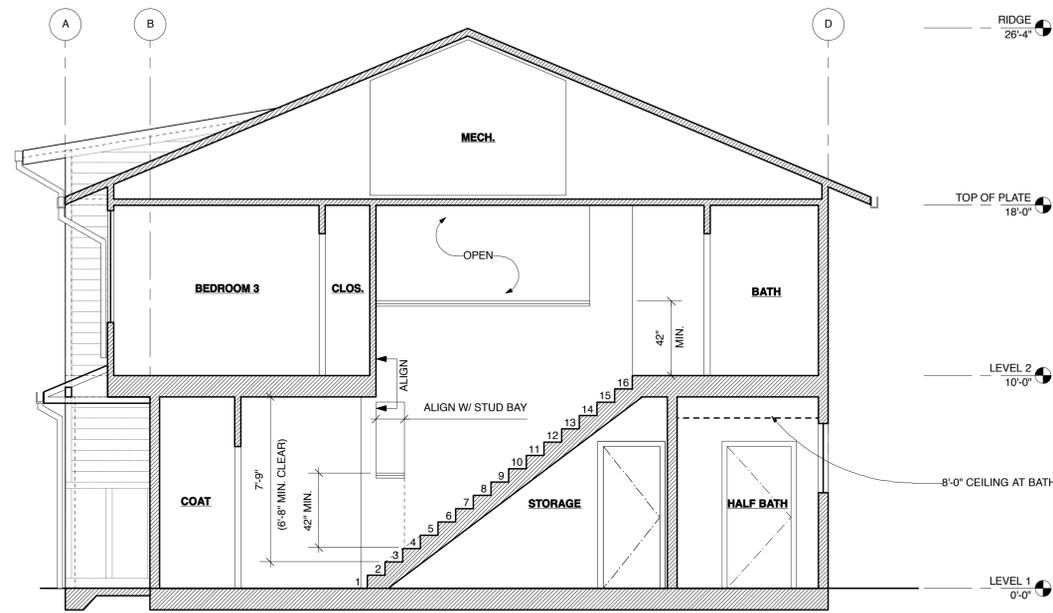
PLAN NOTES & SYMBOLS:

PER 2013 CBC SECTION 1203.2, THE NET FREE VENTILATION AREA (NFVA) SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, WITH 50% OF THE REQUIRED VENTILATION AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FT. ABOVE EAVE OR CORNICE VENTS W/ THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

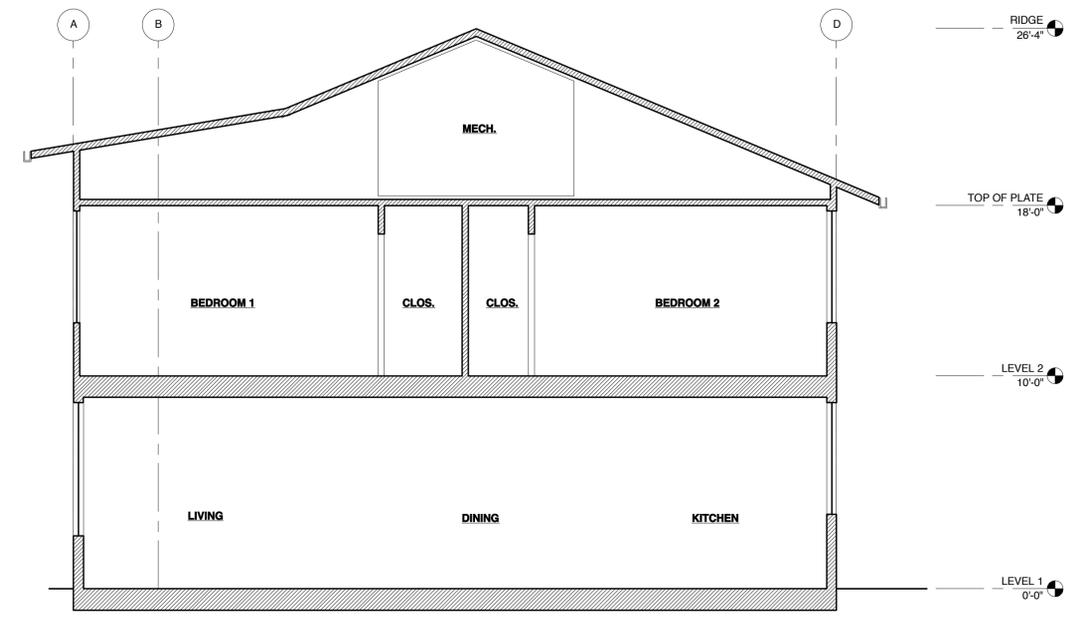
- VENTING AREA OF 3 BEDR. UNIT ATTIC = 705 SF / 300 = 338 SQ. IN. / 2 = 169 SQ. IN. REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF RIDGE VENT @ 12 SQ. IN NFVA / 1 LINEAL FT. = 12 SQ. IN. x 20 FT. = 240 SQ. IN.
LOWER: (3) 2" Ø HOLES (3.14 SQ. IN.) @ 18 TRUSS BAYS = 169 SQ. IN.
- VENTING AREA OF 4 BEDR. UNIT 2nd FLOOR ATTIC = 705 SF / 300 = 338 SQ. IN. / 2 = 169 SQ. IN. REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF RIDGE VENT @ 12 SQ. IN NFVA / 1 LINEAL FT. = 12 SQ. IN. x 20 FT. = 240 SQ. IN.
LOWER: (3) 2" Ø HOLES (3.14 SQ. IN.) @ 18 TRUSS BAYS = 169 SQ. IN.
- VENTING AREA OF 4 BEDR. UNIT 1st FLOOR ATTIC = 220 SF / 300 = 106 SQ. IN. / 2 = 53 SQ. IN. REQUIRED AT UPPER AND LOWER PORTION OF ROOF.
UPPER: (1) CONTINUOUS ROOF/WALL VENT @ 8.5 SQ. IN NFVA / 1 LINEAL FT. = 8.5 SQ. IN. x 22 FT. = 187 SQ. IN.
LOWER: (3) 2" Ø HOLES (3.14 SQ. IN.) @ 11 JOIST BAYS = 104 SQ. IN.

4. ALL DIMENSIONS MEASURED TO FACE OF FRAMING (F.O.F.), UNLESS OTHERWISE NOTED (U.O.N.)



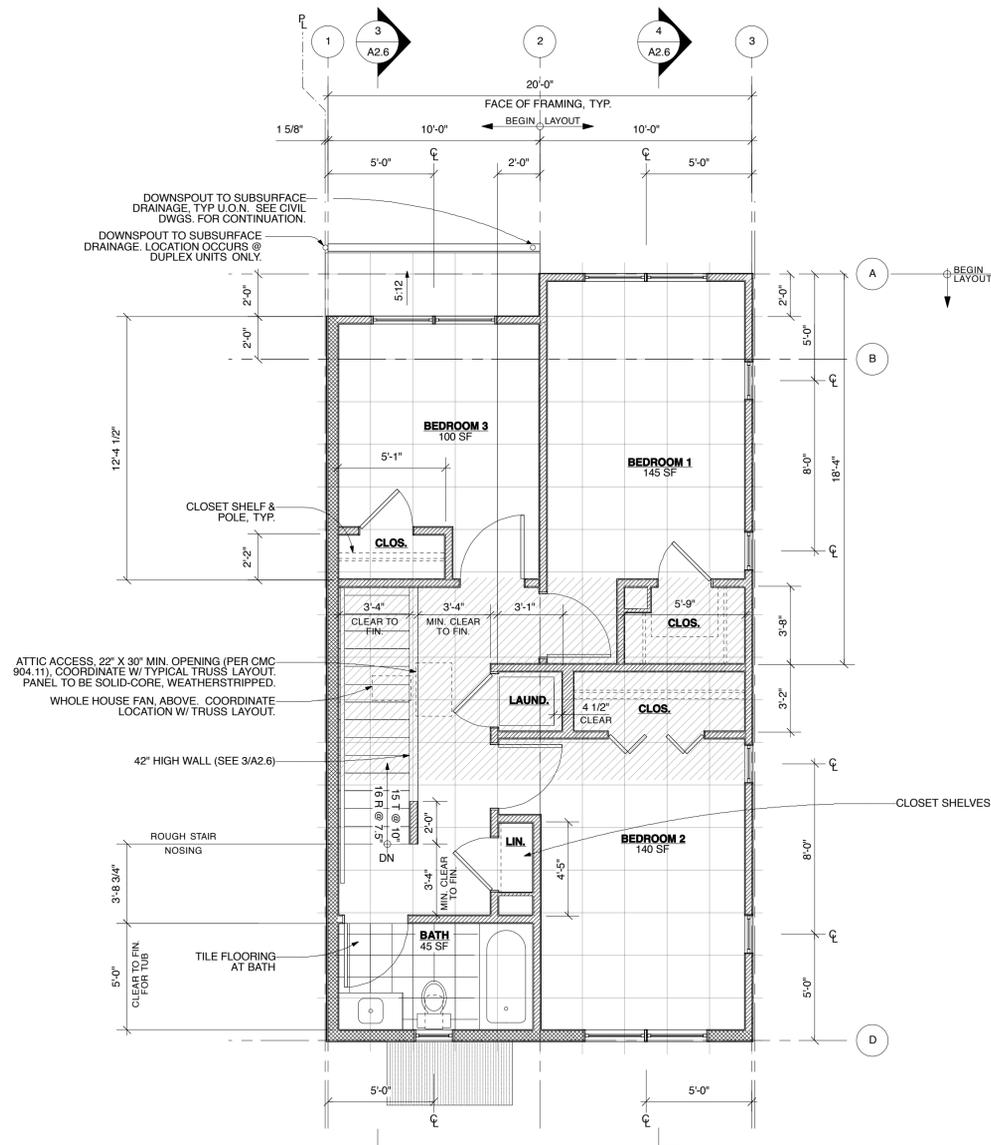


3 SECTION
A2.6 THREE BEDROOM OUTER UNIT
SCALE: 1/4" = 1'-0"

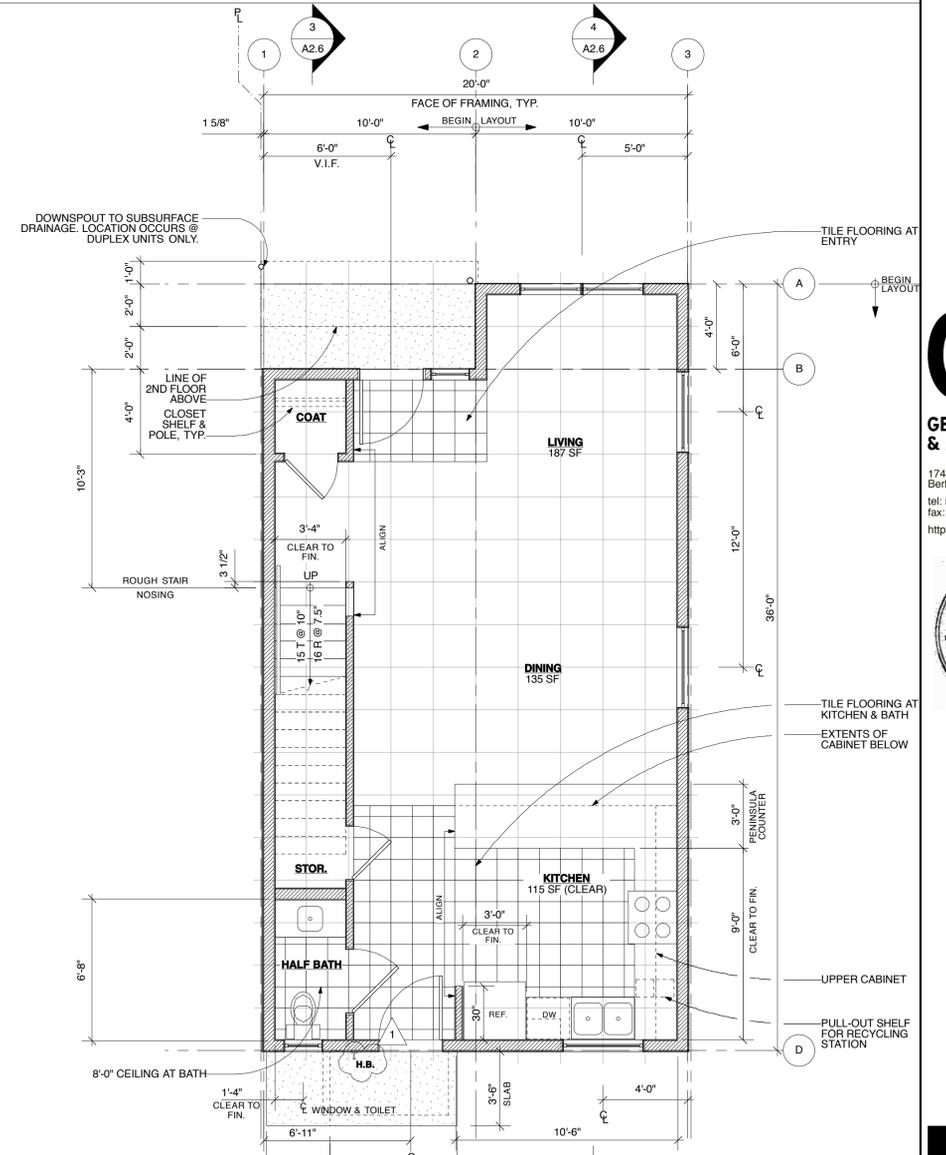


4 SECTION
A2.6 THREE BEDROOM OUTER UNIT
SCALE: 1/4" = 1'-0"

PLAN KEY:
 2X6 OR WET WALL @ SECOND FLOOR



1 SECOND FLOOR PLAN
A2.6A THREE BEDROOM OUTER UNIT - 661 SF, SECOND FLOOR, GROSS FLOOR AREA
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
A2.6A THREE BEDROOM OUTER UNIT - 680 SF, FIRST FLOOR, GROSS FLOOR AREA
SCALE: 1/4" = 1'-0"

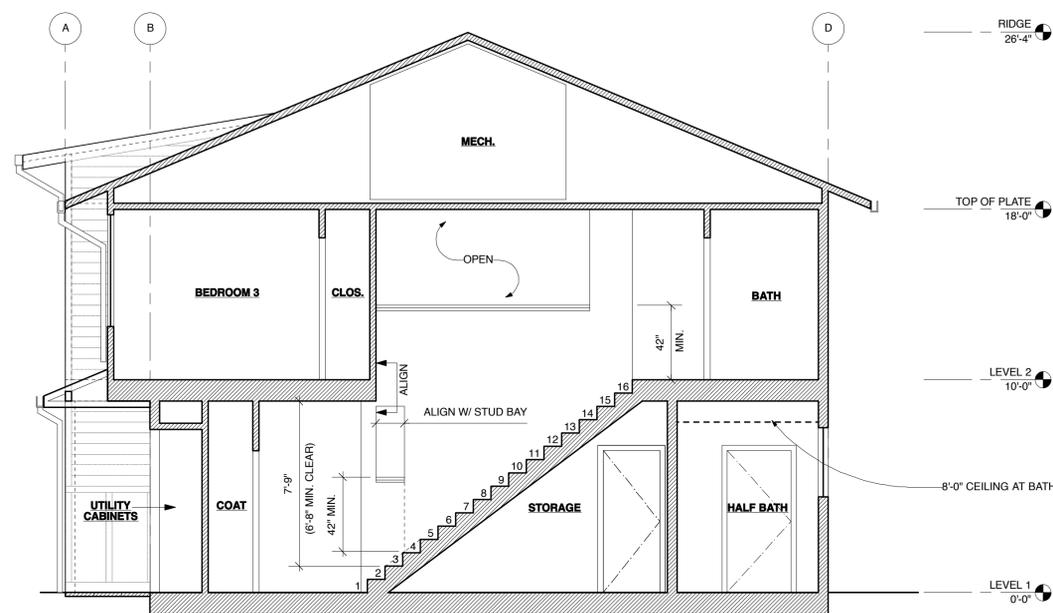
HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.
 123 A STREET, HAYWARD, CA 94541
 SEQUOIA GROVE

GH^A
GEOFFREY HOLTON & ASSOCIATES
 1743 Alcatraz Avenue
 Berkeley, CA 94703
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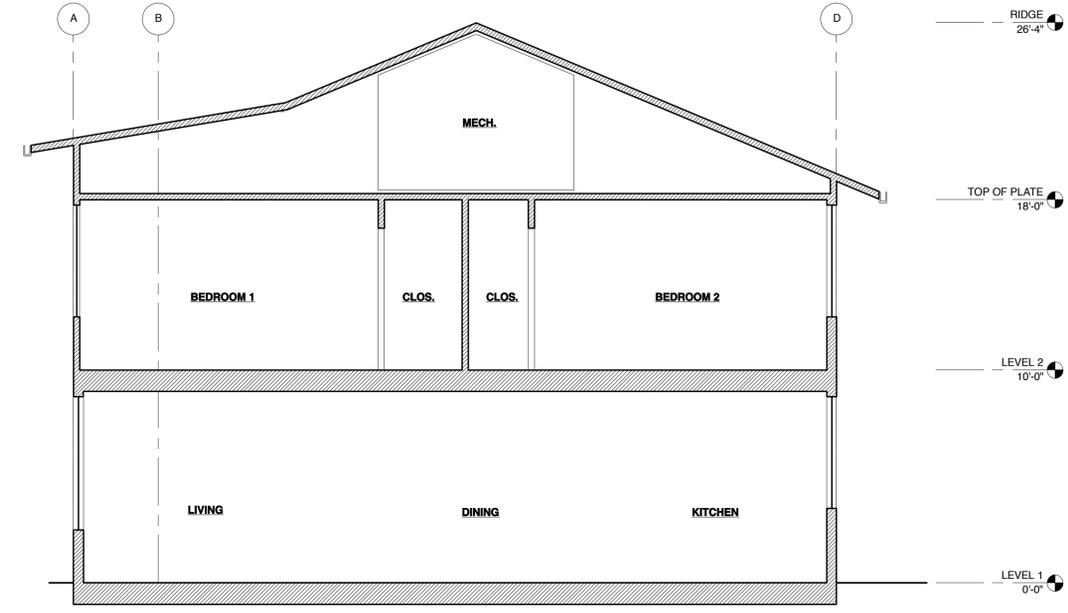
CURRENT ISSUE DATE
 9.12.14
INITIAL SUBMITTAL DATE
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REVISIONS
 9.12.2014
 1 PLANNING RESUBMITTAL

SHEET NO.
A2.6A
 3-BEDROOM
 OUTER UNIT PLANS



3 SECTION
A2.6 THREE BEDROOM CENTER UNIT

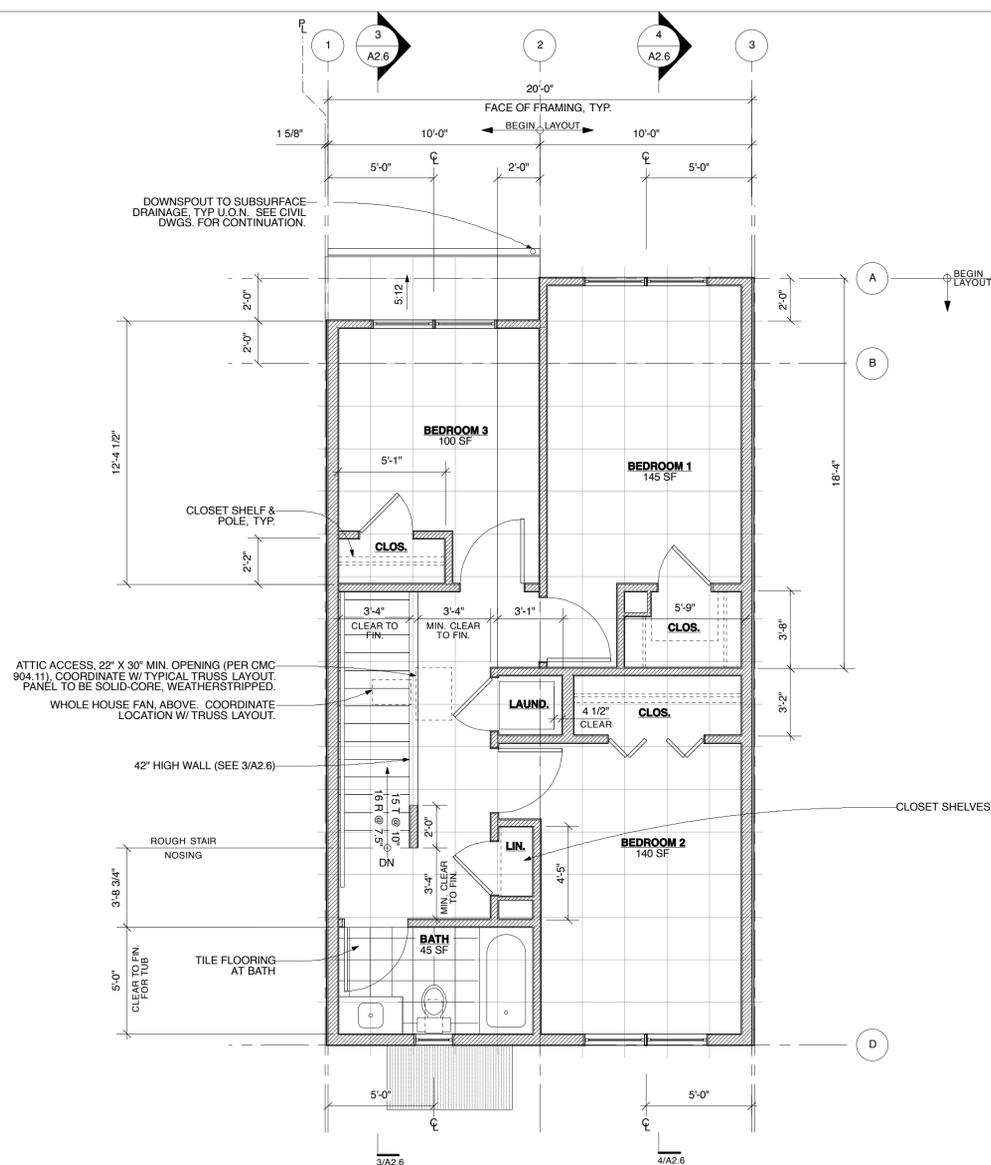
SCALE: 1/4" = 1'-0"



4 SECTION
A2.6 THREE BEDROOM CENTER UNIT

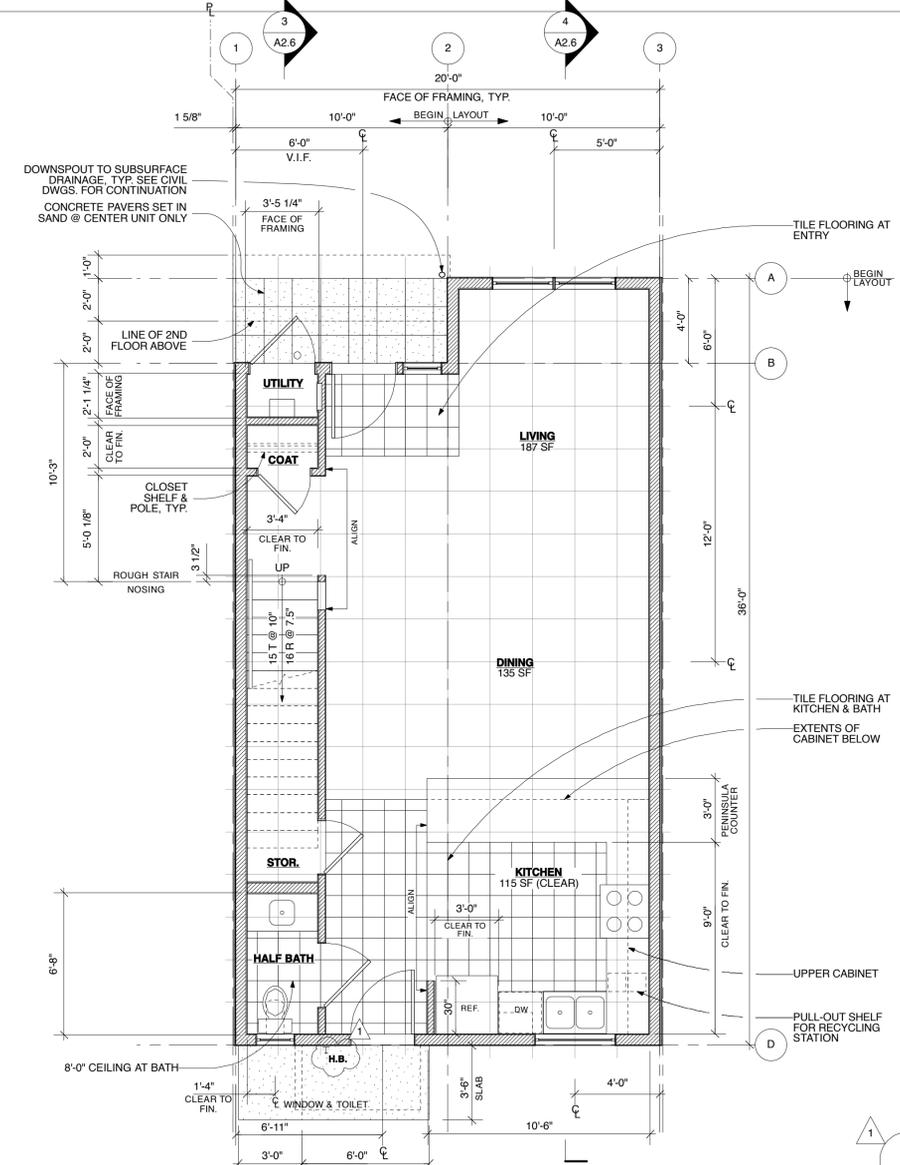
SCALE: 1/4" = 1'-0"

PLAN KEY:
 2X6 OR WET WALL @ SECOND FLOOR



1 SECOND FLOOR PLAN
A2.6B THREE BEDROOM CENTER UNIT - 661 SF, SECOND FLOOR, GROSS FLOOR AREA

SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
A2.6B THREE BEDROOM CENTER UNIT - 680 SF, FIRST FLOOR, GROSS FLOOR AREA

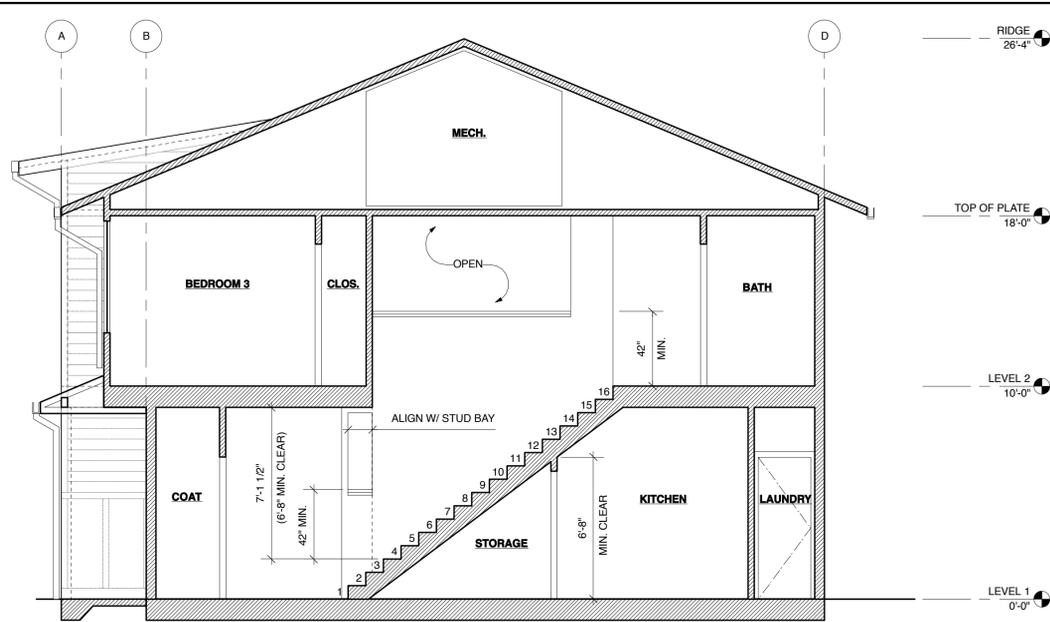
SCALE: 1/4" = 1'-0"

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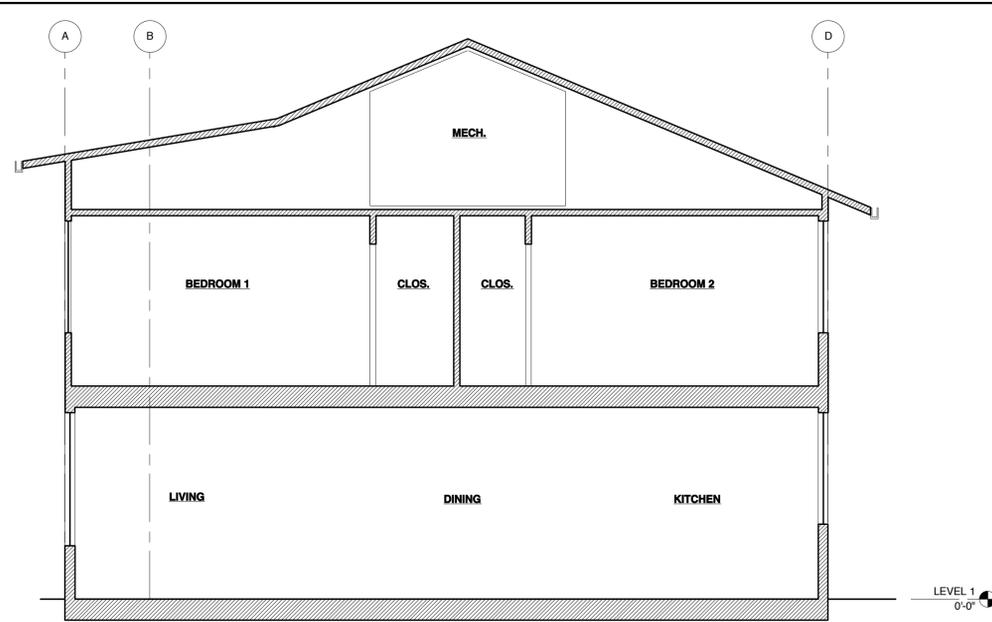
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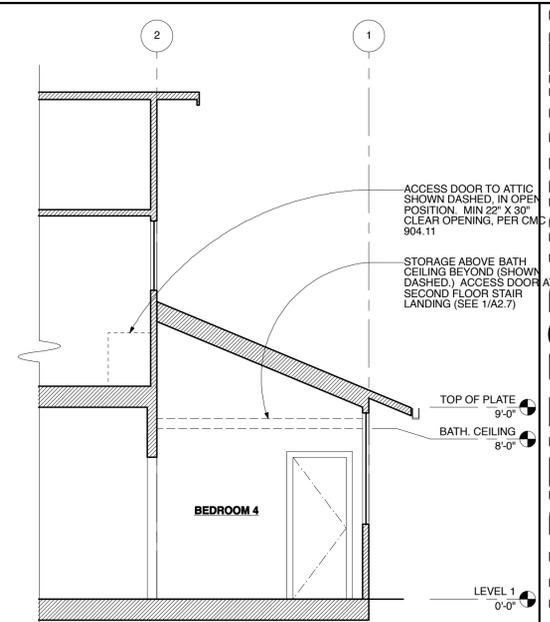
SHEET NO.
A2.6B
 3-BEDROOM CENTER UNIT PLANS



3 SECTION
A2.7 FOUR BEDROOM SCALE: 1/4" = 1'-0"

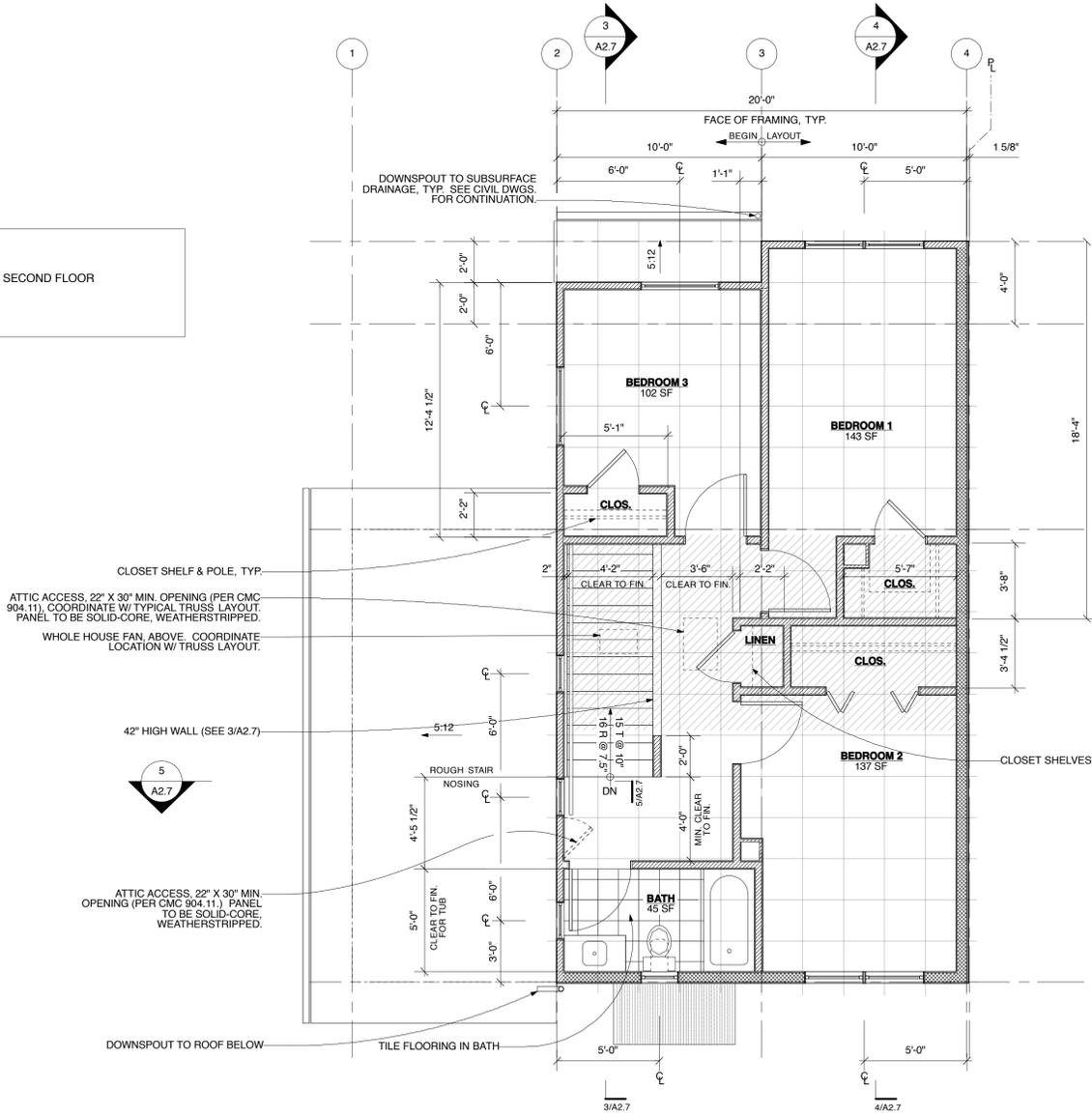


4 SECTION
A2.7 FOUR BEDROOM SCALE: 1/4" = 1'-0"

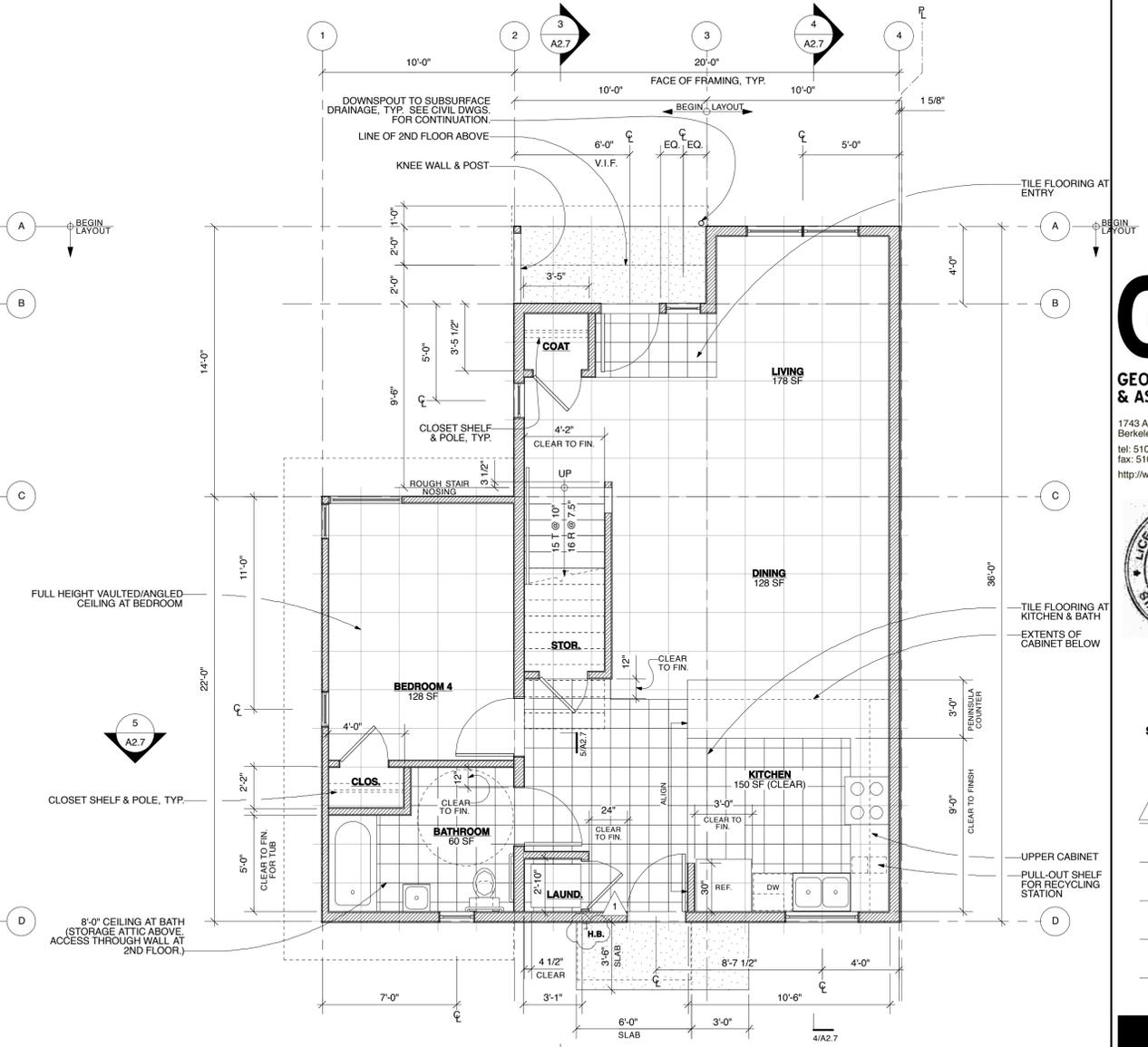


5 SECTION
A2.7 PARTIAL @ 1ST FLOOR BEDROOM SCALE: 1/4" = 1'-0"

PLAN KEY:
 2X6 OR WET WALL @ SECOND FLOOR



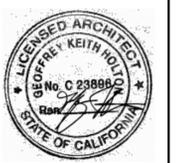
1 SECOND FLOOR PLAN
A2.7 FOUR BEDROOM - 653 SF, SECOND FLOOR, GROSS FLOOR AREA SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
A2.7 FOUR BEDROOM - 900 SF, FIRST FLOOR, GROSS FLOOR AREA SCALE: 1/4" = 1'-0"

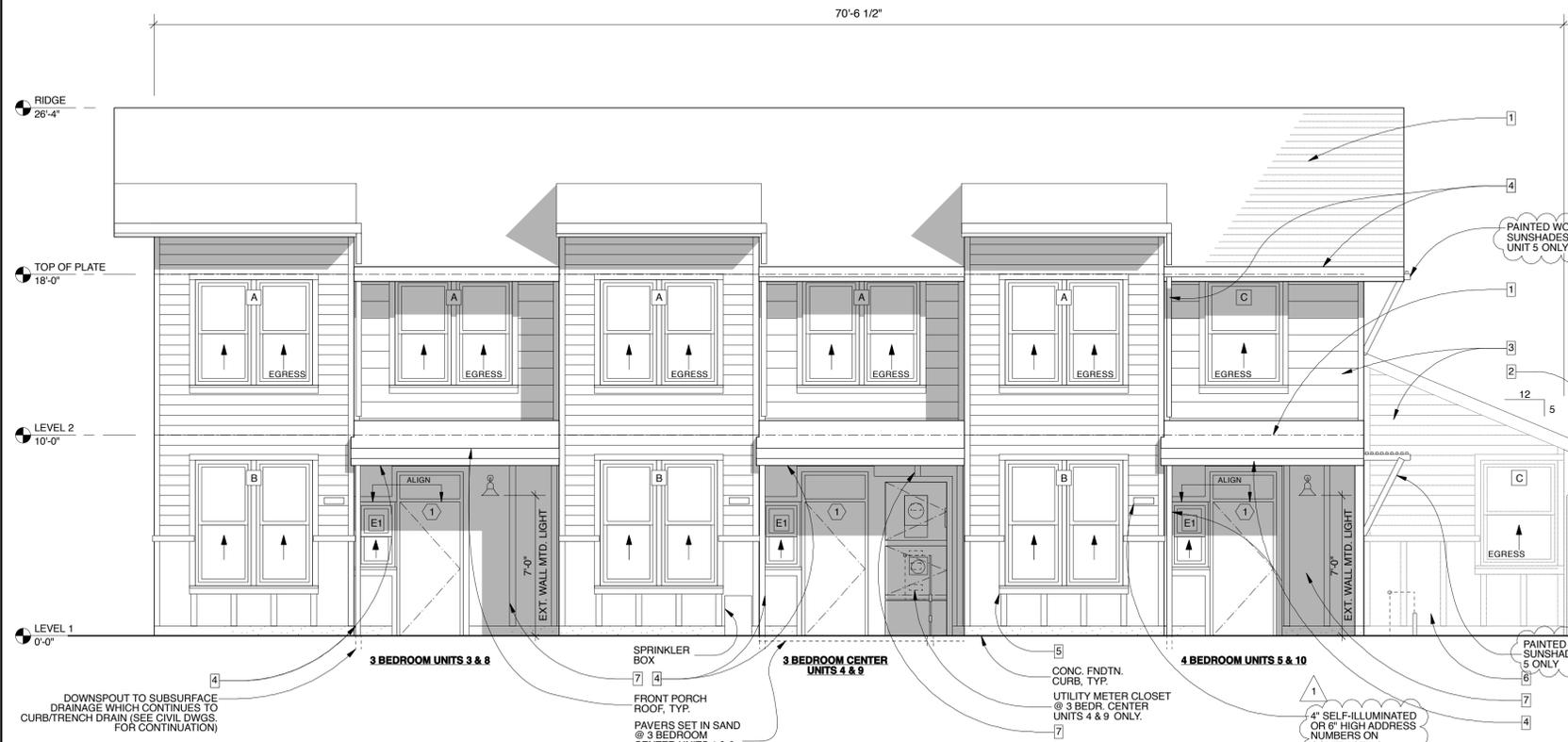
HABITAT FOR HUMANITY
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 123 A STREET, HAYWARD, CA 94541
 SEQUOIA GROVE

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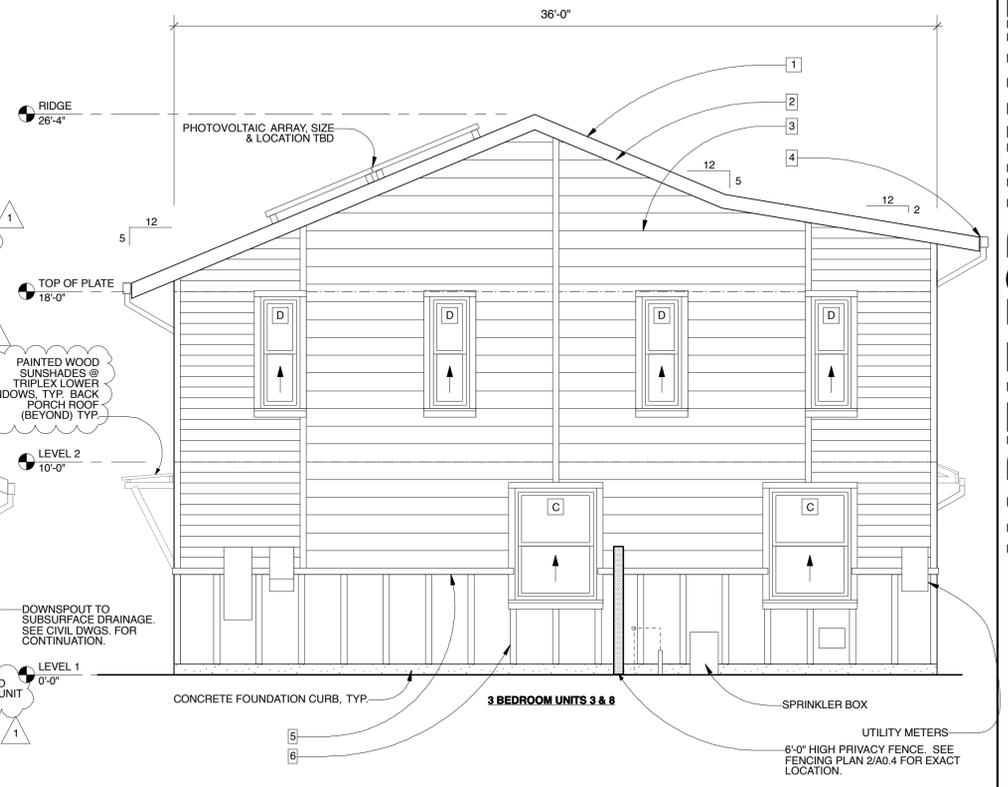
CURRENT ISSUE DATE
 9.12.14
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SHEET NO.
A2.7
 4-BEDROOM UNIT PLANS



1 NORTH ELEVATION - TRIPLEX 3/4/5 & 8/9/10
A3.1

SCALE: 1/4" = 1'-0"

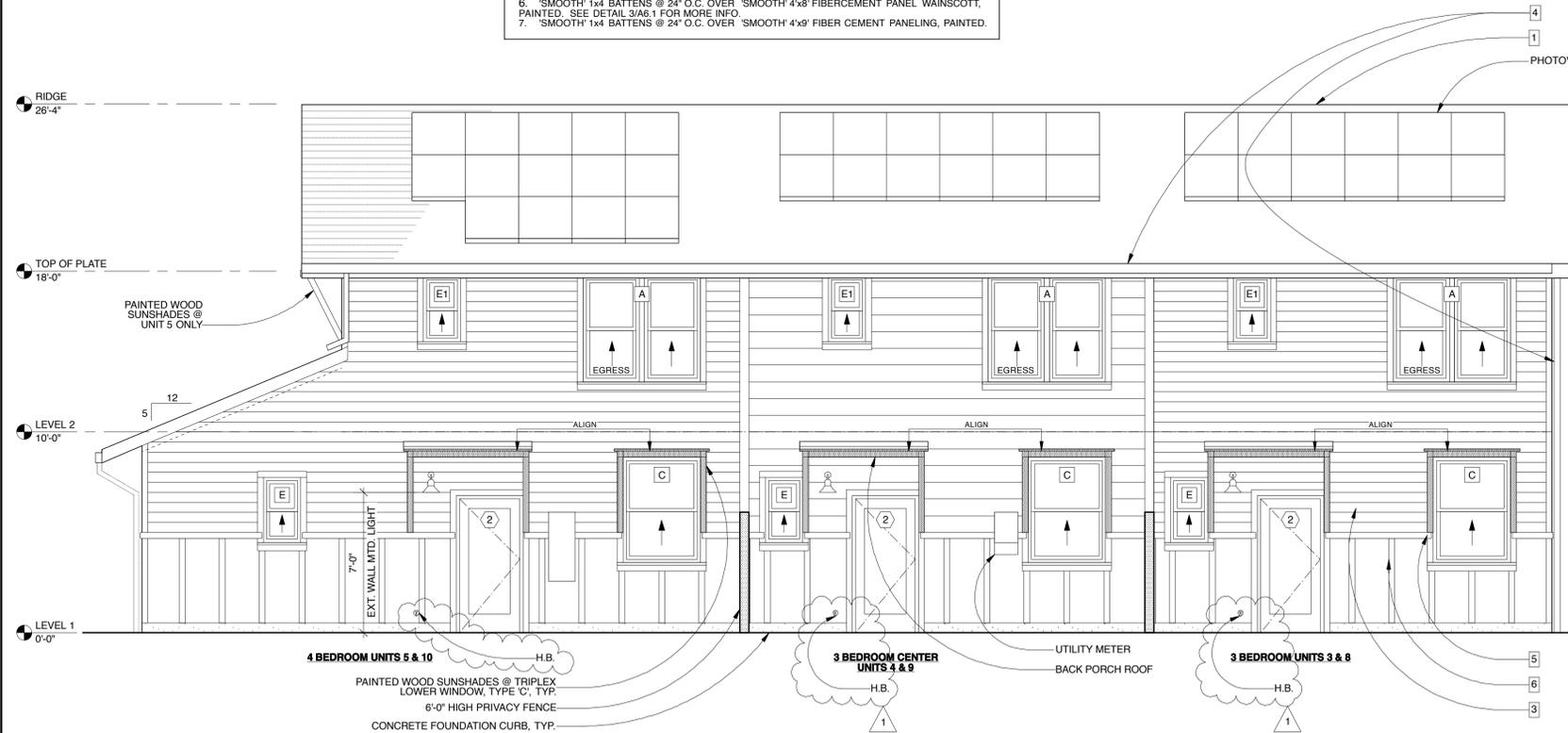


2 EAST ELEVATION - UNITS 3 & 8
A3.1

SCALE: 1/4" = 1'-0"

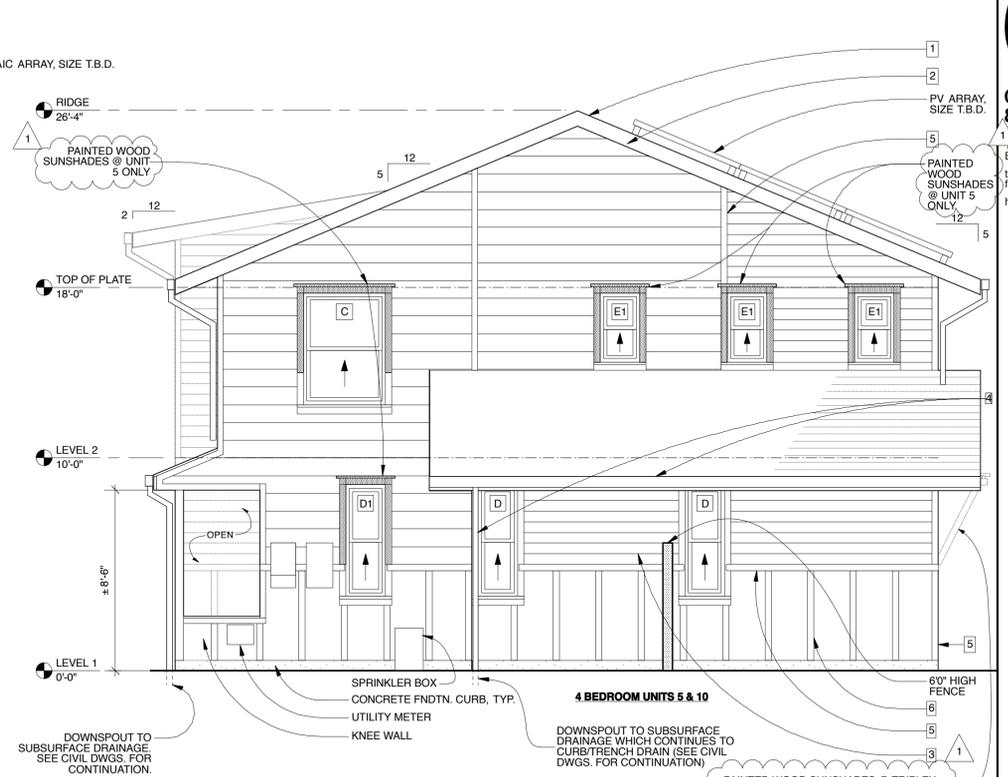
MATERIALS KEY:

1. CLASS 'A' ASPHALT ROOF SHINGLES (40 YEAR)
2. PAINTED WOOD FASCIA
3. PAINTED FIBERCEMENT HORIZONTAL SIDING, 'SMOOTH' - (2) DIFFERENT WIDTHS: 6" & 10"
4. 3" O ROUN DOWNSPOUT & 6" x 4" METAL FASCIA GUTTER (NO OGEE)
5. 2x4 TRIM, PAINTED
6. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4x8' FIBERCEMENT PANEL WAINSCOTT, PAINTED. SEE DETAIL 3/A3.1 FOR MORE INFO.
7. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4x8' FIBER CEMENT PANELING, PAINTED.



3 SOUTH ELEVATION - TRIPLEX 3/4/5 & 8/9/10
A3.1

SCALE: 1/4" = 1'-0"



4 WEST ELEVATION - UNITS 5 & 10
A3.1

SCALE: 1/4" = 1'-0"

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GEOFFREY HOLTON & ASSOCIATES
143 Alcatraz Avenue
Berkeley, CA 94703
tel: 510.663.9797
fax: 510.663.1807
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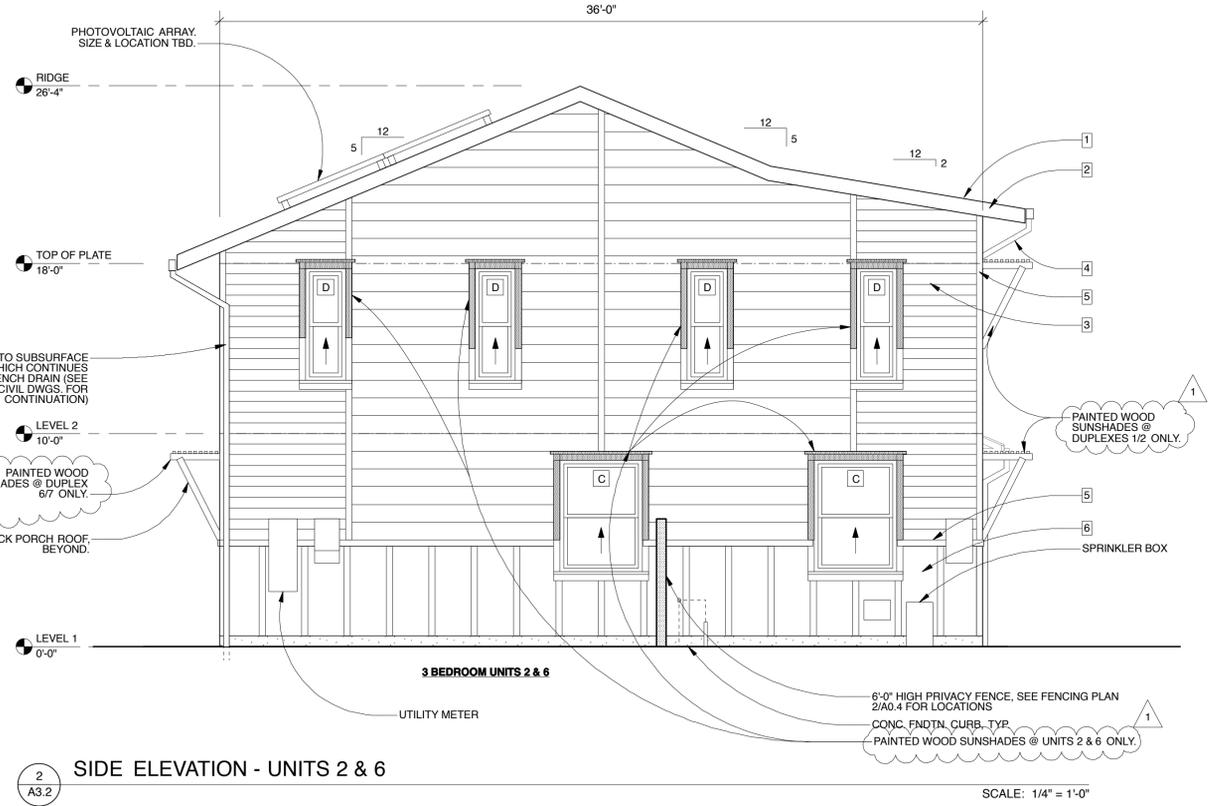
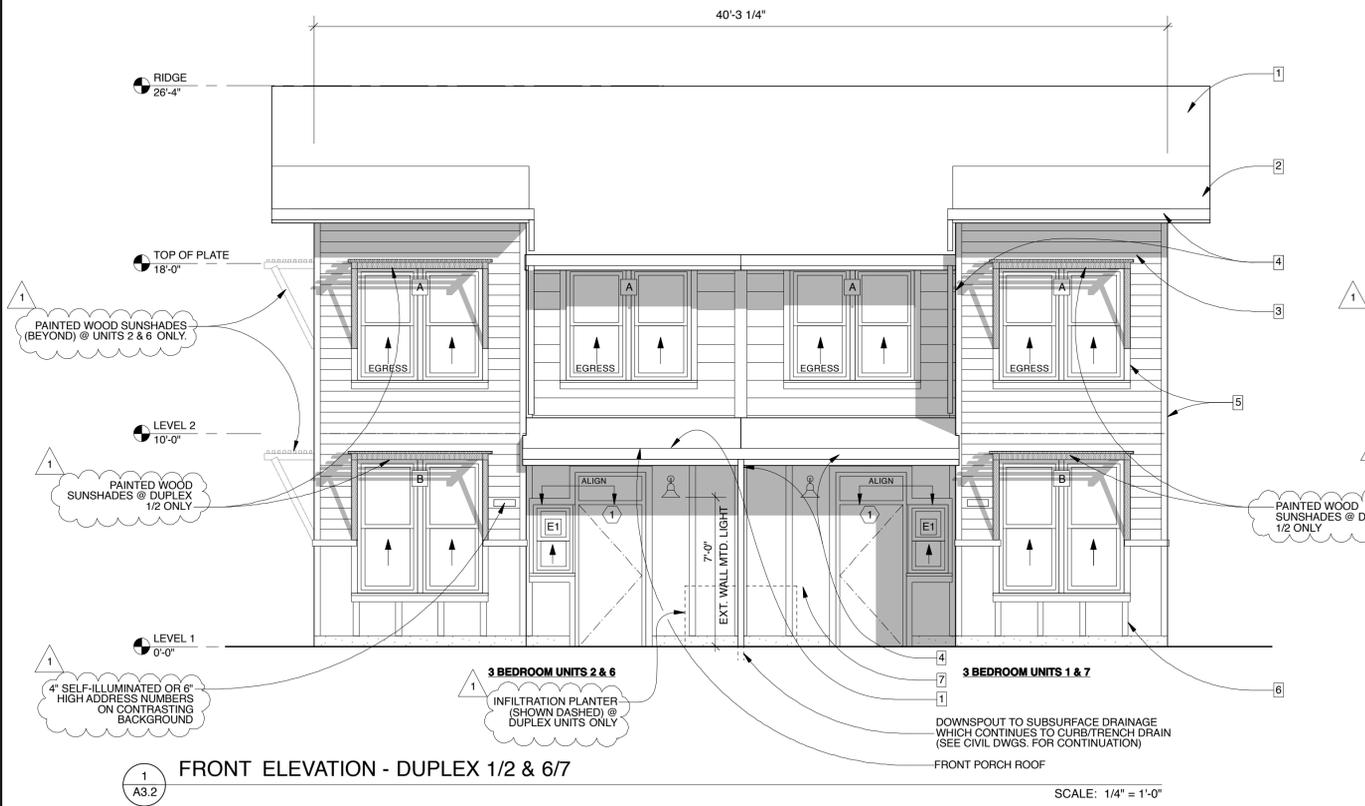
REGISTERED ARCHITECT
GEOFFREY KEITH HOLTON
No. C 23888
State of California

CURRENT ISSUE DATE
9.12.14

INITIAL SUBMITTAL DATE
7.30.13

REVISIONS

9.12.2014
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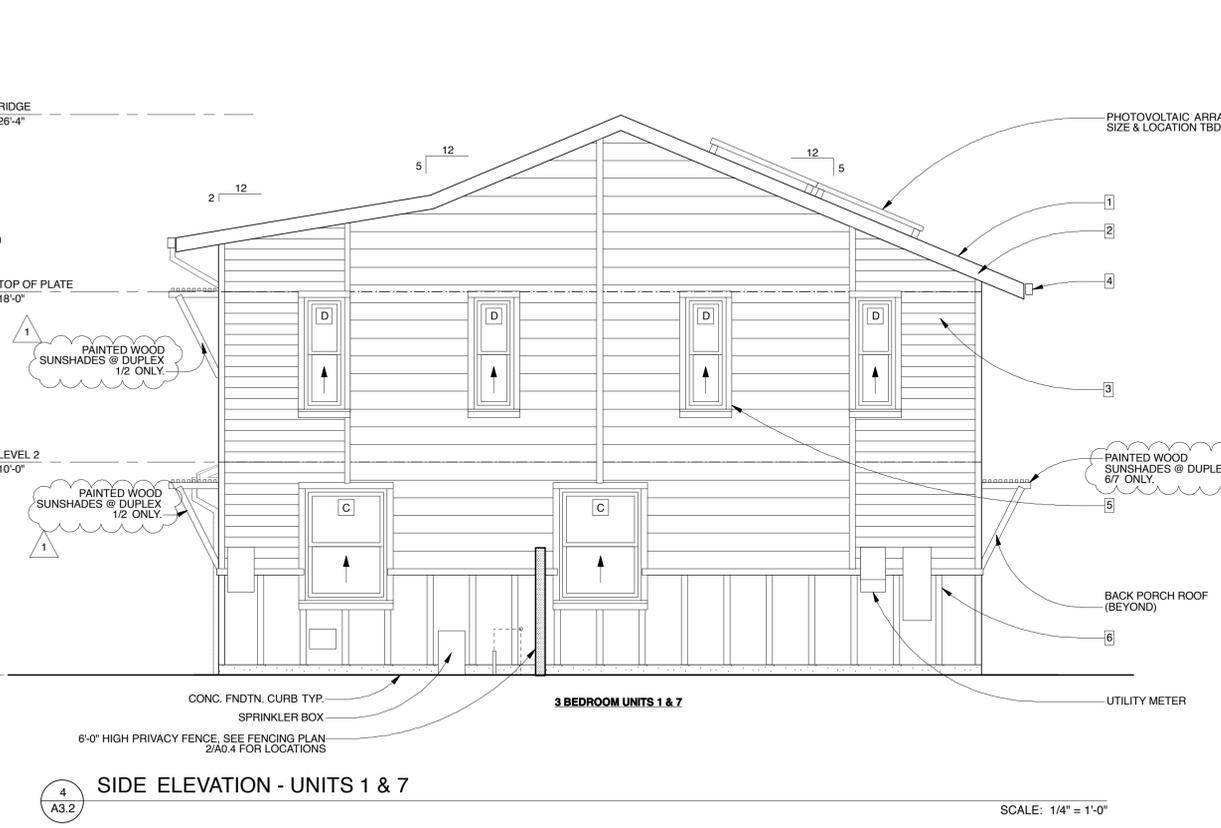
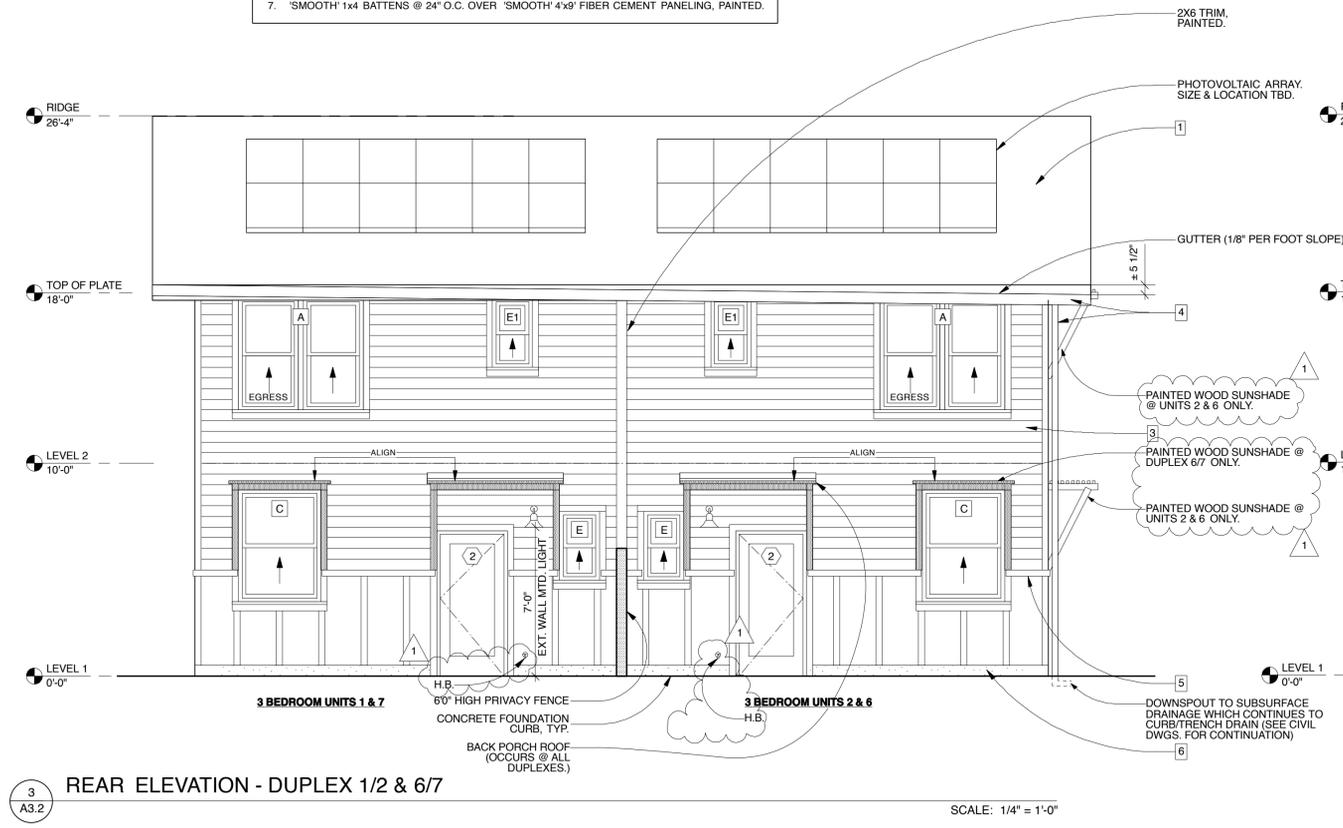


MATERIALS KEY:

1. CLASS 'A' ASPHALT ROOF SHINGLES (40 YEAR)
2. PAINTED WOOD FASCIA
3. PAINTED FIBERCEMENT HORIZONTAL SIDING, 'SMOOTH' - (2) DIFFERENT WIDTHS: 6" & 10"
4. 3" Ø ROUND DOWNSPOUT & 6" x 4" METAL FASCIA GUTTER (NO OGEE)
5. 2x4 TRIM, PAINTED
6. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4x8' FIBERCEMENT PANEL WAINSCOTT, PAINTED. SEE DETAIL 3/A6.1 FOR MORE INFO.
7. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4x8' FIBER CEMENT PANELING, PAINTED.

1
A3.2

2
A3.2



3
A3.2

4
A3.2

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SHEET NO.
A3.2
DUPLEX
BUILDING ELEVATIONS



1
A3.3

INTERIOR STREET ELEVATION - LOOKING SOUTH

SCALE: 3/16" = 1'-0"



2
A3.3

INTERIOR STREET ELEVATION - LOOKING SOUTH

SCALE: 3/16" = 1'-0"

HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.
 123 A STREET, HAYWARD, CA 94541
 SEQUOIA GROVE

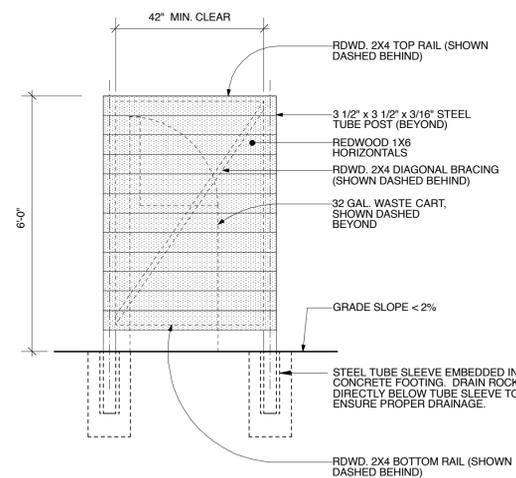


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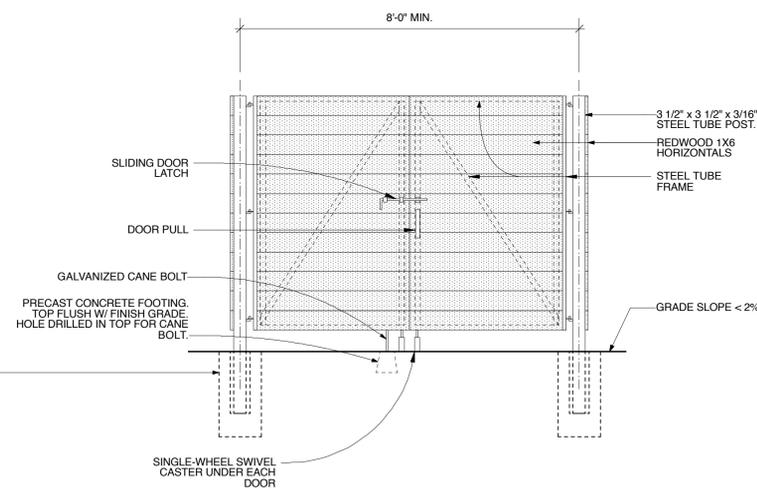


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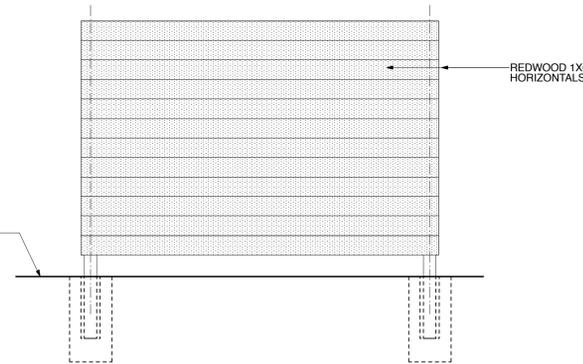
SHEET NO.
A3.3
 STREET ELEVATIONS



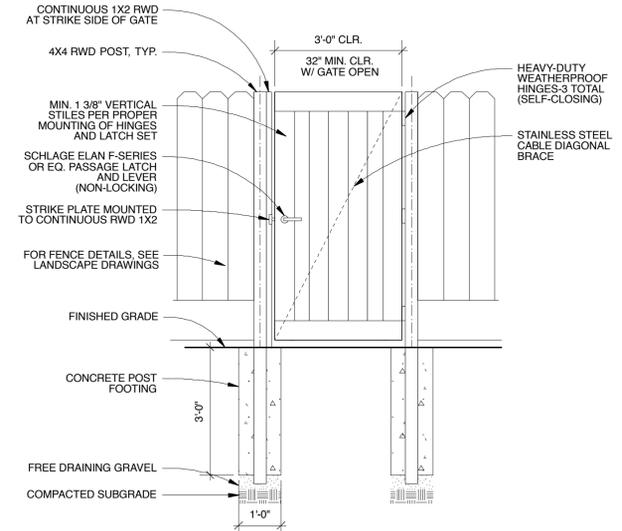
1
A6.0
TYPICAL WASTE CART SCREENING - SIDE ELEVATION
SCALE: 1/2" = 1'-0"



2
A6.0
TYPICAL WASTE CART SCREENING - FRONT ELEVATION
SCALE: 1/2" = 1'-0"



3
A6.0
TYPICAL WASTE CART SCREENING - REAR ELEVATION
SCALE: 1/2" = 1'-0"



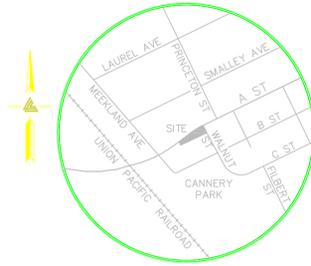
4
A6.0
EMERGENCY EGRESS GATE - ELEVATION @ REAR YARDS
SCALE: 1/2" = 1'-0"

- NOTES:**
1. EMERGENCY EGRESS GATE TO OPEN IN THE DIRECTION OF EGRESS, TRAVEL, TYP.
 2. EMERGENCY EGRESS GATE TO COMPLY WITH SECTION R311.2 OF THE 2013 CRC
 3. ALL STEEL TO BE HOT-DIP GALVANIZED
 4. WASTE CART SCREENING GATES SHALL OPEN TO A MIN. OF 90 DEGREES TO ALLOW WASTE CARTS TO BE PULLED STRAIGHT OUT.
 5. NO WASHING WILL BE CONDUCTED INSIDE WASTE CART SCREENING AREA

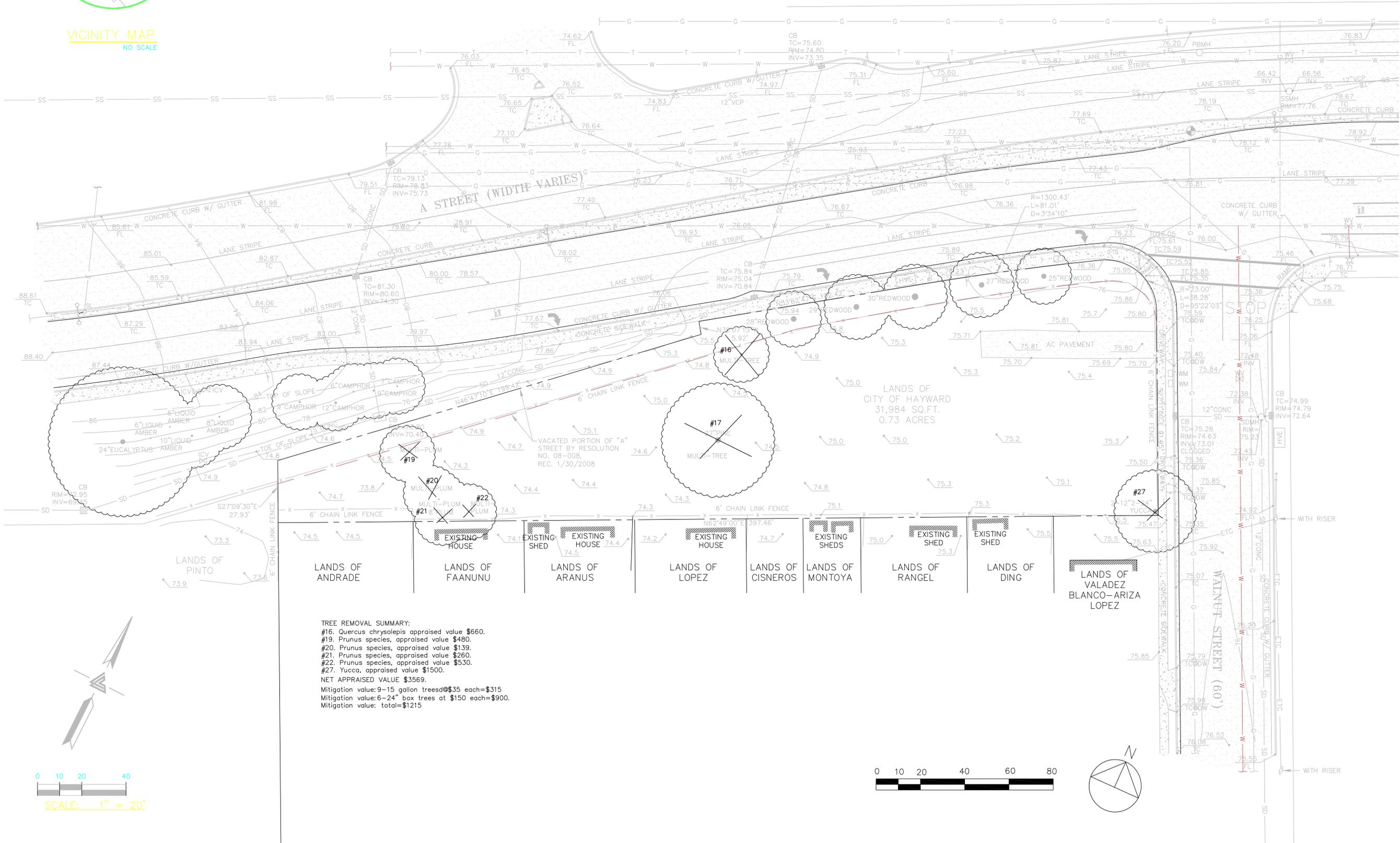


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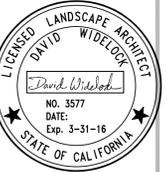
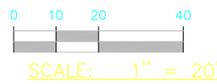
SHEET NO.
A6.0
SITE DETAILS



VICINITY MAP
NO SCALE



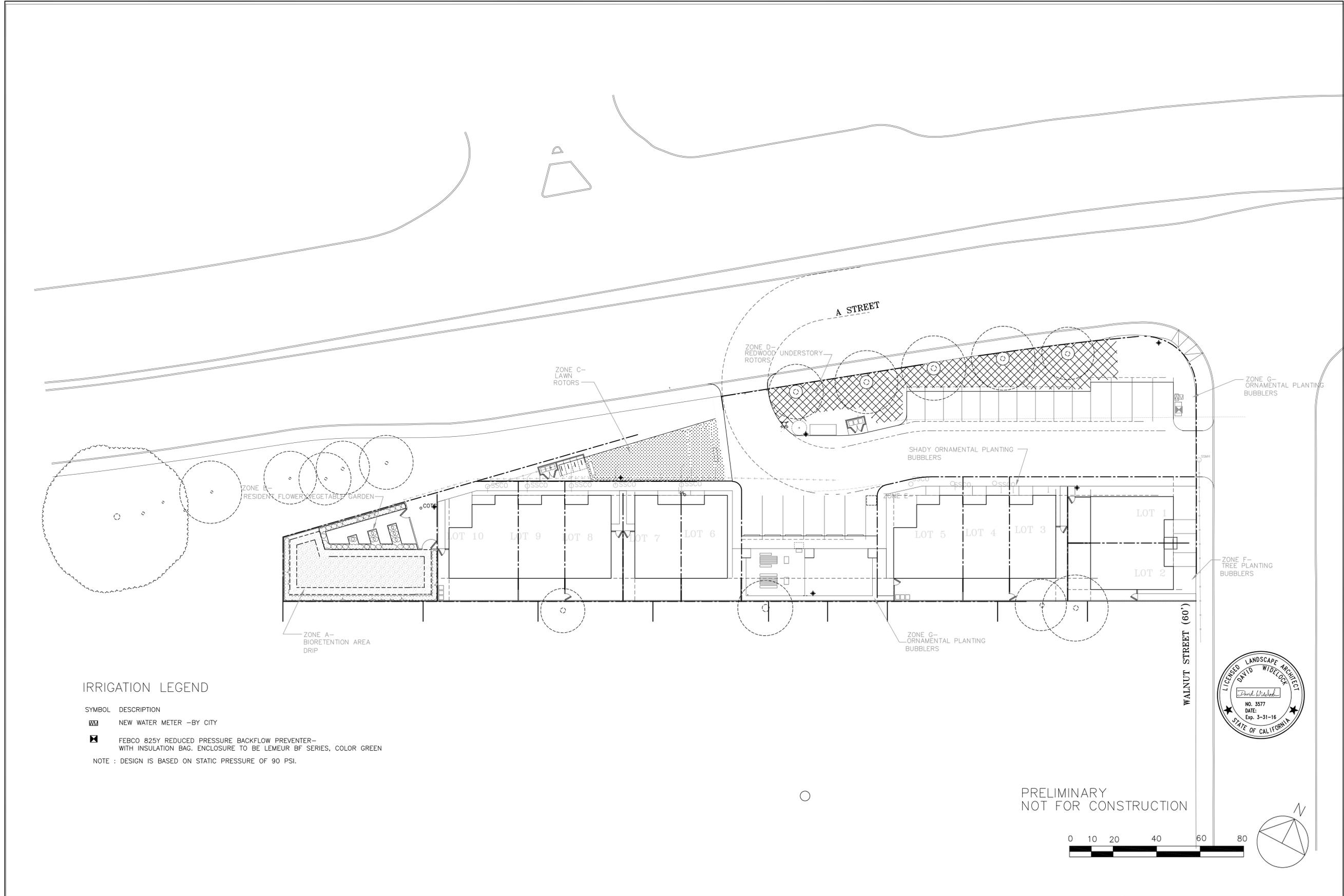
TREE REMOVAL SUMMARY:
 #16. Quercus chrysolepis appraised value \$660.
 #19. Prunus species, appraised value \$480.
 #20. Prunus species, appraised value \$139.
 #21. Prunus species, appraised value \$260.
 #22. Prunus species, appraised value \$530.
 #27. Yucca, appraised value \$1500.
 NET APPRAISED VALUE \$3569.
 Mitigation value: 9-15 gallon trees @ \$35 each = \$315
 Mitigation value: 6-24" box trees at \$150 each = \$900.
 Mitigation value: total = \$1215



TREE REMOVAL PLAN

SEQUOIA GROVE
 123 A ST., HAYWARD, CA
 HABITAT FOR HUMANITY
 EAST BAY/SILICON VALLEY, INC.

DATE 9-12-14
 DRAWN DW
 CHECKED
 SCALE 1"=20'
 SHEET
 L-PL-1



IRRIGATION LEGEND

- | SYMBOL | DESCRIPTION |
|--------|---|
| | NEW WATER METER -BY CITY |
| | FEBCO 825Y REDUCED PRESSURE BACKFLOW PREVENTER- WITH INSULATION BAG. ENCLOSURE TO BE LEMEURE BF SERIES, COLOR GREEN |
- NOTE : DESIGN IS BASED ON STATIC PRESSURE OF 90 PSI.

DAVID WIDELOCK LANDSCAPE DESIGN
 LANDSCAPE ARCHITECT CA LICENSE #3577
 1685 COMMONWEALTH DRIVE
 OAKLAND, CA 94612
 TEL: 510-638-8660 FAX: 510-740-0970
 E-MAIL: wideclock@earthlink.net

**PRELIMINARY
IRRIGATION PLAN**

SEQUOIA GROVE
 123 A ST., HAYWARD, CA
 HABITAT FOR HUMANITY
 EAST BAY/SILICON VALLEY, INC.

DATE 9-12-14
 DRAWN DW
 CHECKED
 SCALE 1"=20'
 SHEET
 L-PL-4

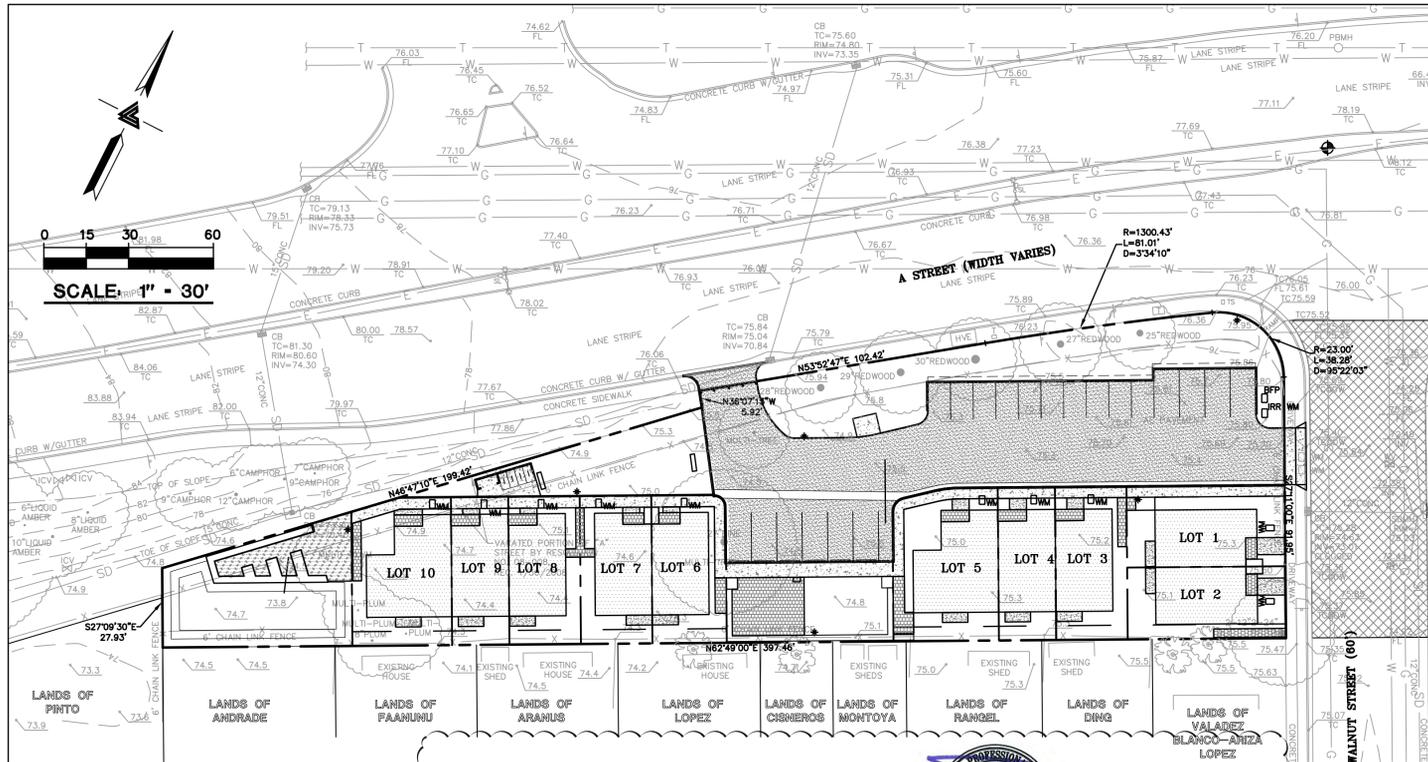
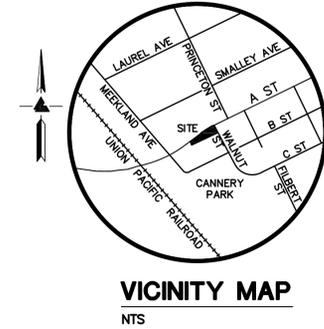
LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	EMERGENCY OVERLAND RELEASE

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAL FEET
AC	ASPHALT CONCRETE	LF	LINEAL FEET
ACC	ACCESSIBLE	MAX	MAXIMUM
AD	AREA DRAIN	MH	MANHOLE
BC	BEGINNING OF CURVE	MIN	MINIMUM
B & D	BEARING & DISTANCE	MON.	MONUMENT
BM	BENCHMARK	(N)	NEW
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
CL	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIE	PRIVATE INGRESS/EGRESS EASEMENT
COTG	CLEANOUT TO GRADE	PIV	POST INDICATOR VALVE
CONC	CONCRETE	PSS	PUBLIC SERVICES EASEMENT
CONST	CONSTRUCT or -TION	P	PROPERTY LINE
CONC COR	CONCRETE CORNER	PP	POWER POLE
CSE	COMMON SPACE EASEMENT	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SDMH	STORM DRAIN MANHOLE
EW	EACH WAY	SHT	SHEET
(E)	EXISTING	S.L.D.	SEE LANDSCAPE DRAWINGS
FC	FACE OF CURB	SS	SPECIFICATION
FF	FINISHED FLOOR	SSCO	SANITARY SEWER
FG	FINISHED GRADE	SSMH	SANITARY SEWER CLEANOUT
FH	FIRE HYDRANT	ST	SANITARY SEWER MANHOLE
FL	FLOW LINE	ST	STREET
FS	FINISHED SURFACE	STA	STATION
G	GAS	STD	STANDARD
GA	GAGE OR GAUGE	STRUCT	STRUCTURAL
GB	GRADE BREAK	TC	TOP OF CURB
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	TEMP	TEMPORARY
HORIZ	HORIZONTAL	TP	TOP OF PAVEMENT
HI PT	HIGH POINT	TW/FG	TOP OF WALL/FINISH GRADE
H&T	HUB & TACK	TYP	TYPICAL
ID	INSIDE DIAMETER	VC	VERTICAL CURVE
INV	INVERT ELEVATION	VCP	VERTICAL CLAY PIPE
JB	JUNCTION BOX	VERT	VERTICAL
JT	JOINT TRENCH	W/	WITH
JP	JOINT UTILITY POLE	W/ WL	WATER LINE
L	LENGTH	WM	WATER METER
LNDG	LANDING	WWF	WELDED WIRE FABRIC

VESTING TENTATIVE MAP TRACT MAP # 8104 SEQUOIA GROVE 123 A STREET HAYWARD, CALIFORNIA



NOTE:
HOMEOWNERS' ASSOCIATION WILL OWN AND MAINTAIN ALL COMMON LOTS, PRIVATE DRIVEWAY, PRIVATE STREET LIGHTS, PRIVATE STORM DRAIN SYSTEM, WATER QUALITY TREATMENT FACILITIES AND COMMON AMENITIES

BENCHMARK
CITY OF HAYWARD BENCHMARK MON (PLATE) NEAR INTERSECTION "A" STREET & "WALNUT STREET" (FORMERLY BURBANK)
5'± N FROM N SIDE ISLAND CURB ELEVATION = 75.375'
(CITY OF HAYWARD DATUM)

SITE BENCHMARK
SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT ELEVATION = 77.92'
(CITY OF HAYWARD DATUM)

CIVIL ENGINEER	DATE	PETER CARLINO	79555
LAND SURVEYOR	DATE	GREGORY F. BRAZE	7623
GEOTECHNICAL ENGINEER	DATE		

ESTIMATED EARTHWORK QUANTITIES

CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	270	645	915
FILL	0	0	0
EXPORT			915

NOTE:
GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

OWNER'S STATEMENT
I, _____ (AN AUTHORIZED SIGNING AGENT FOR HABITAT FOR HUMANITY EAST BAY/SILICON VALLEY, INC.) AGREE TO THE FILING OF SAID MAP AND AGREE TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.
AS OWNER:
BY: _____ DATE _____

EASEMENT NOTE
TITLE REPORT PREPARED BY OLD REPUBLIC TITLE COMPANY DATED JUNE 28, 2011, ORDER NO. 1117010856-IM.
EXCEPTION #3: "RIGHTS OF THE PUBLIC, COUNTY AND/OR CITY, IN AND TO THAT PORTION OF SAID LAND LYING WITHIN THE LINES OF A STREET."
THERE ARE NO OTHER EASEMENTS LISTED IN SAID REPORT.

NOTES
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
UNDERGROUND UTILITY LOCATION IS BASED ON CITY OF HAYWARD AS-BUILT PLANS.
BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT GREG BRAZE AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 103. gbraze@leabraze.com

OWNER'S INFORMATION

OWNER: CITY OF HAYWARD
777 "B" STREET
HAYWARD, CA 94541

APPLICANT: HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY
2619 BROADWAY
OAKLAND, CA 94612
PH. 510 251-6304

ENGINEER: LEA & BRAZE ENGINEERING, INC.
2495 INDUSTRIAL PARKWAY WEST
HAYWARD, CA 94545
(510) 887-4086

APN: 431-0016-088-03

ZONING INFORMATION
EXISTING ZONING: RM/SD4
PROPOSED ZONING: PD

FEMA NOTES
SUBJECT SITE IS LOCATED WITHIN FEMA FLOOD ZONE "X". ZONE "X" IS DESIGNATED AS: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD; WITH AVERAGE OF LESS THAN 1/8 ANNUAL CHANCE FLOOD. PROTECTED BY LEVEES FROM 1/2 ANNUAL CHANCE FLOOD. BASE FLOOD ELEVATION FOR SUBJECT SITE IS NOT SHOWN ON FLOOD INSURANCE RATE MAP NO. 06001C0286G, AUGUST 3, 2009.

- REFERENCES**
- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
1. TOPOGRAPHIC SURVEY BY LEA AND BRAZE ENGINEERING, ENTITLED:
"TOPOGRAPHIC SURVEY"
123 A STREET
HAYWARD, CALIFORNIA
DATED: 10-18-2011
JOB#: 2110309
 - SITE PLAN BY GEOFFREY HOLTON AND ASSOCIATES ENTITLED:
"SITE PLAN - HABITAT FOR HUMANITY EAST BAY/ SILICON VALLEY, INC., SEQUOIA GROVE"
HAYWARD, CALIFORNIA
DATED: 10-18-2011
JOB#: 2110309
 - CITY OF HAYWARD BASE MAPS FOR STORM DRAIN, SANITARY SEWER AND WATER.
 - SOIL REPORT BY ROCKRIDGE GEOTECHNICAL ENTITLED:
"GEOTECHNICAL INVESTIGATION"
123 A STREET
HAYWARD, CALIFORNIA
DATED: 7-19-12
JOB #: 11-354
- THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

UTILITIES / SERVICES

WATER	CITY OF HAYWARD
SEWER	CITY OF HAYWARD
GAS	PACIFIC GAS AND ELECTRIC (PG&E)
ELECTRICITY	PACIFIC GAS AND ELECTRIC (PG&E)
TELEPHONE	AT&T
FIRE PROTECTION	CITY OF HAYWARD
STORM WATER	CITY OF HAYWARD

SHEET INDEX

TNT-1	TITLE SHEET
TNT-2	LOT LAYOUT PLAN
TNT-3	PRELIMINARY GRADING PLAN
TNT-4	PRELIMINARY UTILITY PLAN
TNT-5	SITE SECTIONS
TNT-6	STORM WATER CONTROL PLAN



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
SACRAMENTO REGION
BAY AREA REGION
SILICON VALLEY WEST
HAYWARD, CALIFORNIA 94545
(510) 887-4086
(510) 887-3019
WWW.LEABRAZE.COM

SEQUOIA GROVE
123 A STREET
HAYWARD, CALIFORNIA
HABITAT FOR HUMANITY EAST BAY/
SILICON VALLEY INC.
ALAMEDA COUNTY
APN: 431-0016-088-03

VESTING TENTATIVE MAP
TRACT MAP #8104
TITLE SHEET

PLANCHECK	9-12-14	PT
REVISIONS	BY	
JOB NO:	2110310	
DATE:	7-30-13	
SCALE:	AS NOTED	
DESIGN BY:	PT	
DRAWN BY:	ATL	
SHEET NO:		

TNT-1
1 OF 6 SHEETS



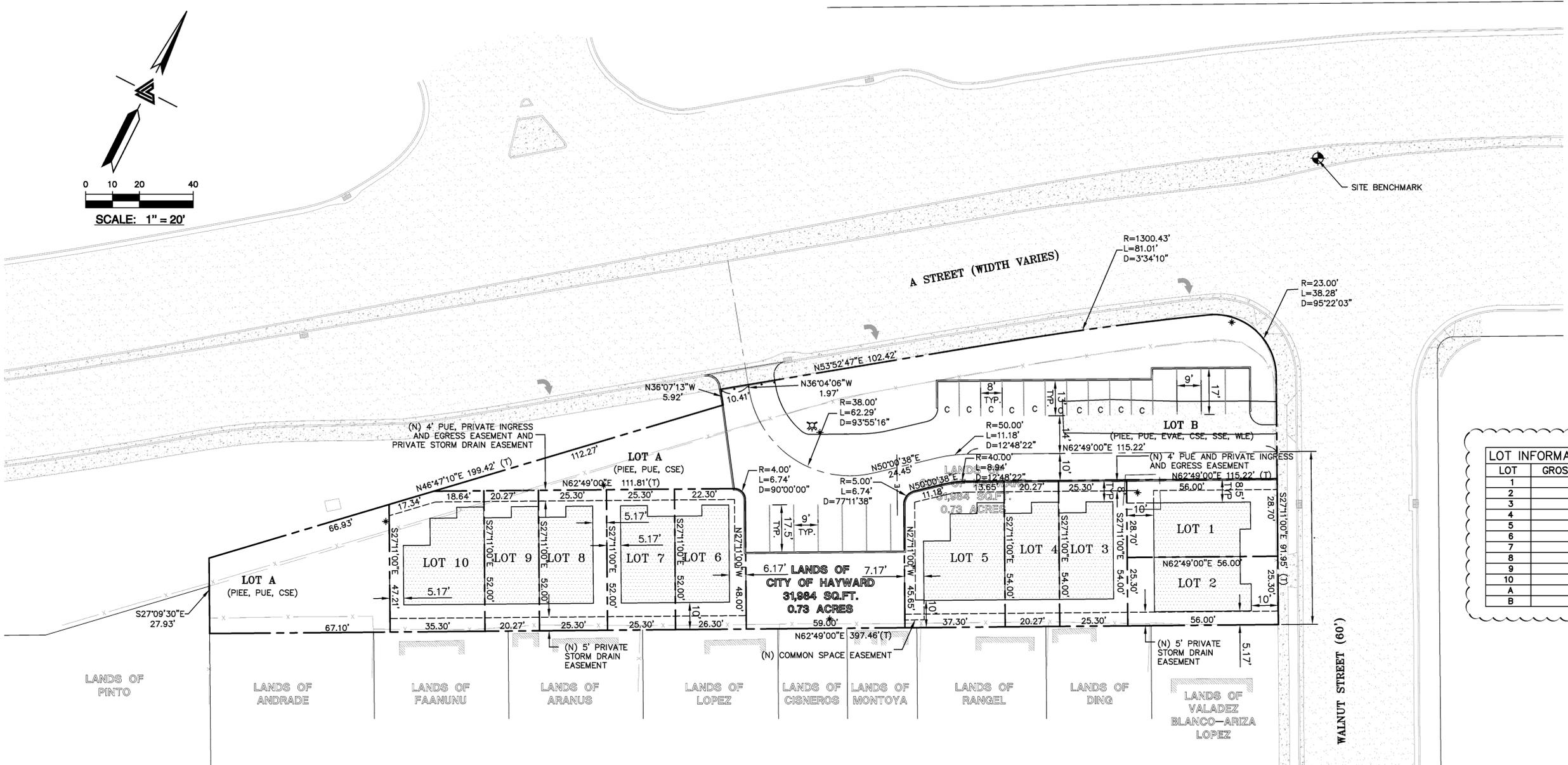
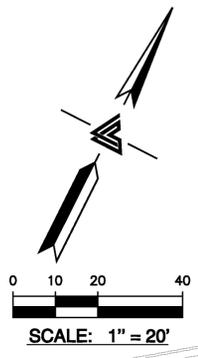
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 SACRAMENTO REGION
 1000 S. HUNTER BLVD., SUITE # 300
 ROSELAND, CALIFORNIA 95661
 HAYWARD, CALIFORNIA 94545
 (P) (510) 887-4086 (F) (916) 966-1338
 (F) (510) 887-3019 (F) (916) 797-7363
 WWW.LEABRAZE.COM

SEQUOIA GROVE
 123 A STREET
 HAYWARD, CALIFORNIA
 HABITAT FOR HUMANITY EAST BAY/
 SILICON VALLEY INC.
 ALAMEDA COUNTY
 APN: 431-0016-088-03

VESTING TENTATIVE MAP
TRACT MAP #8104
LOT LAYOUT PLAN

PLANCHECK	PT
9-12-14	
REVISIONS	BY
JOB NO:	2110310
DATE:	7-30-13
SCALE:	1"=20'
DESIGN BY:	PT
DRAWN BY:	ATL
SHEET NO:	

TNT-2
 2 OF 6 SHEETS



LOT	GROSS AREA (SF)
1	1,607
2	1,417
3	1,366
4	1,095
5	1,969
6	1,364
7	1,316
8	1,316
9	1,054
10	1,796
A	2,521
B	15,164

EASEMENT ABBREVIATIONS

CSE	COMMON SPACE EASEMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
PIEE	PRIVATE INGRESS/EGRESS EASEMENT
PSDE	PRIVATE STORM DRAIN EASEMENT
PUE	PUBLIC UTILITY EASEMENT
SSE	SANITARY SEWER EASEMENT
WLE	WATER LINE EASEMENT

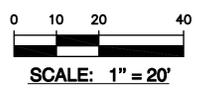
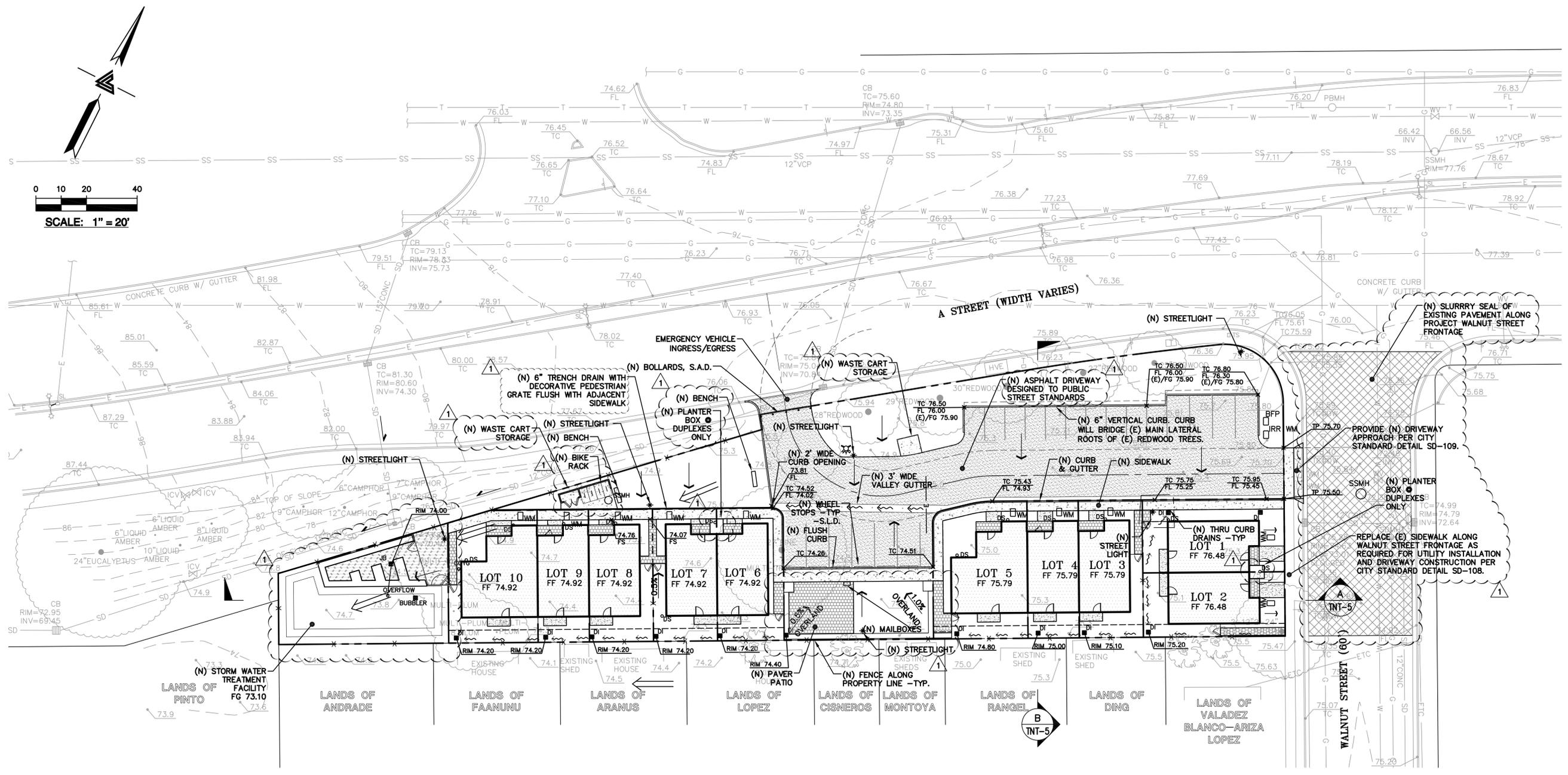


LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 SACRAMENTO REGION
 BAY AREA REGION
 1500 J STREET, SUITE 100, SACRAMENTO, CA 95811
 1500 J STREET, SUITE 100, HAYWARD, CA 94541
 (P) (916) 966-1338 (F) (916) 966-1338
 (P) (510) 887-4066 (F) (510) 887-4066
 WWW.LEA-BRAZE.COM

SEQUOIA GROVE
 123 A STREET
 HAYWARD, CALIFORNIA
 HABITAT FOR HUMANITY EAST BAY/
 SILICON VALLEY INC.
 ALAMEDA COUNTY
 APN: 431-0016-088-03

VESTING TENTATIVE MAP
 TRACT MAP #8104
 PRELIMINARY GRADING
 PLAN

PLANCHECK	PT
9-12-14	
REVISIONS	BY
JOB NO:	2110310
DATE:	7-30-13
SCALE:	1"=20'
DESIGN BY:	PT
DRAWN BY:	ATL
SHEET NO:	



HATCHING LEGEND

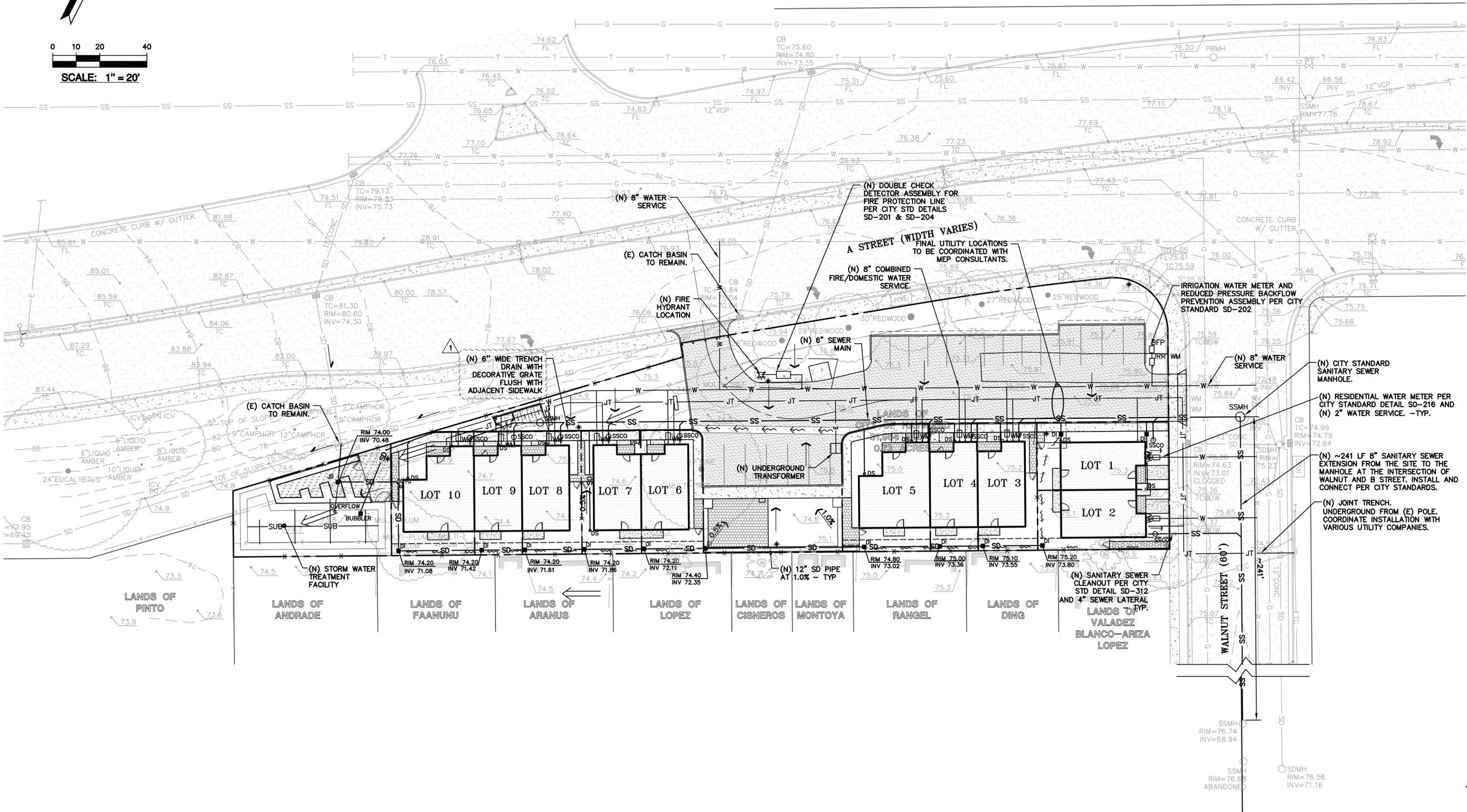
-  ASPHALT PAVEMENT
-  CONCRETE SURFACE
-  PAVERS SET ON SAND
-  SLURRY SEAL (E) ASPHALT PAVEMENT

NOTE:
 ALL EXISTING DRIVEWAY APPROACHES NO LONGER IN USE SHALL BE REMOVED AND REPLACED WITH CITY STANDARD CONCRETE CURB, GUTTER AND SIDEWALK. EXISTING BROKEN CURB AND GUTTER ALONG WALNUT STREET FRONTAGE SHALL BE REPLACED PER CITY STANDARDS





0 10 20 40
SCALE: 1" = 20'



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SACRAMENTO REGION
BAY AREA REGION
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SEQUOIA GROVE
123 A STREET
HAYWARD, CALIFORNIA
HABITAT FOR HUMANITY EAST BAY/
SILICON VALLEY INC.
ALAMEDA COUNTY
APN: 431-0016-088-03

VESTING TENTATIVE MAP
TRACT MAP #8104
PRELIMINARY UTILITY PLAN

PLANCHECK	PT
9-12-14	
REVISIONS	BY

JOB NO: 2110310
DATE: 7-30-13
SCALE: 1"=20'
DESIGN BY: PT
DRAWN BY: ATL
SHEET NO:

TNT-4
4 OF 6 SHEETS

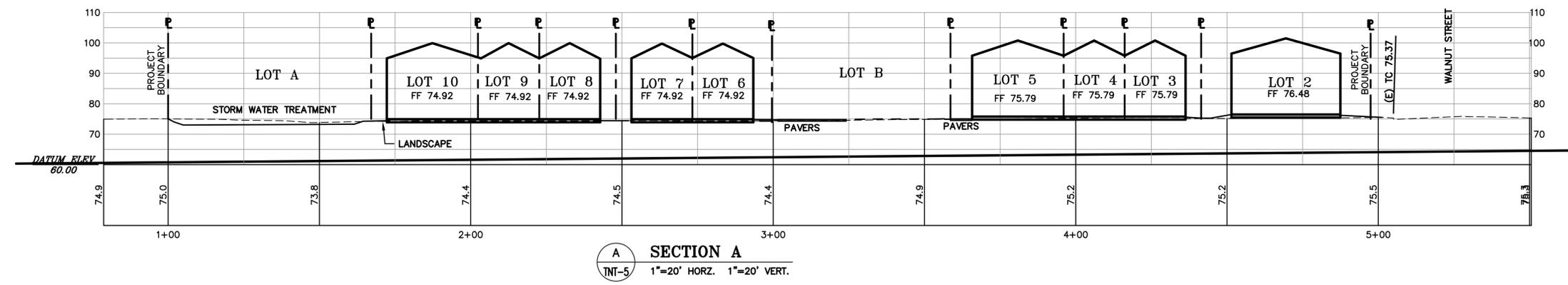




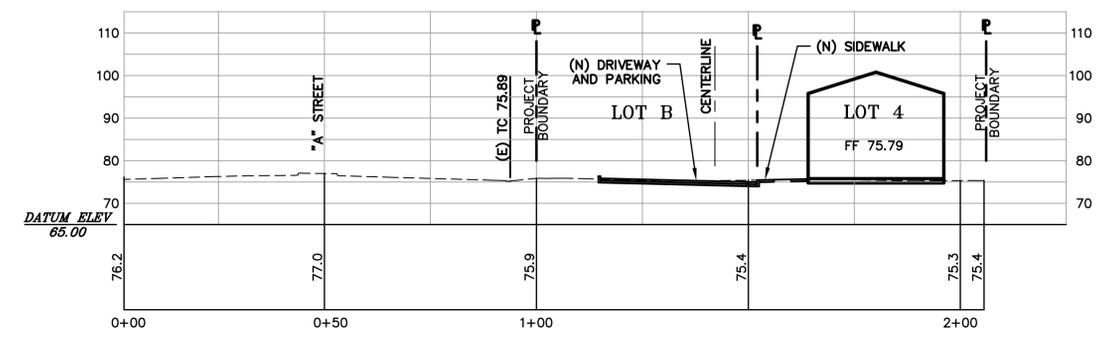
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 SACRAMENTO REGION
 300 JOURNAL WAY, WEST
 HAYWARD, CALIFORNIA 94545
 (P) (510) 887-4066 (F) (916) 966-1338
 (E) 887-3019 (F) (916) 797-7363
 WWW.LEABRAZE.COM

SEQUOIA GROVE
 123 A STREET
 HAYWARD, CALIFORNIA
 HABITAT FOR HUMANITY EAST BAY/
 SILICON VALLEY INC.
 ALAMEDA COUNTY APN: 431-0016-088-03

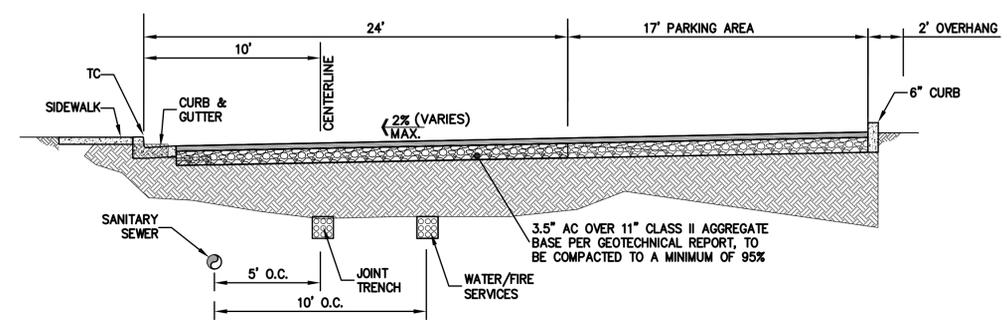
VESTING TENTATIVE MAP
TRACT MAP #8104
SITE SECTIONS



A SECTION A
 1"=20' HORZ. 1"=20' VERT.



B SECTION B
 1"=20' HORZ. 1"=20' VERT.



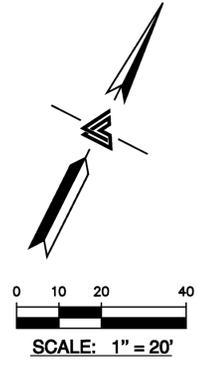
C TYPICAL DRIVEWAY SECTION
 NTS

PLANCHECK	PT
REVISIONS	BY
JOB NO:	2110310
DATE:	7-30-13
SCALE:	1"=20'
DESIGN BY:	PT
DRAWN BY:	ATL
SHEET NO:	



TNT-5
 5 OF 6 SHEETS

STORMWATER MANAGEMENT PLAN TREATMENT AREA TABLE			
DRAINAGE MANAGEMENT AREAS (DMA)	TOTAL IMPERVIOUS AREA	REQUIRED TREATMENT AREA (4%)	* AVAILABLE TREATMENT AREA
DMA-1	19,243 SF	770 SF	1,285 SF



- LEGEND:**
- RUNOFF DRAINAGE DIRECTION
 - AREA DRAIN
 - ▭ CATCH BASIN
 - ▭ DRAINAGE MANAGEMENT AREA
 - ▭ BIORETENTION BMP

PROJECT DESCRIPTION:

123 A STREET
HAYWARD, CA 94541
APN: 431-0016-088-03

DESCRIPTION OF FACILITY ACTIVITY:

CONSTRUCT HOUSING AND EXTEND UTILITIES TO SERVE THE RESIDENTS. FRONTAGE IMPROVEMENTS, ROUGH GRADING, DRIVEWAY, AND UTILITY STUBS WILL BE INSTALLED FOR THESE IMPROVEMENTS.

DESCRIPTION OF WATER BODIES:

THE PROJECT WILL TIE INTO THE CITY'S EXISTING STORM DRAIN SYSTEM.

IDENTIFICATION OF POTENTIAL POLLUTANTS:

POSSIBLE POLLUTANTS FOR THIS SITE INCLUDE TRASH, SEDIMENTS, NUTRIENTS, DUST, CONSTRUCTION DEBRIS, AUTOMOBILE DEBRIS, AND PESTICIDES. THE CONSTRUCTION OF THE PROJECT AND THE LONG TERM MAINTENANCE SHOULD NOT ADD ANY OF THE FOLLOWING: COPPER, NICKEL, DIAZINON, MERCURY, CHLORIDANE, DDT, DIELDRIN, AND PCB'S.

BMP DESCRIPTION

THIS PROJECT USES BMP RECOMMENDATIONS FROM THE ALAMEDA COUNTYWIDE CLEAN WATER PROGRAM INCLUDING A BIO-RETENTION AREA.

THE SITE IS APPROXIMATELY 31,984 SF. THE DEVELOPMENT WILL ADD APPROXIMATELY 19,104 SF OF IMPERVIOUS SURFACE. THE SITE WILL RETAIN APPROXIMATELY 40% PERVIOUS SURFACES, INCLUDING LANDSCAPING AREA AND PERVIOUS PAVING MATERIALS.

THE SITE IS COMPRISED OF ONE DRAINAGE MANAGEMENT AREA (DMA). AREA 1 USES A BIO-RETENTION AREA. BIORETENTION AREA SHALL USE A BIORETENTION MIX PER ATTACHMENT L OF THE E.3 TECHNICAL GUIDANCE DATED MAY 14, 2013.

POST CONSTRUCTION BMP MAINTENANCE AND/OR SOURCE CONTROL

FUEL, OIL PETROLEUM PRODUCTS, PESTICIDES, AND OTHER STORM DRAINAGE POLLUTANT SPILLS NEED TO BE CONTAINED. OWNERS SHALL USE ABSORBENT MATERIAL ON SMALL SPILLS RATHER THAN HOSING SPILLS DOWN. REMOVE THE ABSORBENT MATERIAL PROMPTLY AND DISPOSE OF PROPERLY, AS REQUIRED BY CITY, STATE AND FEDERAL REGULATIONS.

DRAINAGE INLETS SHALL BE INSPECTED MONTHLY AND KEPT CLEAN OF ANY TRASH THAT MAY HAVE ACCUMULATED. IT IS THE RESPONSIBILITY OF THE PROPERTY MANAGER/OWNER TO HAVE THOSE INSPECTIONS PERFORMED, DOCUMENTED AND ANY REPAIRS MADE.

A. LANDSCAPE MAINTENANCE

LANDSCAPE AREAS SHALL BE COVERED WITH PLANTS OR SOME TYPE OF GROUND COVER TO MINIMIZE EROSION. NO AREAS ARE TO BE LEFT AS BARE DIRT THAT COULD ERODE. MOUNDING SLOPES SHALL NOT EXCEED 2 HORIZONTAL TO 1 VERTICAL.

PESTICIDES AND FERTILIZERS SHALL BE STORED AS HAZARDOUS MATERIALS AND IN APPROPRIATE PACKAGING. OVER SPRAYING ONTO PAVED AREAS SHALL BE AVOIDED WHEN APPLYING FERTILIZERS AND PESTICIDES. PESTICIDES AND FERTILIZERS WILL BE PROHIBITED FROM STORAGE OUTSIDE.

THE LANDSCAPE AREAS SHALL BE INSPECTED AND ALL TRASH PICKED UP AND OBSTRUCTIONS TO THE DRAINAGE FLOW REMOVED ON A MONTHLY BASIS MINIMUM. THIS SITE HAS BEEN DESIGNED WITH EFFICIENT IRRIGATION AND DRAINAGE TO REDUCE PESTICIDE USE. PLANTS HAVE BEEN SELECTED BASED ON SIZE AND ARE SITUATED TO REDUCE MAINTENANCE AND ROUTINE PRUNING.

THE INTEGRATED PEST MANAGEMENT INFORMATION ATTACHED WILL BE PROVIDED TO BUILDING MANAGEMENT.

B. DRAINAGE COLLECTION MANAGEMENT

THE STORM DRAINAGE SYSTEM CONSISTS OF AREA DRAINS, CATCH BASINS, COLLECTION AND DISTRIBUTION PIPING, SWALES, AND CLEAN OUTS. ALL STORM DRAIN INLETS MUST BE LABELED "NO DUMPING-DRAINS TO BAY" USING CITY APPROVED METHODS.

THE STORM DRAINAGE COLLECTION SYSTEM SHALL BE CLEANED YEARLY BY THE PROPERTY MANAGEMENT/OWNER. THE INSPECTION SHALL BE PERFORMED DURING THE DRY SEASON. THIS INCLUDES THE FOLLOWING:

*ALL TRASH AND OBSTRUCTIONS SHALL BE REMOVED FROM AREA DRAINS, BUBBLERS, CLEAN OUTS, AND CATCH BASINS.

C. BIO-RETENTION AREA

MAINTENANCE AGREEMENT UPON ACCEPTANCE OF THE DESIGN CONCEPT, A MAINTENANCE AGREEMENT WILL BE DEVELOPED REQUIRING THE PROPERTY MANAGER/OWNER TO PROVIDE THE FOLLOWING INFORMATION ON A ROUTINE BASIS. THESE REQUIREMENTS APPLY ONLY TO THE PORTION OF THE BIORETENTION AREA USED FOR STORM WATER TREATMENT.

MAINTENANCE STANDARDS:

*SOILS AND PLANTINGS MUST BE MAINTAINED, INCLUDING ROUTINE PRUNING, MOWING, IRRIGATION, REPLISHMENT OF MULCH, WEEDING, AND FERTILIZING WITH A SLOW-RELEASE FERTILIZER WITH TRACE ELEMENTS.

*REMOVE OBSTRUCTIONS AND TRASH FROM BIORETENTION AREA.

*ONLY PESTICIDES AND FERTILIZERS THAT ARE ACCEPTED WITHIN THE INTEGRATED PEST MANAGEMENT APPROACH FOR USE IN BIORETENTION AREA SHALL BE USED.

*EROSION AT INFLOW POINTS MUST BE REPAIRED.

BIORETENTION AREAS SHALL BE INSPECTED AND MAINTAINED MONTHLY TO REVIEW:

*OBSTRUCTION AND TRASH

*IF PONDED WATER IS OBSERVED, THE SURFACE SOILS SHALL BE REMOVED AND REPLACED AND SUBDRAIN SYSTEM INSPECTED.

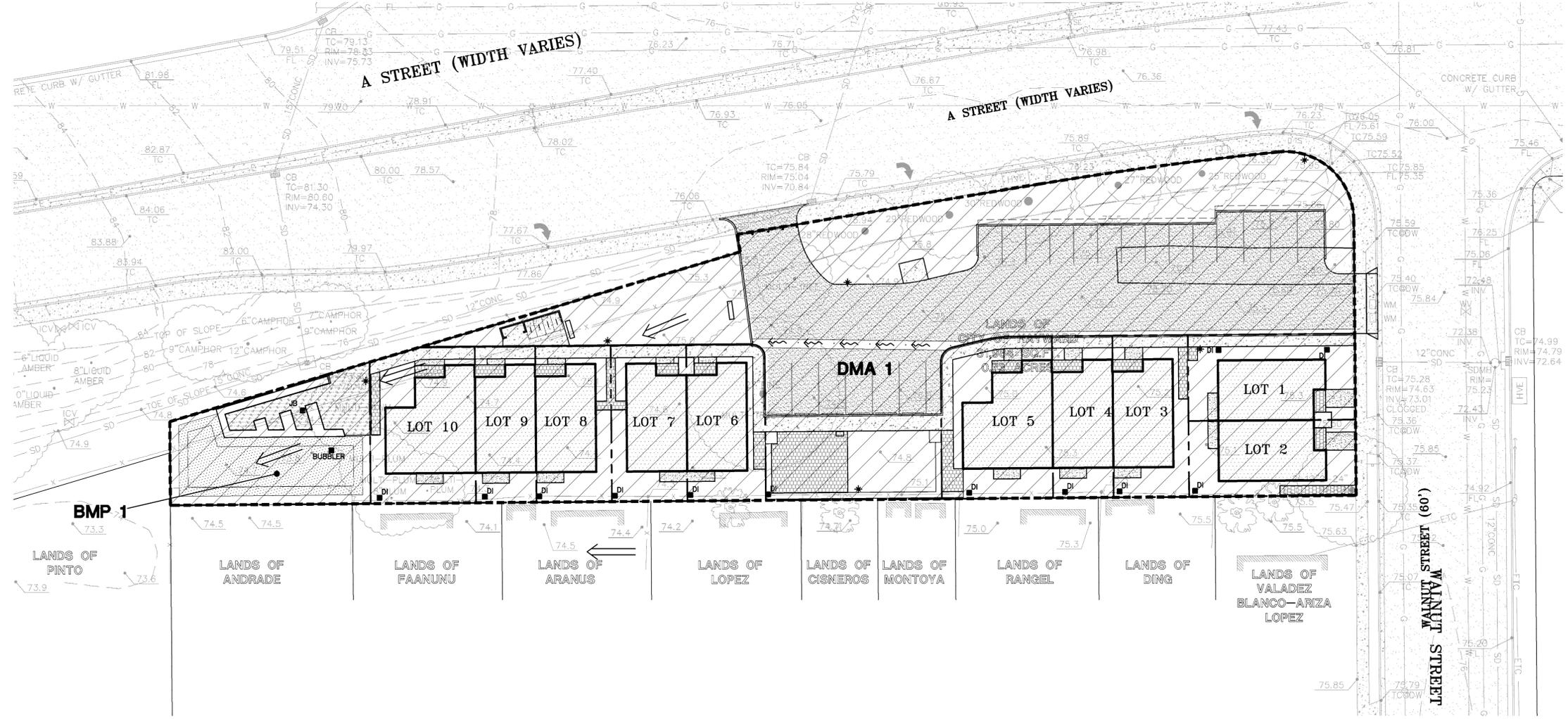
*CONDITION OF GRASSES.

D. TRAINING PROGRAM

A COPY OF THE STORM WATER MANAGEMENT PLANS (SWMP) WILL BE MADE AVAILABLE TO PERSONNEL IN CHARGE OF FACILITY MAINTENANCE AND WILL BE DISTRIBUTED TO THE SUBCONTRACTOR REPRESENTATIVE ENGAGED IN THE MAINTENANCE OR INSTALLATION OF THE BMP'S.

MATERIAL PRESENTED IN THE INTEGRATED PEST MANAGEMENT PROGRAM WILL BE MADE AVAILABLE TO PERSONNEL IN CHARGE OF FACILITY MAINTENANCE AND WILL BE DISTRIBUTED TO THE SUBCONTRACTOR REPRESENTATIVE ENGAGED IN THE MAINTENANCE OR INSTALLATION OF THE BMP'S.

A COPY OF THE YEARLY INSPECTION REPORTS SHALL BE MANAGED BY THE PROPERTY MANAGER/OWNER.



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HABITAT FOR HUMANITY EAST BAY/
SILICON VALLEY INC.
ALAMEDA COUNTY
APN: 431-0016-088-03

VESTING TENTATIVE MAP
TRACT MAP #8104
STORM WATER
CONTROL PLAN

PLANCHECK	PT
REVISIONS	BY
JOB NO:	2110310
DATE:	7-30-13
SCALE:	1"=20'
DESIGN BY:	PT
DRAWN BY:	ATL
SHEET NO:	



TNT-6
6 OF 6 SHEETS

DATE: December 18, 2014

TO: Planning Commission

FROM: Arlynn J. Camire, AICP, Associate Planner
John Nguyen, P.E., Development Review Engineer

SUBJECT: Proposal to subdivide a 2.15-acre parcel to Construct 38 Townhomes at 25993 Dollar Street at the southwest corner of Harder Road, requiring approval of a Site Plan Review Application and Warrants for Parking and Roof Pitch Standards, and adoption of a related Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program. John Compaglia/KB Home, South Bay, Inc. (Applicant) / Wilma Family Trust of 2008 (Owner)

RECOMMENDATION

Staff recommends that the Planning Commission approve the Site Plan Review, Tentative Tract Map 8188, Warrants for Parking and Roof Pitch, and the Mitigated Negative Declaration (MND), and Mitigation Monitoring and Reporting Program (MMRP) (Attachment V), subject to the attached Findings and Conditions of Approval (Attachments III and IV).

SUMMARY

The Project is supported by staff because the proposed density, 17.6 units per net acre, is consistent with the applicable Form Based Code allowed density range of 17.5 to 35 units per net acre, and is consistent with surrounding development, which includes commercial uses and single-family and multi-family development to the west. The townhomes are consistent with the regulations of the Form Based Code with the exceptions of roof pitch and the maximum number of parking spaces. The Form Based Code gives the Planning Director authority to review and take action on the two requested warrants, however, since the project requires Planning Commission review, the Planning Director deferred authority to review and take action on the two warrants. Staff is recommending approval of the two warrants because the 4:12 roof pitch is similar to existing roofs of surrounding buildings and the project is located equal distant between Hayward and South Hayward BART Stations justifying the additional eleven parking spaces to be used by visitors.

BACKGROUND

In 1979, the City approved construction of Woolworth Garden Center, which operated at the site for a number of years. In 1996, the site was approved for the storage of new cars for the Hayward Honda dealership, which has its primary facility at Mission Boulevard and Orchard Avenue.

General Plan/-The property has a General Plan land use designation of Sustainable Mixed Use (SMU), which “generally applies to areas near regional transit that are planned as walkable urban neighborhoods. Typical building types will vary based on the zoning of the property, but will generally include single-family homes, duplexes, triplexes, fourplexes, second units, townhomes, live-work units, multi-story apartment and condominium buildings, commercial buildings, and mixed-use buildings that contain commercial uses on the ground floor and residential units or office space on the upper floors. Sustainable Mixed Use Areas are expected to change substantially in the future, as properties are planned to be developed and redeveloped at relatively high densities and intensities to create walkable and mixed-use neighborhoods and multi-modal corridors.”

DISCUSSION AND STAFF ANALYSIS

The project is an infill site located on the southwest corner of Dollar Street and Harder Road, within the Mission/Foothill Neighborhood and the Hayward Mission Boulevard Corridor Specific Plan/Form-Based Code area. The Form-Based Code identifies the 2.15-acre site as being in the S-T4-2 Urban General Zone. The property is developed with an 8,600-square-foot building and surface parking.

Project Description – The project proposes the construction of thirty-eight townhomes and requires the approval of a Site Plan Review, a Vesting Tentative Tract Map and Warrants (or exceptions) for Parking that exceeds the maximum number allowed and Roof Pitch that is shallower than the minimum pitch required (4:12 versus 5:12 pitch required).

There are two common group open space areas. One is centrally located between Buildings 5 and 7 and is accessible from the entrance to the project site, from the front doors of the surrounding homes, and from the adjacent guest parking. The second common open space is located to the rear of the property, in layer three of the lot, adjacent to the BART tracks which will require noise abatement measures. In addition, each townhome will have at least 100 square feet of private open space accessible from the front door.

Project Site and Context – The site is rectangular, relatively flat, and has twenty-eight trees of varying size and species. There is a sidewalk, curb and gutter on the east side along Dollar Street and a grade separation and City of Hayward landscaped right-of-way and a curb, gutter and sidewalk on Harder Road to the south. To the north of the Project site is similar zoned properties developed with an auto storage lot and auto repair and auto related uses. To the east, which also has a commercial overlay zone that prohibits ground floor residential uses, the properties are developed with auto uses and a CVS pharmacy store that is under construction. To the west are BART and Union Pacific tracks. To the south across Harder Road are two properties developed with a building containing an automobile stereo and cellular store and a restaurant, and a Kmart store.

Development Site Plan - The Project proposes seven buildings: two four-plexes, one 5-plex, three 6-plexes, and one 7-plex. The building footprints range from 2,998 square feet to 10,410 square feet in area. The buildings will contain condominiums designed as townhomes. There are eleven visitor parking spaces. Decorative paving connects each building to the common group open space.

The preliminary landscape plan provides a variety of Bay-Friendly, water efficient landscaping throughout the site. The four mature trees on the Dollar Street frontage will be preserved. The stormwater treatment areas located throughout the site will incorporate the use of landscape and pervious pavers. Bio-retention areas collect water during rainstorm events where water is filtered back into the ground water ecosystem. Final landscape plan details will be reviewed and approved as part of the improvement/construction plans and will be approved prior to building permit issuance.

The private street serving the units will be constructed to the same standards as a public street and have a minimum of twenty-one to twenty-six travel lane measured from face of curb to face of curb and a twenty-six foot to thirty-two-foot fire apparatus access road. The proposed private street right-of-way is adequate for circulation and meets the Fire Department accessibility requirements. The private street shall be designated as a fire lane and no parking will be allowed except in the designated twenty uncovered off-street parking areas within the development. Fire lane signage shall be installed to the satisfaction of the Fire Chief and City Engineer.

Existing improvements along Dollar Street and Harder Road will be repaired as necessary. New curb, gutter and sidewalk will be constructed within the development site and on Dollar Street. Dollar Street right-of-way improvements include installation of three LED light standards, a striped median and left turn pocket, and restriped cross walk at the Harder Road intersection.

The existing utilities in the project vicinity, including sanitary sewer, water and storm drain systems, have sufficient capacity to adequately serve the proposed development. On-site sewer and water utilities will be installed within the new public utility easements within the project site and connected to existing utilities in Dollar Street and Harder Road. Sanitary sewer and water mains will be publicly owned and maintained by the City. The proposed on-site storm drainage system will be connected to an existing catch basin system within the City right-of-way and will be privately owned and maintained by the HOA, including Cleanwater treatment. Any existing overhead utility lines, as well as any new utility lines, will be required to be placed underground as part of the site improvements.

Building Elevations and Floor Plans – As shown on sheets 4.1-4.10 (four-plex), 5.1-5.5 (five-plex), 6.1-6.10 (six-plex) and 7.1-7.5 (seven-plex) in Attachment VI, the project proposes two types of architecture in four building types and three floor plans. The seven proposed buildings have been designed to be attractive and incorporate many design elements of Spanish and Italianate architecture. Both architectural styles incorporate a tile 4:12 pitched roof, but the Spanish design uses gables and the Italianate uses a hipped design over third floor windows. The Spanish design doors have small tile covers held up by smooth round pillars set atop square stucco bases. The Italianate doors are recessed within small entryways, some with rounded doorways and 4:12 pitched tile roofs. Each design has a couple of windows with shutters and the Italianate has rock on the first story façade. Garage doors are at the rear of the buildings and tile and shutter elements have been carried from front elevations to the rear and side elevations. The proposed exterior color palate consists of warm earth tones with rock veneer accenting the Italianate design.

Each of the thirty-eight units is proposed to be three-story and range in size from 1,703 to 1,898 square feet. A two-car garage and den are located on the first floor of all the units. The two end units in each of the seven buildings have a fourth bedroom option instead of the den and a bathroom on the ground floor that would accommodate multi-generational households or aging in place. The kitchen, dining room, laundry, living room, and a powder room are all located on the second floor and three bedrooms and two baths are located on the third floor. Table 1 shows the unit summary for the proposed development.

Table 1

Building Type (Number Proposed)	Number of Stories	Number of Bedrooms/Bathrooms	Living Area (sq. ft.)	Other
Townhomes				
Plan 1 Standard (5)	3	3/2.5	1,703	--
Plan 1 Reverse (5)	3	3/2.3	1,703	--
Plan 2 Standard (6)	3	3/2.5	1,809	--
Plan 2 Reverse (8)	3	3/2.5	1,809	--
Plan 3 Standard (7)	3	4/3.5	1,898	Ground floor den/bedroom and bath
Plan 3 Reverse (7)	3	4/3.5	1,898	Ground floor den/bedroom and bath

Parking -The project has been designed with a total of eighty-seven parking spaces, including one van accessible space, with seventy-six of the spaces to be provided in the two-car garages and eleven open/uncovered spaces available to visitors. The MB-T4-2 zoning district allows up to a maximum of two off-street parking spaces per residential unit, or up to seventy-six spaces. The project is providing uncovered spaces for visitors, which requires approval of a warrant by the Planning Commission, which is discussed later.

Bicycle Parking -Bicycle parking shall conform to the Bicycle Parking Requirements of the Form Based Code, which require for this project a minimum of six Short Term (for visitors) and eighteen Long Term Bicycle parking spaces. Acceptable parking facilities shall be convenient from the street and may include:

- a. Covered, lockable enclosures with permanently anchored racks for bicycles;
- b. Lockable bicycle rooms with permanently anchored racks; and
- c. Lockable, permanently anchored bicycle lockers.

Five loop bike racks are currently proposed in the Landscape Details section of the plans in order to meet both the short and long term bicycle parking requirements.

The two end units within each of the seven buildings have a den/4th bedroom option, which could increase the number of required Long-Term and Short-Term bicycle spaces if the 4th bedroom option is selected by the buyers. A recommended condition of approval requires the installation of Short and Long Term Bicycle Parking.

Green Building Components – The City’s Green Building Ordinance for Private Development is no longer in effect, having been superseded with the new State Green Building and Energy Codes. This also applies to the Water Efficiency Ordinance, which has been entirely superseded by current California codes, with the exception of the *Bay Friendly* standards. All projects need to comply with the 2013 series of California Codes and Hayward’s *Bay Friendly* landscaping standards. The applicant incorporates green building materials and techniques in its construction practices and the project will be Energy Star and GreenPoint Rated, so each home will be energy efficient and will provide a healthy environment for its residents. All of the landscaped areas will have *Bay Friendly* landscaping. In addition, at least eight designated parking spaces for Clean Air vehicles will be provided to comply with Section 5.106.5.2 of the California Green Building Standards Code (CalGreen).

Open Space – The Project is required to provide a minimum of fifteen percent of the lot area as common open space (6,500 sq. ft.), which is shown in green in Attachment II. Additionally, the project also provides a total of 3,800 square feet of private open space via front patios and yards (100 square feet per unit), shown in blue in Attachment II. The Form Based Code does not require the provision of private open space; however, if a Private Frontage is provided, it shall be a minimum of eight feet deep. The typical building setback is ten feet.

As a mitigation measure and a condition of approval prior to building permit submittal, the outdoor noise level of 65 (L_{dn} or CNEL_c) is required to be met. The developer is required to conduct an acoustical analysis by a qualified consultant to ensure that indoor or outdoor noise levels of each new residential unit does not exceed the standards contained in Table HAZ-1 of the City of Hayward General Plan 2040. If those standards are exceeded, mitigation measures for the common open space are required to be implemented. Sound attenuation features are to be in accordance with the consultant’s and/or architect’s recommendations and be confirmed via actual readings prior to project finalization and/or Certificate of Occupancy of units.

Trees, Landscaping, and Fencing - The project will require the removal of twenty-four trees on site, none of which will be relocated. As shown on the conceptual landscape plan, all twenty-four trees proposed to be removed will be replaced with trees of equal or greater value. Four trees will remain in the City right-of-way.

An eight-foot high precast Renaissance style wall is proposed for the west property line along the BART tracks and a six-foot high wall is proposed on the property’s north boundary. A six-foot high wrought iron fence atop a two-foot high retaining wall is proposed for the south property line. The buildings facing Dollar Street on the east side of the property will have a 42-inch wrought iron fence with stone veneer columns around ten-foot-deep patios. Raised planters are proposed for these patio areas.

Storm Drainage – There is an existing twenty-seven inch storm pipe in an existing twenty-three-foot storm drain easement located along the west (BART) side of the property. To meet the Cleanwater requirements, seven bioretention areas will be created in the Project site to treat stormwater runoff generated from the project prior to discharging to the existing twenty-seven inch storm pipe (see Attachment II).

Inclusionary Housing Ordinance-The project is required to comply with the City's Inclusionary Housing Ordinance in effect at time of project approval. An Interim Relief Ordinance (Relief Ordinance) has been developed and extended a couple of times, and is proposed to be further extended on December 16 by City Council for an additional three months to the end of March of 2015, to allow additional time to finalize provisions of a new permanent ordinance. The Relief Ordinance requires that a minimum of 7.5% of attached residential units in a project must be set aside and sold at affordable prices to moderate-income households (households earning 120% of Area Median Income or less). The Relief Ordinance also allows developers to pay an \$80,000 per affordable unit in-lieu fee prior to obtaining a certificate of occupancy for those units. The Inclusionary Housing Agreement (IHA) between the City and the project developer will memorialize the obligations relevant to the compliance with inclusionary housing provisions by the project owner (three affordable units or payment of \$240,000). Pursuant to the City's Inclusionary Housing Ordinance, approval and implementation of an IHA shall be a condition of any tentative map or building permit for any residential development project.

Schools and Transportation – If the project is constructed, anticipated students from the 38 homes would attend Stonebrae Elementary School (8.4 students), Bret Hart Middle School (1.5 students) and Hayward High School (2.7 students). Pursuant to California Code Sections 65996 and 65997, the current state law governing financing of new school facilities in California, payment of school impact fees to the school district represents acceptable mitigation of school impacts.

AC Transit bus route 99 runs along Mission Boulevard and provides service between the Fremont BART station and the downtown Hayward BART station.

Findings for Approval of Site Plan Review – In order for Site Plan Review to be approved, the Planning Commission must make the following findings, as recommended by staff:

1. The development is compatible with on-site and surrounding structures and uses and is an attractive addition to the City;

The proposed 38 townhome development is compatible with adjacent commercial development which meets the City of Hayward Design Guidelines and the design requirements of the Mission Boulevard Corridor Specific Plan/Form Based Code. In addition, the General Plan Land Use and Community Character Element's goal for High Density development is to create more complete, walkable, and sustainable neighborhoods, which is compatible with neighborhood commercial and neighborhood mixed-use.

2. The development takes into consideration physical and environmental constraints;

The proposed 38 townhome development takes into consideration the physical and environmental constraints in that appropriate structural design criteria and the California Building Code will be met to assure that the project can withstand an earthquake and address potentially expansive soils. In addition, the project is adjacent to BART and a noise study will be completed and any mitigation measures complied with to meet the General Plan interior and exterior noise requirements. In addition, the 38 unit townhome development will be constructed

in accordance with the Bay Area Air Quality Management District's ("BAAQMD") *Recommended Methods for Screening and Modeling Local Risks and Hazards* and the project will be operated through the provisions of a Homeowners' Association as required by the conditions of approval. This will assure that the property will be maintained and in compliance with the conditions of approval.

3. The development complies with the intent of City development policies and regulations;

The 38 townhome development meets the density, setback standards, building configuration and common open space requirements of the Mission Boulevard Corridor Specific Plan/Form Based Code- S-T42 General Urban Zone.

The project is consistent with the Mission Boulevard Corridor Specific Plan/Form Based Code purpose to assure "That within neighborhoods, a range of housing types and price levels be provided to accommodate diverse ages and incomes."

The project is consistent with the existing General Plan designation and policies related to density and providing a variety of housing types, specifically:

Community Health and Quality of Life Goals and Policies

Goal HQL-5-Facilitate social interaction and foster a sense of security and community pride by assuring safety in neighborhoods and public spaces.

HQL-5.3 Eyes on the Street

The City shall promote urban design principles that support active use of public spaces in neighborhoods, commercial areas, and employment centers at all times of day. Active use of public spaces provides "eyes-on-the-street" to enhance public safety in these areas.

Goal HQL-6 -Create neighborhoods that enable residents to remain in their homes and live healthy, productive lives as they age.

Land Use Policy

LU-3.7 Infill Development in Neighborhoods: The City shall protect the pattern and character of existing neighborhoods by requiring new infill developments to have complimentary building forms and site features.

Housing Goal and Policies

Goal H-2 Assist in the provision of housing that meets the needs of all socioeconomic segments of the community.

H-2.1 Homeownership Housing:

The City shall encourage the development of ownership housing and assist tenants to become homeowners to reach a 60 percent owner-occupancy rate, within the parameters of federal and state housing laws.

4. The development will be operated in a manner determined to be acceptable and compatible with surrounding development.

The 38-unit townhome development will be required to be maintained to ensure a continued attraction to the area, as required by the recommended conditions of approval, including Covenants, Conditions and Restrictions of the required Homeowners' Association.

Parking and Roof Pitch Warrants- Pursuant to Section 10-25.510 (a)(i)(2), deviation from any provision of the Code followed by a "[W]" is eligible for consideration under a Warrant. A Warrant is required to increase the amount of on-site parking from the allowed seventy-six spaces to the proposed eighty-nine spaces, and to allow a roof pitch of 4:12 instead of the required minimum pitch of 5:12. In approving the Warrants, the Planning Commission may impose any reasonable conditions to ensure that the approval complies with the Findings listed below (except as limited by Section 10-25.135(b)):

Findings for approval of the Parking Warrant – In order for a Warrant to be approved, the Planning Commission must make the following findings, as recommended by staff:

1. Policy Consistency. The Warrant is consistent with the General Plan and overall objectives of the Mission Boulevard Corridor Form-Based Code.

The Housing Element of the General Plan has the (H-4) Goal with the policy of H-4.1 Flexible Development Standards: The City shall review and adjust as appropriate residential development standards, regulations, ordinances, departmental processing procedures, and residential fees that are determined to be a constraint on the development of housing, particularly housing for lower- and moderate-income households and for persons with special needs.

2. Compatibility. The Warrant is justified by environmental features or site conditions; historic development patterns of the property or neighborhood; or the interest in promoting creativity and personal expression in site planning and development.

Parking standards are expressed as maximums since most properties are in close proximity to BART or other transit stations. However, this project is located equal distant between South Hayward and Hayward BART stations (approximately 1.3 and 1.6 miles away, respectively), which is further than the accepted maximum walking distance of a half-mile, and as such, the additional parking is justified and will be available for visitors.

3. No Adverse Impact. The Warrant would result in development that is not detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and in the same zoning district.

According to the City of Hayward, Transportation Manager, providing an additional eleven parking spaces for visitor parking will not place a burden on local and arterial streets by creating excessive peak hour trips.

4. Special Privilege. The Warrant would not affect substantial compliance with the Mission Boulevard Corridor Form-Based Code or grant a special privilege inconsistent with the limitations upon other properties in the vicinity and in the same zoning district.

This warrant is not granting a special privilege or impacting substantial compliance with the Form-Based Code in that the provision of eleven additional parking spaces for visitor parking will allow for additional street parking adjacent to commercial properties on a property that is located a substantial distance away from the nearest BART station. Therefore, it will not place a burden on customers of businesses on adjacent properties.

Roof Pitch – Warrant -The Project, designed with a proposed roof pitch of 4:12, requires a Warrant to provide relief from an architectural standard requiring roof pitch of no less than 5:12. Staff is of the opinion that the Warrant Findings can be made since not all architectural styles can be represented by this standard.

Findings for approval of the Roof Pitch Warrant – In order for a Warrant to be approved, the Planning Commission must make the following findings, as recommended by staff:

1. Policy Consistency. The Warrant is consistent with the General plan and overall objectives of the Mission Boulevard Corridor Form-Based Code.

In that it is the intent of the General Plan and the Mission Boulevard Corridor Specific Plan to provide the opportunities for housing. The intent of the Code is to protect and promote the public health, safety, comfort, convenience, prosperity, and general welfare of the community. A lower roof pitch of 4:12 does not conflict with the intent of the Code.

2. Compatibility. The Warrant is justified by environmental features or site conditions; historic development patterns of the property or neighborhood; or the interest in promoting creativity and personal expression in site planning and development.

The 38 unit townhome development has an architecture that is consistent with adjacent residential and commercial developments that have similar roof pitches. Given the architectural styles proposed for the units, the design of the roofs and associated pitches are appropriate.

3. No Adverse Impact. The Warrant would result in development that is not detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and in the same zoning district.

Allowing a smaller roof pitch will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity since it will allow for the installation of solar panels.

4. Special Privilege. The Warrant would not affect substantial compliance with the Mission Boulevard Corridor Form-Based Code or grant a special privilege inconsistent with the limitations upon other properties in the vicinity and in the same zoning district.

The majority of structures in the vicinity have been built with roof pitches of 4:12 or less. The roof pitch of 5:12 is not a usual development standard for this vicinity and as such would not be the granting of a special privilege.

Vesting Tentative Tract Map 8188 – The proposed subdivision creates eleven parcels for thirty-eight townhomes and four common areas on approximately 2.15 acres of land. The Homeowners’ Association will own and maintain the four common parcels. A vesting tentative tract map is being processed with this site plan review to create individual parcels of land onto which each residential unit will be constructed and sold individually. If the vesting tentative map is approved, a final map and improvement plans will be submitted to the City for review and the City Engineer must find that the improvement plans and final map are in substantial compliance with the approved vesting tentative map and recommend to the City Council for approval of Final Map 8188 for recordation with the Alameda County Recorder’s Office. The developer will enter into a Subdivision Agreement and post bonds with the City prior to commencing any construction activities. The developer is proposing a vesting tentative map so that the developer gains, for a period of three years after the date of approval or conditional approval, the right to proceed with the proposed development in substantial compliance with the ordinances, policies, and standards in effect on the date the vesting tentative map application was deemed complete, which was October 12, 2014.

The formation of a Homeowners’ Association (HOA) and the creation of the Covenants, Conditions and Restrictions (CC&R’s) will be required so that the HOA will be responsible for maintaining all private streets, private street lights, private utilities, and other privately owned common areas and facilities on the site, including, but not limited to, clean water treatment facilities, landscaping, preservation and replacement of trees, as well as decorative paving. For any necessary repairs performed by the City in locations under the on-site decorative paved areas, the City shall not be responsible for the replacement cost of the decorative paving. The replacement cost shall be borne by the HOA established to maintain the common areas within the association boundary. The common area landscaping includes all areas except the private yards. The CC&R’s will also contain a standard condition that if the HOA fails to maintain the common areas, private streets, lights and utilities, the City of Hayward will have the right to enter the subdivision and perform the necessary work to maintain these areas and lien the properties for their proportionate share of the costs.

Findings for the Vesting Tentative Tract Map – In order for a Vesting Tentative Tract Map to be approved, the Planning Commission must make the following findings. Staff’s responses to the finding are below:

- (1) **That the proposed map is consistent with applicable general and specific plans as specified in Section 64541 of the Subdivision Map Act. [Subdivision Map Act §66474(a)]**

The approval of Vesting Tentative Map Tract 8188, as conditioned, substantially conform to the State Subdivision Map Act, the City's Subdivision Regulations, the General Plan and Specific Plan (Hayward Mission Boulevard Form Based Code).

- (2) **That the design or improvement of the proposed subdivision is consistent with applicable general plan and specific plans. [Subdivision Map Act §66474(b)]**

The proposed subdivision, as demonstrate by the aforementioned analysis, is of a design consistent with the City's General Plan and Specific Plan (Hayward Mission Boulevard Form Based Code). The vesting tentative tract map, as conditioned, substantially conforms to the State Subdivision Map Act, the City's Subdivision Regulations, and the General Plan.

- (3) **That the site is physically suitable for the type of development. Subdivision Map Act §66474(c)]**

The preliminary geotechnical investigation performed by Engeo Incorporated (dated May 22, 2014) demonstrates that the proposed residential development is feasible and the proposed subdivision would occur on a site suitable for the proposed development with the recommendation that specific measures be reviewed and implemented to mitigate impacts from expansive soils, to be overseen by the project geotechnical engineer. The site provides sufficient lane widths and ingress/egress points, pedestrian facilities and infrastructure locations, such as water and sewer lines, storm drains and stormwater treatment areas, to support the number of units being proposed.

- (4) **That the site is physically suitable for the proposed density of development. [Subdivision Map Act §66474(d)]**

The preliminary geotechnical investigation performed by ENGO Incorporated (dated May 22, 2014) demonstrates that the proposed residential development is feasible and the proposed subdivision would occur on a site suitable for the proposed development with the recommendation that a design level geotechnical investigation be conducted prior to construction to review the geotechnical aspects of the project. Density is not a factor that makes the site suitable or less suitable for development.

The Mitigated Negative Declaration prepared for the Project determined that the project would not result in significant impacts to traffic since it would not generate sufficient traffic to cause nearby intersections to operate at an unacceptable level of service, nor would it create any issues with safe ingress and egress from the site.

- (5) **That the design of this infill project and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. [Subdivision Map Act §66474(e)]**

The approval of Vesting Tentative Tract Map, as conditioned, will have no significant impact on the environment, cumulative or otherwise. A Mitigated Negative Declaration prepared pursuant to the guidelines of the California Environmental Quality Act (CEQA) for the development of this site demonstrates that substantial adverse environmental damage, including to fish or wildlife and their habitat, would not result from the proposed subdivision.

(6) **That the design of the subdivision or type of improvements are not likely to cause serious public health problems. [Subdivision Map Act §66474(f)]**

Adequate capacity exists to provide sanitary sewer service to the Project site. There are no other aspects of the Project with the potential to cause serious public health problems.

(7) **That the design of the subdivision or type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. [Subdivision Map Act §66474(g)]**

There are two existing public easements within the boundary of the proposed subdivision which have been incorporated into the proposed site plan. Upon completion of the proposed improvements, the streets and utilities would be adequate to serve the project. New public easements are to be offered for dedication as necessary.

ENVIRONMENTAL REVIEW

Staff has prepared an Initial Study, Mitigated Negative Declaration and a Mitigation Monitoring and Report Program for the project (Attachment V), which indicates there will be no significant environmental impacts resulting from the project, provided mitigation measures are incorporated into the project.

Mitigation measures include adherence to the Bay Area Air Quality Management District's *Basic Construction Mitigation Measures*, implementation of tree preservation measures outlined in the applicant's arborist report, and implementation of recommended measures per the geotechnical report and the Form Based Code.

The environmental document was made available for public review from November 26 through December 16, 2014. No comments were received as of the publishing date of this report.

PUBLIC CONTACT

On August 26, 2014, a Notice of Preliminary Meeting with the applicant was sent to every property owner and occupant within 300 feet of the subject site, as noted on the latest assessor's records. Notice was also provided to the Hayward Area Recreation and Park District, Hayward Unified School District, and Alameda County Flood Control and Water Conservation District, among other agencies. The preliminary meeting was held on September 11, 2014, which was attended by staff and the developer and project engineer.

On November 25, 2014, a Notice of Public Hearing for the Planning Commission meeting and review of the Mitigated Negative Declaration was mailed. On December 6, 2014, a Notice of Public Hearing for the Planning Commission meeting and review of the Mitigated Negative Declaration was published. At the time of writing of the report, staff did not receive any responses from the public.

NEXT STEPS

Following the Planning Commission hearing and assuming the Commission approves the project, a ten-day appeal period will follow. The City Council is not required to hear the item. The applicant will be required to incorporate final project conditions of approval and submit a Final Map and Improvement Plans for staff review, with the City Council approving the Final Map. Grading and building permit applications will then be processed and permits issued to allow for construction of the tract improvements and townhomes.

*Prepared by: Arlynn J. Camire, AICP, Associate Planner
John Nguyen, P.E., Development Review Engineer*

Reviewed by: Sara Buizer, AICP, Planning Manager

Approved by:



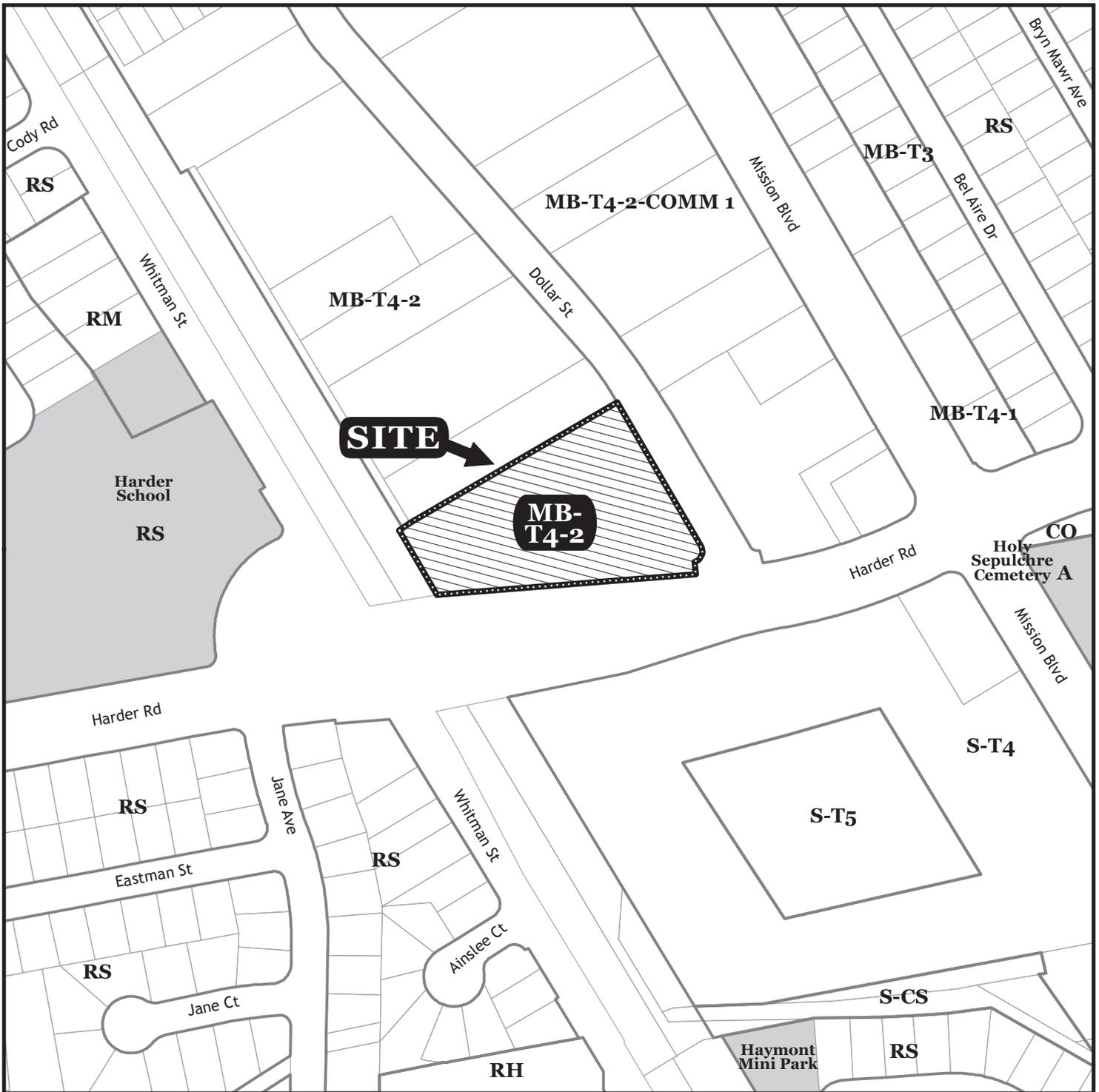
David Rizk, AICP
Development Services Director

Attachments:

- | | |
|----------------|--|
| Attachment I | Area and Zoning Map |
| Attachment II | Open Space Exhibit |
| Attachment III | Recommended Findings for Approval |
| Attachment IV | Recommended Conditions of Approval |
| Attachment V | Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program |
| Attachment VI | Project Plans |



Area & Zoning Map



PL-2014-0208 SPR & TTM 8188

Address:
25993 Dollar Street

Applicant:
John Compaglia

Owner:
Wilma Family Trust of 2008

Zoning Classifications

RESIDENTIAL

- RH High Density Residential, min lot size 1250 sqft
- RM Medium Density Residential, min lot size 2500 sqft
- RS Single Family Residential, min lot size 5000 sqft

COMMERCIAL

- CO Commercial Office

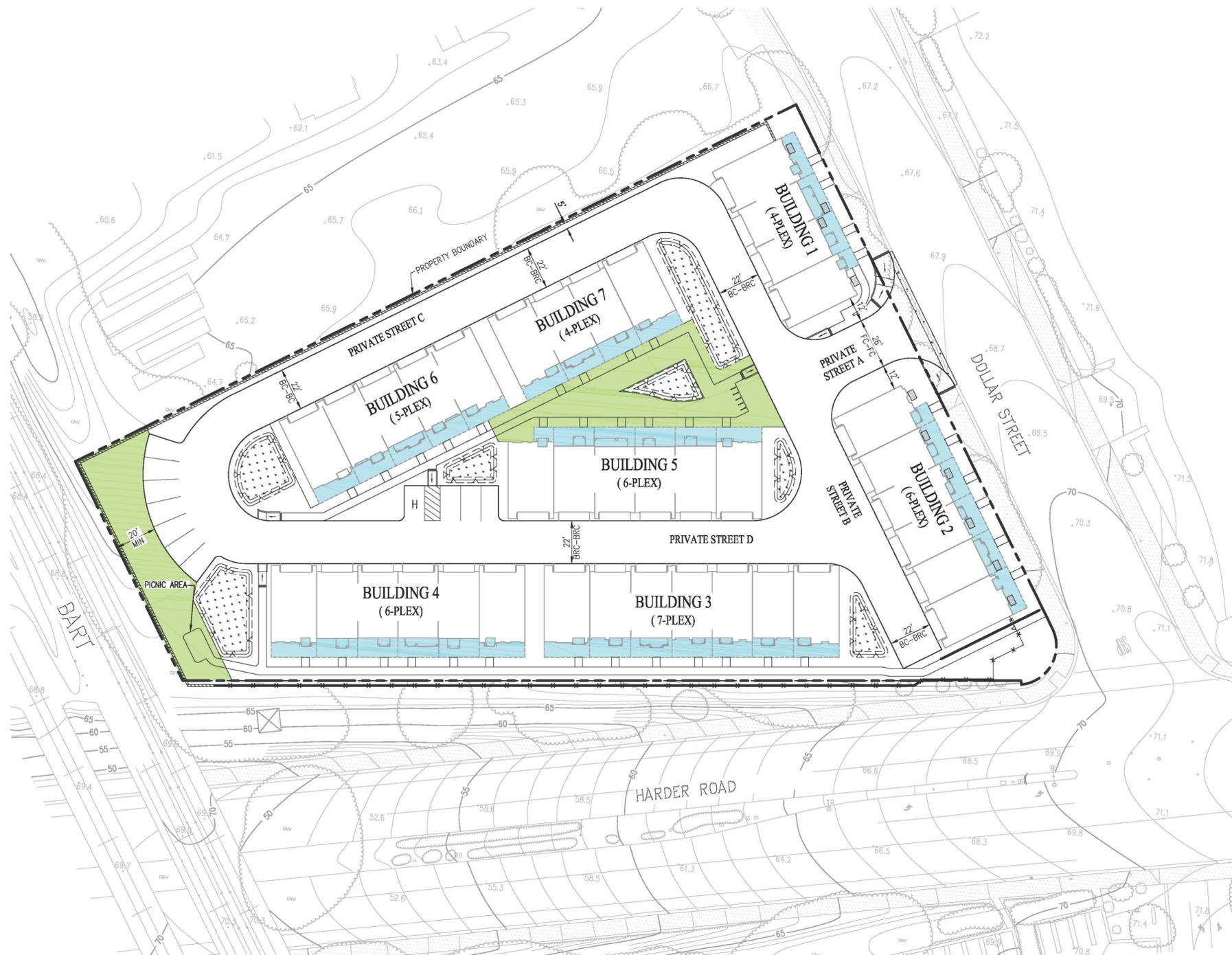
MISSION BLVD FORM-BASED CODE

- MB-T3 Sub-Urban Zone, 4.3 min to 17.5 units max/net acre
- MB-T4-1 Urban General Zone, 17.5 to 35 units/net acre
- MB-T4-2 Urban General Zone, 17.5 to 35 units/net acre
- MB-T4-2-COMM 1 Urban General Zone, 17.5 to 35 units/net acre, Commercial Overlay 1

SOUTH HAYWARD BART FORM-BASED CODE

- S-T4 Urban General Zone, 17.5 to 35 units/net acre
 - S-T5 Urban Center Zone, 35 to 55 units/net acres
 - S-CS Civic Space Zone
- OPEN SPACE**
- A Agricultural





OPEN SPACE AREA SUMMARY

AREA TYPE	REQUIRED AREA (sf)	PROVIDED AREA (sf)
COMMON OPEN SPACE (15% OF BUILDING LOT AREAS)	6,500	6,900 (OPEN SPACE EXCLUDING BIO-RETENTION & BUILDING SET BACK)
PRIVATE OPEN SPACE (100sf/UNIT)	3,800	7,030 (185sf/UNIT)

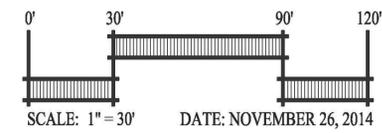
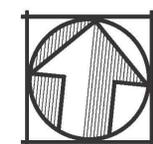
LEGEND

EXISTING	PROPOSED	DESCRIPTION
	---	BOUNDARY
	----	PRECAST WALL
	x x x	FENCE
x 100.0	x 100.0	SPOT ELEVATIONS
	BC-BRC	BACK OF ROLLED CURB
	[Pattern]	BIORETENTION AREA

OPEN SPACE EXHIBIT

DOLLAR STREET / HARDER ROAD

CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA



cbg Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS

2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583

(925) 866-0322
www.cbang.com

SHEET NUMBER
1
1 OF 1

FINDINGS FOR APPROVAL

December 18, 2014

**Dollar Street-Tract 8188 – John Compaglia/KB Home, South Bay, Inc. (Applicant)/
Wilma Family Trust of 2008 (Owner)**

**Site Plan Review, Warrants for Exceeding Number of Parking Spaces and
Not Meeting 5:12 Minimum Required Roof Pitch, and
Vesting Tentative Tract Map Application No. PL-2014-0208 (Tract 8188),
associated with the subdivision and construction of 38 townhomes
and four common parcels on a 2.15-acre site at 25993 Dollar Street**

Findings for Approval – California Environmental Quality Act:

1. Pursuant to CEQA Guidelines Section 15220, an Initial Study (“IS”) was prepared for this project with the finding that a Mitigated Negative Declaration (“MND”) was appropriate because all potentially significant impacts could be reduced to a level of insignificance.
2. That the proposed MND was prepared by the City of Hayward as the Lead Agency and was circulated with a twenty (20) day public review period, beginning on November 26, 2014 and ending on December 16, 2014.
3. That the proposed MND was independently reviewed, considered and analyzed by the Planning Commission and reflects the independent judgment of the Planning Commission; that such independent judgment is based on substantial evidence in the record (even though there may be differences between or among the different sources of information and opinions offered in the documents, testimony, public comments and such responses that make up the proposed MND and the administrative record as a whole); that the Planning Commission adopts the proposed MND and its findings and conclusions as its source of environmental information; and that the proposed MND is legally adequate and was completed in compliance with CEQA.
4. That the proposed MND identified all potential significant adverse impacts and feasible mitigation measures that would reduce these impacts to less-than-significant levels, and that all of the applicable mitigation measures identified in the MND and Mitigation Monitoring and Reporting Program will be adopted and implemented. Based on the MND and the whole record before the Planning Commission, there is no substantial evidence that the project will have a significant effect on the environment.
5. That the project complies with CEQA, and that the proposed MND was presented to the Planning Commission, which reviewed and considered the information contained therein prior approving the project. The custodian of the record of proceedings upon which this decision is based in the Development Services Department of the City of Hayward located at 777 B Street, Hayward, CA 94544.

6. The monitoring and reporting of CEQA mitigation measures in connection with the project will be conducted in accordance with the attached Mitigation Monitoring Program, which is adopted as conditions of approval for the project. Adoption of this program will constitute fulfillment of the CEQA monitoring and/or reporting requirement set forth in Section 21081.6 of CEQA. All proposed mitigation measures are capable of being fully implemented by the efforts of the project sponsor, City of Hayward or other identified public agencies of responsibility.

Findings for Approval - Site Plan Review

- 7. The development is compatible with on-site and surrounding structures and uses and is an attractive addition to the City;**

The proposed 38 townhome development is compatible with adjacent commercial development which meets the City of Hayward Design Guidelines and the design requirements of the Mission Boulevard Corridor Specific Plan/Form Based Code. In addition, the General Plan Land Use and Community Character Element's goal for High Density development is to create more complete, walkable, and sustainable neighborhoods which is Compatible neighborhood commercial and neighborhood mixed-use.

- 8. The development takes into consideration physical and environmental constraints;**

The proposed 38 townhome development takes into consideration the physical and environmental constraints in that appropriate structural design criteria and the California Building Code will be met to assure that the project can withstand an earthquake and address potentially expansive soils. In addition, the project is adjacent to BART and a noise study will be completed and any mitigation measures to meet the General Plan interior and exterior noise requirements. In addition, the 38 unit townhome development will be constructed in accordance with the Bay Area Air Quality Management District's ("BAAQMD") *Recommended Methods for Screening and Modeling Local Risks and Hazards* and the project will be operated through the provisions of a Homeowners' Association as required by the conditions of approval. This will assure that the property will be maintained and in compliance with the conditions of approval.

- 9. The development complies with the intent of City development policies and regulations;**

The 38 townhome development meets the density, setback standards, building configuration and common open space requirements of the Mission Boulevard Corridor Specific Plan/Form Based Code- S-T42 General Urban Zone.

The project is consistent with the Mission Boulevard Corridor Specific Plan/Form Based Code purpose to assure "That within neighborhoods, a range of housing types and price levels be provided to accommodate diverse ages and incomes."

The project is consistent with the existing General Plan designation and policies related to density and providing a variety of housing types, specifically:

Community Health and Quality of Life Goals and Policy

Goal HQL-5-Facilitate social interaction and foster a sense of security and community pride by assuring safety in neighborhoods and public spaces.

HQL-5.3 Eyes on the Street: The City shall promote urban design principles that support active use of public spaces in neighborhoods, commercial areas, and employment centers at all times of day. Active use of public spaces provides “eyes-on-the-street” to enhance public safety in these areas.

Goal HQL-6 -Create neighborhoods that enable residents to remain in their homes and live healthy, productive lives as they age.

Land Use Policy

LU-3.7 Infill Development in Neighborhoods: The City shall protect the pattern and character of existing neighborhoods by requiring new infill developments to have complimentary building forms and site features.

Housing Goal and Policies

Goal H-2 Assist in the provision of housing that meets the needs of all socioeconomic segments of the community.

H-2.1 Homeownership Housing:

The City shall encourage the development of ownership housing and assist tenants to become homeowners to reach a 60 percent owner-occupancy rate, within the parameters of federal and state housing laws.

10. The development will be operated in a manner determined to be acceptable and compatible with surrounding development.

The 38 unit townhome development will be required to be maintained to ensure a continued attraction to the area, as required by the recommended conditions of approval, including Covenants, Conditions and Restrictions of the required Homeowners’ Association.

Findings for Approval -Parking Warrant

11. Policy Consistency. The Warrant is consistent with the General Plan and overall objectives of the Mission Boulevard Corridor Form-Based Code.

The Housing Element of the General Plan has the (H-4) Goal with the policy of H-4.1 Flexible Development Standards: The City shall review and adjust as appropriate residential

development standards, regulations, ordinances, departmental processing procedures, and residential fees that are determined to be a constraint on the development of housing, particularly housing for lower- and moderate-income households and for persons with special needs.

12. Compatibility. The Warrant is justified by environmental features or site conditions; historic development patterns of the property or neighborhood; or the interest in promoting creativity and personal expression in site planning and development.

Parking standards are expressed as maximums since most properties are in close proximity to BART or other transit stations. However, this project is located equal distant between South Hayward and Hayward BART stations (approximately 1.3 and 1.6 miles away, respectively), which is further than the accepted maximum walking distance of a half-mile, and as such, the additional parking is justified and will be available for visitors.

13. No Adverse Impact. The Warrant would result in development that is not detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and in the same zoning district.

According to the City of Hayward, Transportation Manager, providing an additional eleven parking spaces for visitor parking will not place a burden on local and arterial streets by creating excessive peak hour trips.

14. Special Privilege. That the Warrant would not affect substantial compliance with the Mission Boulevard Corridor Specific Plan or grant a special privilege inconsistent with the limitations upon other properties in the vicinity and in the same zoning district.

This warrant is not granting a special privilege or impacting substantial compliance with the Form-Based Code in that the provision of eleven additional parking spaces for visitor parking will allow for additional street parking adjacent to commercial properties on a property that is located a substantial distance away from the nearest BART station. Therefore, it will not place a burden on customers of businesses on adjacent properties.

Findings for Approval - Roof Pitch – Warrant

15. Policy Consistency. The Warrant is consistent with the General plan and overall objectives of this Mission Boulevard Form-Based Code.

In that it is the intent of the General Plan and the Mission Boulevard Corridor Specific Plan to provide the opportunities for housing. The intent of the Code is to protect and promote the public health, safety, comfort, convenience, prosperity, and general welfare of the community. A lower roof pitch of 4:12 does not conflict with the intent of the Code.

16. Compatibility. The Warrant is justified by environmental features or site conditions; historic development patterns of the property or neighborhood; or the interest in promoting creativity and personal expression in site planning and development.

The 38 unit townhome development has an architecture that is consistent with adjacent residential and commercial developments that have similar roof pitches. Given the architectural styles proposed for the units, the design of the roofs and associated pitches are appropriate.

17. No Adverse Impact. The Warrant would result in development that is not detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and in the same zoning district.

Allowing a smaller roof pitch will not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and is consistent with roof pitch of adjacent buildings.

18. Special Privilege. The Warrant would not affect substantial compliance with this Code or grant a special privilege inconsistent with the limitations upon other properties in the vicinity and in the same zoning district.

The majority of structures in the vicinity have been built with roof pitches of 4:12 or less. The roof pitch of 5:12 is not a usual development standard for this vicinity and as such would not be the granting of a special privilege.

Findings for Approval - Vesting Tentative Tract Map:

19. That the proposed map is consistent with applicable general and specific plans as specified in Section 64541 of the Subdivision Map Act. [Subdivision Map Act §66474(a)]

The approval of Vesting Tentative Tract Map 8188, as conditioned, substantially conforms to the State Subdivision Map Act, the City's Subdivision Regulations, and the General Plan and Specific Plan (Hayward Mission Boulevard Form Based Code).

20. That the design or improvement of the proposed subdivision is consistent with applicable general plan and specific plans. [Subdivision Map Act §66474(b)]

The proposed subdivision, as demonstrate by the aforementioned analysis, is of a design consistent with the City's General Plan and Specific Plan (Hayward Mission Boulevard Form Based Code). The vesting tentative tract map, as conditioned, substantially conforms to the State Subdivision Map Act, the City's Subdivision Regulations, and the General Plan.

21. That the site is physically suitable for the type of development. Subdivision Map Act §66474(c)]

The preliminary geotechnical investigation performed by ENGO Incorporated (dated May 22, 2014) demonstrates that the proposed residential development is feasible and the proposed subdivision would occur on a site suitable for the proposed development with the recommendation that specific measures be reviewed and implemented to mitigate impacts

from expansive soils, to be overseen by the project geotechnical engineer. The site provides sufficient lane widths and ingress/egress points, pedestrian facilities and infrastructure locations, such as water and sewer lines, storm drains and stormwater treatment areas, to support the number of units being proposed.

22. That the site is physically suitable for the proposed density of development. [Subdivision Map Act §66474(d)]

The preliminary geotechnical investigation performed by ENGO Incorporated (dated May 22, 2014) demonstrates that the proposed residential development is feasible and the proposed subdivision would occur on a site suitable for the proposed development with the recommendation that a design level geotechnical investigation be conducted prior to construction to review the geotechnical aspects of the project. Density is not a factor that makes the site suitable or less suitable for development.

The Mitigated Negative Declaration prepared for the Project determined that the project would not result in significant impacts to traffic since it would not generate sufficient traffic to cause nearby intersections to operate at an unacceptable level of service, nor would it create any issues with safe ingress and egress from the site.

23. That the design of this infill project and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. [Subdivision Map Act §66474(e)]

The approval of Vesting Tentative Tract Map, as conditioned, will have no significant impact on the environment, cumulative or otherwise. A Mitigated Negative Declaration prepared pursuant to the guidelines of the California Environmental Quality Act (CEQA) for the development of this site demonstrates that substantial adverse environmental damage, including to fish or wildlife and their habitat, would not result from the proposed subdivision.

24. That the design of the subdivision or type of improvements are not likely to cause serious public health problems. [Subdivision Map Act §66474(f)]

Adequate capacity exists to provide sanitary sewer service to the Project site. There are no other aspects of the Project with the potential to cause serious public health problems.

25. That the design of the subdivision or type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. [Subdivision Map Act §66474(g)]

There are two existing public easements within the boundary of the proposed subdivision which have been incorporated into the proposed site plan. Upon completion of the proposed improvements, the streets and utilities would be adequate to serve the project. New public easements are to be offered for dedication as necessary.

CONDITIONS OF APPROVAL

December 18, 2014

**Dollar Street-Tract 8188 – John Compaglia/KB Home, South Bay, Inc. (Applicant)/
Wilma Family Trust of 2008 (Owner)**

**Site Plan Review Application No. 2014-0208, Warrants for Exceeding Maximum Allowed
Number of Parking Spaces and Not Meeting Minimum 5:12 Roof Pitch, and
Vesting Tentative Tract Map Application No. PL-2014-0208 (Tract 8188),
associated with the subdivision and construction of 38 townhomes
and four common parcels on a 2.15-acre site at 25993 Dollar Street**

GENERAL

1. Site Plan Review Application No. 2014-0208 is a request to construct 38 townhomes at 25993 Dollar Street. The project shall be built and the site shall be maintained in accordance with these Conditions of Approval and the approved plans in the City's project files, labeled **Exhibit A**. The Site Plan Review approval shall coincide with the approval period for the Vesting Tentative Tract Map, whichever is later. If a building permit is issued for construction of improvements authorized by the Project approval, said approval shall be void two years after issuance of the building permits, unless the construction authorized by the building permits has been substantially completed or substantial sums have been expended in reliance upon the Project approval.

Exhibit A –Site Plan Review and Vesting Tentative Tract Map 8188 submitted by KB Home, dated September 30, 2014.

2. This approval is subject to the Mitigation Monitoring and Reporting Program included in the City's Project files as Exhibit B.
3. The subdivider/developer shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
4. The developer shall provide six short-term and eighteen long-term bicycle parking spaces. In addition, eight clean vehicle spaces shall be provided and marked accordingly.
5. The project shall be Energy Star Rated and GreenPoint Rated.
6. All Air Quality Mitigation of Section 10-25.300 of the Mission Boulevard Specific Plan shall be met.

7. Any proposal for alterations to the proposed site plan and/or design which does not require a variance to any zoning ordinance standard must be approved by the Development Services Director or his/her designee, prior to implementation.
8. All improvements shall be designed and constructed in accordance with the City of Hayward Municipal Code – Chapter 10, Article 3, and Standard Specifications and Details – unless otherwise indicated hereinafter.
9. All final exterior building finishes, paint colors and other architectural details shall be reviewed and approved by the Planning Division in accordance with the City of Hayward’s Design Guidelines prior to issuance of a building permit for the project.

BUILDING PERMIT SUBMITTAL

10. The Plans for building permit shall be in substantial conformance with the conditions of approval and improvement plans and shall be submitted in after the improvement plans are approved and the Final Map is recorded.
11. The applicant shall submit revised project plans for review and approval by the Planning Director that clearly shows the details of each project amenity. Such project amenity details shall be included in the Building Permit submittal for final approval.
12. The Building Permit Plans shall include the following information and/or details:
 - a) A copy of these conditions of approval shall be included on full-sized sheets.
 - b) Proposed location for construction staging, designated areas for construction employee parking (on- and off-site), construction office, sales office, hours of construction, provisions for vanpooling construction workers or having them use transit to access the site, provisions for noise and dust control, and common area landscaping.
 - c) Details of address numbers shall be provided. Address numbers shall be decorative. Building addresses shall be minimum 4-inch self-illuminated or 6-inch on contrasting background. Address numbers shall be installed so as to be visible from the street.
 - d) Proposed locations, heights, materials and colors of all walls and fences.
 - e) A minimum of one exterior hose bib shall be provided for each residential unit.
 - f) Proposed pavement materials for all drive aisles, parking areas, and pedestrian paths. Surfaces indicated on the approved plans, Exhibit A, shall be enhanced by the use of decorative pavement materials such as colored, stamped concrete (bomanite or equal), brick, concrete interlocking pavers or other approved materials.
 - g) Proposed mailbox design and locations are subject to Post Office approval.
 - h) A final lighting plan prepared by a qualified illumination engineer shall be included to show exterior lighting design. Exterior lighting shall be erected and maintained so that adequate lighting is provided along the private street. The Planning Director shall approve the design and locations of lighting fixtures, which shall reflect the architectural style of the buildings. Exterior lighting shall be shielded and deflected away from neighboring properties and from windows of houses within the project.
 - i) All air conditioners and utility connections for air conditioners shall be located behind solid board fences or walls and shall not exceed the height of the fence or wall, unless

otherwise approved. Infrastructure for air conditioning systems is required to be installed as a standard feature.

- j) Proposed color and materials board for all buildings, fences and walls. No changes to colors shall be made after construction unless approved by the Planning Director.
 - k) All above-ground utility meters, mechanical equipment and water meters shall be enclosed within the buildings or shall be screened with shrubs and/or an architectural screen.
 - l) No mechanical equipment, other than solar panels, shall be placed on the roof unless it is completely screened from view by the proposed roof structure. All roof vents shall be shown on roof plans and elevations. Vent piping shall not extend higher than required by building code. Roof apparatus, such as vents, shall be painted to match the roof color.
 - m) All decorative window treatments shall be extended to all elevations.
 - n) An area within each garage for individual garbage, recycling and organics receptacles shall be provided and shall be clear of the required area for two cars.
 - o) All parking stall dimensions shall conform to the City's Off-street Parking Ordinance. All two car garages shall have minimum interior dimensions of twenty-foot width by nineteen-foot depth. The dimensions shall be shown on plans. No doors, stairs, landings, laundry facilities, trash/recycle/organics receptacles or HVAC shall project within the required interior parking areas.
13. Details of all project amenities shall be submitted for review and approval by the Planning Director prior to submittal for building permit.

Planning Division

14. Mitigation Measure 1:

The Project shall adhere to the following Bay Area Air Quality Management District (BAAQMD) "Basic Construction Mitigation Measures".

- a) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b) All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d) All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- e) Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- f) All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- g) Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action

within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

15. Mitigation Measure 2:

The Project shall adhere to the following that are consistent with the Hayward 2040 General Plan and the Mission Boulevard Corridor Specific Plan Final EIR: As discussed above, the project would be exposed to risks below BAAQMD's thresholds based on the screening analysis. However, the project is located in a "high" risk zone according to the City's Community Risk Reduction Plan (CRRP) and is applicable to the Mission Boulevard Corridor Specific Plan EIR. Thus, the following measures are recommended to reduce risk. These measures are consistent with measures from the City's General Plan EIR and the Mission Boulevard Corridor Specific Plan Final EIR.

- a) The applicant shall install, operate and maintain in good working order a central heating, ventilation and air conditioning (HVAC) system or other air intake system in the building, or in each individual unit, that meets or exceeds a minimum efficiency reporting value (MERV) of 13. The HVAC system shall include the following features: Installation of a high efficiency filter and/or carbon filter to filter particulates and other chemical matter from entering the building. Either high efficiency particulate air (HEPA) filters or American Society of Heating, Refrigeration, and Air-Conditioning Engineers (ASH RAE) certified 85% supply filters shall be used.
- b) The applicant shall maintain, repair and/or replace HVAC system on an ongoing and as needed basis or shall prepare an operation and maintenance manual for the HVAC system and the filter. The manual shall include the operating instructions and the maintenance and replacement schedule. This manual shall be included in the Covenants, Conditions and Restrictions (CC&Rs) for residential projects and/or distributed to the building maintenance staff. In addition, the applicant shall prepare a separate homeowners manual. The manual shall contain the operating instructions and the maintenance and replacement schedule for the HVAC system and the filters.
- c) To the maximum extent practicable, individual and common exterior open space and outdoor activity areas proposed as part of the project shall be located as far away from Mission Boulevard as possible, face away from Mission Boulevard, and shall be shielded from the source of air pollution by buildings or otherwise buffered to further reduce air pollution for project occupants.
- d) Proposed residential units shall locate air intakes and design windows to reduce PM exposure (e.g., windows nearest to the freeway do not open).

16. Mitigation Measure 3:

The applicant shall follow all recommendations in the tree evaluation report including protection of the four off-site trees adjacent to the Project site to be preserved during all phases of the development.

Design recommendations

- a) The Consulting Arborist shall review all project plans to assess potential impacts to trees.
- b) A tree protection zone shall be established around each tree to be preserved. The tree protection zone shall be established at the dripline of trees #587-590. No grading, excavation, construction or storage of materials shall occur within that zone.
- c) No underground services including utilities, sub-drains, water or sewer shall be placed in the tree protection zone.
- d) Tree Preservation Notes, prepared by the Consulting Arborist, should be included on all plans.
- e) Any herbicides placed under paving materials must be safe for use around trees and labeled for that use.
- f) Irrigation systems must be designed so that no trenching will occur within the tree protection zone.

Pre-construction treatments and recommendations for the tree protection zone

- g) The construction superintendent shall meet with the Consulting Arborist before beginning work to discuss work procedures and tree protection.
- h) Fence trees to be retained to completely enclose the tree protection zone prior to demolition, grubbing or grading. Fences shall be six feet chain link or equivalent as approved by consulting arborist. Fences are to remain until all grading and construction is completed.
- i) Prune trees to be preserved to clean the crown and to provide clearance. Any pruning of off-site trees must be done with the property owner's permission. All pruning shall be done by Certified Arborist or Certified Tree Worker in accordance with the Best Management Practices for Pruning (International Society of Arboriculture, 2002) and adhere to the most recent editions of the American National Standard for Tree Care Operations (Z133.1) and Pruning (A300).
- j) Irrigate trees to be preserved or transplanted during the dry summer months (May-October). Irrigation rates shall be determined for each tree by the Consulting Arborist.

Recommendations for tree protection during construction

- k) No grading, construction, demolition or other work shall occur within the tree protection zone. Any modifications must be approved and monitored by the Consulting Arborist.
- l) If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Consulting Arborist so that appropriate treatments can be applied.
- m) No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the tree protection zone.
- n) Any additional tree pruning needed for clearance during construction or around new structures must be performed by a Certified Arborist and not by construction personnel.
- o) Prior to grading, walkway preparation, excavation for foundations/footings/walls or trenching, trees may require root pruning outside the tree protection zone by cutting all roots cleanly to the depth of the excavation. Roots shall be cut by manually digging a

trench and cutting exposed roots with sharp saw. The Consulting Arborist will identify where root pruning is required.

- p) Any roots over two-inches in diameter damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a sharp saw.
- q) As trees withdraw water from the soil, expansive soils may shrink within the root area. Therefore, foundations, footings and pavements on expansive soils near trees should be designed to withstand differential displacement.

Maintenance of impacted trees

- r) Tree preserved at the Dollar Street site will experience a physical environment different from that pre-development. As a result, tree health and structural stability should be monitored. Occasional pruning, fertilization, mulch, pest management, replanting and irrigation may be required. In addition, provisions for monitoring both tree health and structural stability following construction must be made a priority. As trees age, the likelihood of failure of branches or entire trees increases.

17. **Mitigation Measure 4:**

A full design-level geotechnical evaluation shall be conducted and measures as recommended by the project geotechnical consultant shall be implemented. Such measures will reduce the significance of impacts related to expansive soils to a level of insignificance.

18. **Mitigation Measure 5:**

Prior to issuance of a Building Permit, the applicant shall conduct acoustical analysis by a qualified consultant to ensure that indoor or outdoor noise levels of each new residential unit does not that exceed the standards contained in Table HAZ-1of the City of Hayward General Plan 2040. If those standards are exceeded, the design of the units should incorporate sound attenuation features that are to be in accordance with the consultant's and/or architect's recommendations and be confirmed via actual readings prior to project finalization and/or Certificate of Occupancy on units.

19. **Mitigation Measure 6:**

An acoustic analysis shall be prepared to demonstrate how interior noise levels can be maintained below 45 dBA L_{dn} . Design mitigation shall include, but are not limited to the inclusion of windows and doors with high Sound Transmission Class (STC) ratings, and the incorporation of forced-air mechanical ventilation systems necessary to meet 45 dBA L_{dn} and the L_{max} noise limits. Noise barriers shall be installed to shield outdoor activity areas at multi-family residential uses facilitated by the Plan. In addition, the mitigation identified in the acoustic analysis is required to be approved by the Planning Director prior to issuance of a building permit.

20. **Mitigation Measure 7:**

The developer shall do the following to the satisfaction of the City's requirements:

- a) The existing crosswalk at corner of Harder Road and Dollar Street shall be modified to ladder crosswalk to enhance the visibility for pedestrian crossing on Dollar Street at Harder Road.
- b) The developer shall provide a northbound left turn pocket to the development on Dollar Street prior to the completion of the Project.
- c) The developer there shall contribute funding toward installation of new traffic signal at Harder and Dollar intersection for future installation.

PRIOR TO SUBMITTAL OF IMPROVEMENT PLANS AND FINAL MAP

- 21. The developer shall submit subdivision improvement plans including Landscape and irrigation plans and a final map application for the entire project. Said improvement plans and final map shall meet all City standards and submittal requirements except as expressly approved for this Site Plan Review Development. The following information shall be submitted with, or in conjunction with, improvement plans and final map. The City reserves the right to include more detailed conditions of approval regarding required infrastructure based on these more detailed plans.
- 22. Unless otherwise stated, all necessary easements shall be dedicated, and all improvements shall be designed and installed, at no cost to the City of Hayward.
- 23. Unless indicated otherwise, the design for development shall comply with the following:
 - a) All improvements shall be designed and constructed in accordance with the City of Hayward Municipal Code – Chapter 10, Articles 1 and 3, and Standard Specifications and Details.
 - b) All construction shall meet the California Building Codes (CBC) and all applicable City of Hayward Building Codes and amendments in effective at the time of submitting a building permit application.
 - c) Design and construction of all pertinent life safety and fire protection systems shall meet the California Fire Code and all applicable City of Hayward Fire Codes and amendments if effective at the time of submitting a building permit application.
- 24. A Registered Civil Engineer shall prepare all Civil Engineering improvement plans; a Licensed Architect shall prepare all architectural plans; and a Licensed Landscape Architect shall prepare all landscape plans unless otherwise indicated herein.

Subdivision Improvement Plans

- 25. Subdivision Improvement Plans shall be approved prior to the City Council's approval of the Final Map 8188. Submit the following proposed improvement plans with supporting documents, reports and studies:

Storm Water Quality Requirements

- 26. The following materials related to the Storm water quality treatment facility requirements shall be submitted with improvement plans and/or grading permit application. All reports

such as Geotechnical Report, SWPPP, and SWMP, etc. are to be submitted in bound form. Reports that are clipped or stapled will not be accepted:

- a) Hydromodification Management Worksheet.
 - b) Infiltration/Rainwater Harvesting and Use Feasibility Screening Worksheet.
 - c) Development and Building Application Information Impervious Surface Form.
 - d) Project Applicant Checklist of Stormwater Requirements for Development Projects.
 - e) C.3 and C.6 Data Collection Form.
 - f) Numeric Sizing Criteria used for stormwater treatment (Calculations).
 - g) A detailed Stormwater Treatment Plan and supporting documents conforming to the City ordinances and Regional Water Quality Control Board's Staff recommendations for new development and redevelopment controls for storm water programs.
 - h) The Storm Water Pollution Prevention Plan (SWPPP) prepared by QSD with signature of the developer.
 - i) The project plans shall include the storm drain design in compliance with post-construction stormwater requirements to provide treatment of the stormwater according to the National Pollutant Discharge Elimination System (NPDES) permit's numeric criteria. The design shall comply with the C.3 established thresholds and shall incorporate measures to minimize pollutants to the maximum extent practicable (MEP).
 - j) The project plans shall identify Best Management Practices (BMPs) appropriate to the uses conducted on-site in order to limit the entry of pollutants into storm water runoff to the maximum extent practicable.
 - k) The proposed BMPs shall be designed to comply with the hydraulic sizing criteria listed in Provision of the ACCWP NPDES permit (page 30). In addition, the California Stormwater Quality Association's Stormwater Best Management Practice Handbook New Development and Redevelopment, Subsection 5.5 on pages 5-12 has a section titled "BMP Design Criteria for Flow and Volume". These materials are available on the internet at www.cabmphandbooks.com.
 - l) The design of the bioretention treatment area shall use a Bioretention Soil Mix (BSM) per Attachment L of the C.3 Stormwater Technical Guidance dated May 14, 2013, with a minimum infiltration rate of 5 inches per hour.
 - m) All inlet rims in the Bioretention Treatment Area (BTA) shall be set at a minimum of six inches above the flow line of the BTA. The maximum longitudinal flow line slope shall be 0.0007.
 - n) The Geotechnical Report shall be wet-stamped and signed by Geotechnical Engineer or authorized Registered Civil Engineer.
27. The developer shall be responsible for ensuring that all contractors are aware of all storm water quality measures and implement such measures. Failure to comply with the approved construction BMPs will result in the issuance of correction notices, citations or a project stop order.

Private Street

28. The private streets, driveways, and parking areas shall be designed to facilitate street sweeping. The homeowners association shall be responsible for street sweeping on a regular basis.

29. The on-site streetlights and pedestrian lighting shall be LED lights and have a decorative design approved by the Planning Director. The locations of the lights shall be shown on the improvement plans and shall be approved by the City Engineer. Submit photometric plans with the improvement plans. Such fixtures shall have shields to minimize “spill-over” lighting on adjacent properties that are not part of the tract.
30. Private streets shall have a concrete curb and gutter to convey stormwater runoff.
31. The proposed permeable pavers on the private street shall be designed to support a 75,000 pounds gross vehicle weight load.

Public Streets (Dollar Street and Harder Road)

32. Dollar Street shall be restriped to provide a left-turn lane to the development site and a pedestrian crosswalk at the Harder Road intersection.
33. Any damaged and/or broken curb, gutter and sidewalks along the Dollar Street property frontage shall be removed and replaced as determined by the City.

Storm Drainage

34. The Hydrology and Hydraulics Criteria Summary, Alameda County Flood Control and Water Conservation District, latest edition shall be used to determine storm drainage runoff. A detailed drainage plan, to be approved by the Alameda County Flood Control and Water Conservation District (ACFC&WCD) and the City Engineer, designing all on-site drainage facilities to accommodate the runoff associated with a ten (10) year storm and incorporating onsite storm water detention measures sufficient to reduce the peak runoff to a level that will not cause capacity of downstream channels to be exceeded. Existing offsite drainage patterns, i.e., tributary areas, drainage amount and velocity shall not be altered by the development. The detailed grading and drainage plan with supporting calculations and a completed Drainage Review Checklist shall be approved by the City Engineer and by the ACFC&WCD prior to issuance of any construction or grading permit.
35. The project shall also include erosion control measures to prevent soil, dirt, debris and contaminated materials from entering the storm drain system, in accordance with the regulations outlined in the ABAG Erosion and Sediment Control Handbook.
36. The on-site storm drain system shall be privately owned and maintained by the Homeowners’ Association.
37. Improvements for storm drain system shall incorporate the following:
 - a) The project shall not block runoff from, or augment runoff to, adjacent properties. The drainage area map developed for the project hydrology design shall clearly indicate all areas tributary to the project area. The developer is required to mitigate unavoidable augmented runoffs with offsite and/or on-site improvements.
 - b) No surface runoff is allowed to flow over the sidewalks and/or driveways. Area drains shall be installed behind the sidewalks to collect all runoff from the project site.

- c) Storm drain pipes in streets and courts shall be a minimum of twelve inches in diameter with a minimum cover of three feet over the pipe.
- d) All storm drain inlets must be labeled "No Dumping - Drains to Bay," using City-approved methods.
- e) Storm water inlets shall be installed at the curb face per the City of Hayward Standard Details. The design and location shall be approved by the City Engineer.
- f) Post-development flows should not exceed the existing flows. If the proposed development warrants a higher runoff coefficient or will generate greater flow, mitigation measures shall be implemented.

Sanitary Sewer System

- 38. The project sanitary sewer main and appurtenances shall be public, owned and maintained by the City. When the sewer mains are located in a private roadway, either the entire roadway shall be a public utility easement or a minimum ten-foot wide easement shall be granted to the City.
- 39. The development's sanitary sewer main shall connect to the existing 10-inch public sewer main in Harder Road.
- 40. All sewer mains and appurtenances shall be constructed in accordance to the City's "Specifications for the Construction of Sewer Mains and Appurtenances (12" Diameter or Less)," latest revision at the time of permit approval (available on the City's website at <http://user.govoutreach.com/hayward/faq.php?cid=11188>). Sewer cleanouts shall be installed on each sewer lateral at the connection with the building drain, at any change in alignment, and at uniform intervals not to exceed 100 feet. Manholes shall be installed in the sewer main at any change in direction or grade, at intervals not to exceed 400 feet, and at the upstream end of the pipeline.
- 41. Sewer service is available and subject to the standard conditions and fees in effect at time of application and payment.
- 42. Each townhome dwelling unit shall have an individual sanitary sewer lateral. The sewer laterals shall have cleanouts and be constructed per City Standard Detail SD-312. Show the location and size of the proposed sewer laterals and cleanouts on improvement plans.
- 43. Sewer service is available and subject to the standard conditions and fees in effect at time of application and payment.

Water System

- 44. The project water mains shall be public, owned and maintained by the City. The water mains shall be designed as a loop system and located five feet from the face of curb.
- 45. All water mains and hydrants shall be constructed in accordance with the City's "Specifications for the Construction of Water Mains (twelve inches in Diameter or Less) and Fire Hydrants," latest revision at the time of permit approval (available on the City's website at <http://user.govoutreach.com/hayward/faq.php?cid=11188>).

46. All water services from existing water mains shall be installed by City Water Distribution Personnel at the developer's expense. The developer may only construct new services in conjunction with the construction of new water mains.
47. All water meters shall be installed behind the curb and shall be radio-read type.
48. Residential combined domestic and fire services are allowed, per City Standard SD-216. The minimum size for a residential fire service connection is one-inch (combined or not) and the maximum size for combined services is two-inches. If the demand exceeds 160 GPM, a separate fire service connection will be required. Note that, per CBC 2010 R313, flow-through or multipurpose systems may not require a backflow device.
49. Each structure shall have its own fire service connection, sized per the requirements of the Fire Department. Fire services shall have an above ground Double Check Valve Assembly, per City Standards SD-201 and SD-204 if the new fire services are constructed by the developer in conjunction with their construction of the new water main.
50. The developer shall pay for fire flow testing data for the hydrants in the vicinity of the proposed development. Fire flow tests are performed by City Water Distribution Personnel at a charge of \$300 for each fire hydrant. The fire flow test data shall be inscribed on the improvement plans.
51. Water mains and services, including the meters, must be located at least ten feet horizontally from and one-foot vertically above any parallel pipeline conveying untreated sewage (including sanitary sewer laterals), and at least six feet from and one-foot vertically above any parallel pipeline conveying storm drainage, per the current California Waterworks Standards, Title 22, Chapter 16, Section 64572. The minimum horizontal separation distances can be reduced by using higher grade piping materials. In addition, water services must have a minimum separation of twelve inches from adjacent water services.
52. Where a public water main is in an unpaved easement or under decorative, stamped, or colored concrete, including turf-blocks and permeable pavers, the water main shall be constructed of ductile iron.
53. A dedicated irrigation water meter shall be installed for the common landscaping areas. The applicant/developer shall install a Reduced Pressure Backflow Prevention Assembly on each irrigation water meter, per City Standard SD-202. Backflow preventions assemblies shall be at least the size of the water meter or the water supply line on the property side of the meter, whichever is larger. Show the location and size of the proposed irrigation water service line, meter and backflow device.

Solid Waste

54. Applicants must comply with City standards to obtain building permits, as follows:
 - a) Residential Collection of Garbage and Recyclables: Residents are required to place their garbage, recycling, and organics carts at the curb for weekly collection service by contracted service providers:

- i. The standard type of garbage, recycling, and organics containers are (one) thirty-two-gallon cart for Garbage, (one) sixty-four-gallon cart for Recycling, and (one) sixty-four-gallon cart for Organics.
 - ii. Trash and recycle containers shall be stored out of public view on non-pickup days. Sufficient storage space for garbage carts shall be provided for each residential unit. The total space required for the standard service is approximately three feet by nine feet.
 - iii. Residents shall not place carts at the curb any earlier than 6:00 am the day before scheduled collection, and are required to retrieve them no later than midnight the days the carts are emptied. (Hayward Municipal Code Section 5-1.15).
- b) Trash Enclosures: Adequate indoor and outdoor storage space for recyclables is required by state law (California Public Resources Code 42910-42912 and Hayward Municipal Code 5-1.27). Federal provisions require a roof on all outdoor trash enclosures (Federal Clean Water Act). The enclosures shall be adequately sized for collection of trash and recyclables. To deter illegal dumping, a gate on each enclosure is required. Adequate provisions must be provided to ensure that all residents, regardless of physical ability, are able to easily dispose of their garbage and recyclables in the bins. Any arrangements required to provide reasonable access to these trash enclosures shall be included in the CC&R's for this development.
- c) Requirements for Recycling Construction & Demolition Debris: City regulations require that applicants for all construction, demolition, and/or renovation projects, in excess of \$75,000 (or combination of projects at the same address with a cumulative value in excess of \$75,000) must recycle all asphalt and concrete and all other materials generated from the project. Applicants must complete the *Construction & Demolition Debris Recycling Statement*, a *Construction and Demolition Debris Recycling Summary Report*, and weigh tags for all materials disposed during the entire term of the project, and obtain signature approval from the City's Solid Waste Manager prior to any off haul of construction and demolition debris from the project site.

Other Utilities

55. All service to dwellings shall be an "underground service" designed and installed in accordance with the Pacific Gas and Electric Company, AT&T (phone) Company and Comcast cable company regulations. Transformers and switch gear cabinets shall be placed underground unless otherwise approved by the Planning Director and the City Engineer. Underground utility plans must be submitted for City approval prior to installation.
56. All proposed surface-mounted hardware (fire hydrants, electroliers, etc.) along the proposed streets shall be located outside of the sidewalk within the proposed Public Utility Easement in accordance with the requirements of the City Engineer or, where applicable, the Fire Chief.
57. The developer shall provide and install the appropriate facilities, conduit, junction boxes, etc., to allow for installation of a fiber optic network within the subdivision.
58. All utilities shall be designed in accordance with the requirements of the City of Hayward and applicable public agency standards.

Landscape and Irrigation Plans

59. No trees shall be planted with in any Public Utilities Easement to assure access for maintenance. The landscape plan shall conform to this condition of approval.
60. Prior to the approval of improvement plans or issuance of the first building permit, detailed landscape and irrigation plans shall be reviewed and approved by the City and shall be a part of approved improvement plans and the building permit submittal. The plans shall be prepared by a licensed landscape architect on an accurately surveyed base plan and shall comply with the City's *Bay-Friendly Water Efficient Landscape Ordinance, Hayward Environmentally Friendly Landscape Guidelines and Checklist for the landscape professional, and Municipal Codes*. Dripline of the existing trees to be saved shall be shown on the plan.
61. Landscape improvement plans shall include all underground utilities and utility box locations in order to minimize conflicts with tree planting.
62. Mylar of the approved landscape and irrigation improvement plans shall be submitted to the Engineering Department. The size of Mylar shall be twenty-two inches by thirty-four inches without an exception. A four-inch wide by four inches high blank signing block shall be provided in the lower right side on each sheet of Mylar. The signing block shall contain two signature lines and dates for City of Hayward, Landscape Architect/Planner and City Engineer. Upon completion of installation, As-built/Record Mylar shall be submitted to the Engineering Department by the developer.
63. A minimum five feet of landscape area shall be provided; measured from back of curb/hardscape/structure to back of curb/hardscape/structure in all directions.
64. Off-site landscape improvements: Landscape improvements shall include public right-of-way along Dollar Street, Harder Road and at rear fronting the BART right-of-way.
65. Front yard Setback Area: All areas shall be landscaped except for permitted driveways and walkways. Required landscaped areas shall be planted with water-conserving trees, shrubs, water-conserving turf grass for less than twenty-five percent of the total irrigated landscape area, groundcovers or a combination thereof. The sole use of bark, decorative paving or decorative rock shall not be allowed in required landscape areas.
66. Side yard setback area: Where a residential development abuts commercial, minimum ten feet wide landscape setback shall be provided; and one fifteen gallon evergreen tree shall be provided for screening along with understory planting.
67. Planting in Service Easements: No tree shall be planted within utility easements. Additional planting area shall be provided if necessary to provide required tree planting. All easements shall be delineated on the landscape plan.

68. Common open space: Fifteen percent open space shall be required for each lot. Common open space shall provide for group passive or active recreational purposes, and shall be located centrally. Common open space shall not be less than 400 square feet in area, and a rectangle inscribed within it shall have no dimension less than twenty feet. Bio-treatment shall not be counted toward meeting the common open space requirement.
69. A bond will be required for all trees that are to remain. If any trees that are designated as saved are removed or damaged during construction, they shall be replaced with trees of equal size and equal value.
70. Tree mitigation plans shall be provided listing trees to be removed with arborist provided identification numbers, mitigation summary chart listing all trees to be removed, their values and proposed tree sizes and values, and proposed tree location and sizes. Tree mitigation value shall be equal to the appraised value of removed trees.
71. Prior to the issuance of a grading or building permit, a tree preservation bond, surety or deposit, equal in value to the trees to be preserved, shall be provided by the developer. The bond, surety or deposit shall be returned when the tract is accepted if the trees are found to be in a healthy, thriving and undamaged condition. The developer shall provide an arborist's report evaluating the conditions of the trees prior to a release of the bond.
72. Grading and improvement plans shall include tree preservation and protection measures, as required by the City Landscape Architect. Trees shall be fenced at the drip line throughout the construction period.
73. Street Trees: One twenty-four-inch tree shall be planted at every twenty to forty feet in the planting strip between the curb and sidewalks. Street Tree planting in addition to the trees planted in the front landscape setback areas.
74. Front Yard Tree: On single-family lots, one twenty-four-inch tree shall be planted in the front yard. There shall not be a home without a tree.
75. Tree shall be planted twenty feet from street corners, a minimum of five feet away from any underground utilities, a minimum of fifteen feet from a light pole, and a minimum thirty feet from the face of a traffic signal, or as otherwise specified by the city. Root barrier shall be provided for all trees that are located within seven feet of paved edges or structure. Tree shall be planted according to the City Standard Detail SD-122.
76. Wider planting area shall be provided when required tree planting is compromised due to underground utilities such as storm drain laterals, and water and sewer laterals or utility easement.
77. Planting in Bio-Retention Area: Trees and shrubs shall not be planted in the bottom of flow line. Wider planting areas shall be provided when lack of planting areas prevents required trees to be planted.

78. Bio-Retention and Bio-Infiltration Treatment Area: The developer shall provide an Additional one-foot-wide leveled area adjacent to all structures and/or paving including curbs before the treatment side slope begins. Adjacent to parking stalls, the developer shall provide minimum one-foot of leveled planting area before starting side slopes.
79. Masonry walls, solid building walls, or fences facing a street or driveway shall be continuously buffered with shrubs and vines. The landscape plans shall be revised to comply with this condition.
80. All common area landscaping, irrigation and other required improvements shall be installed prior to acceptance of tract improvements, or occupancy of eighty percent of the dwelling units, whichever first occurs.
81. Landscaping shall be maintained in a healthy, weed-free condition at all times and shall be designed with efficient irrigation practices to reduce runoff, promote surface filtration, and minimize the use of fertilizers and pesticides, which can contribute to runoff pollution. The owner's representative shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over thirty percent dieback) shall be replaced within ten days of the inspection. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected by, and size determined by the City Landscape Architect, within the timeframe established by the City and pursuant to the Municipal Code.

Fire Protection

82. New fire hydrants shall be provided along private streets at locations approved by the Hayward Fire Department.
83. All new fire hydrants shall be double steamer type, equipped with (two) four and one half inch outlets and (one) two and a half inch outlet. The capacity of each individual hydrant shall be 1,500 GPM. Vehicular protection may be required for the fire hydrants. Blue reflective fire hydrant dot markers shall be installed on the roadways indicating the location of the fire hydrants. Blue reflective pavement markers shall be installed at fire hydrant locations.
84. Minimum 1,500 GPM of fire flow shall be provided for the project site.
85. Maximum eighty pounds per square inch (PSI) water pressure should be used when water data indicates a higher static pressure. Residual pressure should be adjusted accordingly.
86. Fire apparatus access roads shall be designed and maintained to support 75,000 pounds, the imposed load of fire apparatus, and shall be surfaced so as to provide all-weather driving capability.
87. A fire apparatus access road twenty feet to twenty-six feet wide shall be posted on both sides as a fire lanes; a fire apparatus access road twenty-six feet to thirty-two feet wide shall

- be posted on one side of the road as a fire lane. “No Parking” signs shall meet the City of Hayward Fire Department fire lane requirements.
88. No parking on the new private street shall be allowed except in designated/marked parking stalls.
 89. Underground fire service line serving NFPA 13D (Domestic) sprinkler system shall be installed in accordance with the Hayward Public Work Department SD-216. Water meter shall be minimum one-inch in diameter. Sprinkler monitoring systems shall be provided for NFPA 13 sprinkler systems.
 90. Underground fire service line serving **NFPA 13** sprinkler system shall be installed in accordance with the Hayward Public Work Department SD-204. Water meter shall be minimum four-inch in diameter.
 91. An interior audible alarm device shall be installed within the dwelling in a location so as to be heard throughout the home. The device shall activate upon any fire sprinkler system waterflow activity.
 92. A minimum of a four-inch tall self-illuminated address shall be installed on the front of the dwelling in a location so as to be visible from the street. A minimum of a six-inch tall address shall be installed on a contrasting background for monuments.
 93. All bedrooms and hallway areas shall be equipped with smoke detectors, hard-wired with battery backup. Installation shall conform to the California Building Code (CBC).
 94. Carbon monoxide detectors should be placed near the sleeping area on a wall about five feet above the floor. The detector may be placed on the ceiling. Each floor needs a separate detector.
 95. An approved type spark arrestor shall be installed on any chimney cap.

Hazardous Materials

96. Prior to issuance of Building or Grading Permits, a final clearance shall be obtained from either California Regional Water Quality Control Board or Department of Toxic Substance Control and submitted to the Hayward Fire Department to ensure that the property meets residential development investigation and cleanup standards. Allowance may be granted for some grading activities if necessary to ensure environmental clearances.
97. Prior to grading: Structures and their contents shall be removed or demolished under permit in an environmentally sensitive manner. Proper evaluation, analysis and disposal of materials shall be done by appropriate professional(s) to ensure hazards posed to development construction workers, the environment, future residents and other persons are mitigated.
98. Any wells, septic tank systems and others subsurface structures shall be removed properly in order not to pose a threat to the development construction workers, future residents or the

environment. These structures shall be documented and removed under permit when required.

99. The Hayward Fire Department's Hazardous Materials Office shall be notified immediately at (510) 583-4910 if hazardous materials are discovered during demolition or during grading. These shall include, but shall not be limited to, actual/suspected hazardous materials, underground tanks, vessels that contain or may have contained hazardous materials.
100. During construction, hazardous materials used and hazardous waste generated shall be properly managed and disposed.
101. If hazardous materials storage and/or use are to be a part of the facility's permanent operations then a Chemical Inventory Packet shall be prepared and submitted with building plans to the City of Hayward Fire Department at the time of application for construction permits.

Final Tract Map

102. Prior to recordation, a proposed Final Tract Map shall be submitted for review by the City. The Final Tract Map shall be presented to the City Council for review and action. The City Council meeting will be scheduled approximately sixty (60) days after the Improvement Plans with supporting documents and Final Map are deemed technically correct, and Subdivision Agreement and Bonds are approved by the City. The executed Final Map shall be returned to the City Public Works Department if Final Map has not been filed in the County Recorder's Office within ninety (90) days from the date of the City Council's approval.
103. Prior to the recordation of the Final Tract Map, all documents that need to be recorded with the final map shall be approved by the City Engineer and any unpaid invoices or other outstanding charges accrued to the City for the processing of the subdivision application shall be paid.
104. The final map shall reflect all easements needed to accommodate the project development. The private street shall be dedicated as a Public Utility Easement (PUE), Public Assess Easement (PAE), Water Line Easement (WLE), Sanitary Sewer Easement (SSE), and Emergency Vehicle Access Easement (EVAE).
 - a) Prior to the approval of the Final Map, an Inclusionary Housing Agreement (IHA) shall be submitted and approved by the Planning Director related to providing affordable housing units. The Inclusionary Housing Agreement shall conform to the requirements of the City's Inclusionary Housing Ordinance, including possibly the option of paying required in-lieu fees pursuant to the ordinance. Pursuant to the City's Interim Relief Ordinance (the Relief Ordinance – Ordinance No. 13-01), effective at the time of approval of this project, 10% of detached and 7.5% of attached residential units in a project must be set aside and sold at affordable prices to moderate-income households (households earning 120% of Area Median Income or less). The Relief Ordinance also

allows developers to pay an \$80,000 per affordable unit in-lieu fee by right prior to obtaining a certificate of occupancy for those units. The Inclusionary Housing Agreement (IHA) between the City and the project owner will memorialize the obligations relevant to the compliance with inclusionary housing provisions by the project owner. Pursuant to the City's Inclusionary Housing Ordinance, approval and implementation of an IHA shall be a condition of any tentative map or building permit for any residential development project.

105. Prior to the approval of the Final Map, the developer shall pay the costs of providing public safety services to the project should the project generate the need for additional public safety services. The developer may pay either the net present value of such costs prior to issuance of building permits, or the developer may elect to annex into a special tax district formed by the City and pay such costs in the form of an annual special tax. The developer shall post an initial deposit of \$20,000 with the City prior to submittal of improvement plans to offset the City's cost of analyzing the cost of public safety services to the property and district formation.

PRIOR TO ISSUANCE OF BUILDING OR GRADING PERMITS AND CONSTRUCTION WITH COMBUSTIBLE MATERIALS

106. The developer shall provide evidence of filing of a Notice of Intent (NOI) with the State Water Resources Control Board.
107. Pursuant to the Municipal Code §10-3.332, the developer shall execute a subdivision agreement and post bonds with the City that shall secure the construction of the public improvements. Insurance shall be provided per the terms of the subdivision agreement.
108. Prior to issuance of building permits, a final map that reflects and is in substantial compliance with the approved vesting tentative tract map, shall be approved by the City Engineer and is in the process for filing with the office of the Alameda County Clerk Recorder.
109. Submit the following documents for review and approval, or for City project records/files:
- a) Engineer's estimate of costs, including landscape improvements;
 - b) Signed Final Map;
 - c) Signed Subdivision Agreement;
 - d) Certificate of Insurance; and
 - e) Subdivision bonds.
110. Plans for building permit applications shall incorporate the following:
- a) The approved Precise Plan;
 - b) The approved Improvement Plan; and
 - c) The approved Landscaping and Irrigation Plan.
111. Required water system improvements shall be completed and operational prior to the start of combustible construction.

112. The developer/subdivider shall be responsible to adhere to all aspects of the approved Storm Water Pollution Prevention Plan (SWPPP) per the aforementioned condition of approval.
113. A representative of the project soils engineer shall be on the site during grading operations and shall perform such testing as deemed necessary by the City Engineer. The representative of the soils engineer shall observe all grading operations and provide any recommended corrective measures to the contractor and the City Engineer.
114. The minimum soils sampling and testing frequency shall conform to Chapter 8 of the Caltrans Construction Manual. The subdivider shall require the soils engineer to daily submit all testing and sampling and reports to the City Engineer.

PRIOR TO COMPLETION OF SITE IMPROVEMENTS AND ISSUANCE OF CERTIFICATES OF OCCUPANCY

During Construction

115. The developer shall ensure that unpaved construction areas are sprinkled with water as necessary to reduce dust generation. Construction equipment shall be maintained and operated in such a way as to minimize exhaust emissions. If construction activity is postponed, graded or vacant land shall immediately be revegetated.
116. The following control measures for construction noise, grading and construction activities shall be adhered to, unless otherwise approved by the Planning Director or City Engineer:
- a) Grading and site construction activities shall be limited to the hours 7:00 am to 7:00 pm Monday through Saturday and 10:00 am to 6:00 pm Sunday and Holidays. Grading hours are subject to the City Engineer's approval. Building construction hours are subject to Building Official's approval.
 - b) Grading and construction equipment shall be properly muffled.
 - c) Unnecessary idling of grading and construction equipment is prohibited.
 - d) Stationary noise-generating construction equipment, such as compressors, shall be located as far as practical from occupied residential housing units.
 - e) Applicant/developer shall designate a "noise disturbance coordinator" who will be responsible for responding to any local complaints about construction noise. Letters shall be mailed to surrounding property owners and residents within 300 feet of the project boundary with this information and a copy provided to the Planning Division.
 - f) The developer shall post the property with signs that shall indicate the names and phone number of individuals who may be contacted, including those of staff at the Bay Area Air Quality Management District, when occupants of adjacent residences find that construction is creating excessive dust or odors, or is otherwise objectionable. Letters shall also be mailed to surrounding property owners and residents with this information prior to commencement of construction and a copy provided to the Planning Division.
 - g) Daily clean-up of trash and debris shall occur on public streets adjacent to the project site and other neighborhood streets utilized by construction equipment or vehicles making deliveries.

- h) Gather all construction debris on a regular basis and place them in a dumpster or other container which is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water pollution;
 - i) Remove all dirt, gravel, rubbish, refuse and green waste from the sidewalk, street pavement, and storm drain system adjoining the project site. During wet weather, avoid driving vehicles off paved areas and other outdoor work.
 - j) The site shall be watered twice daily during site grading and earth removal work, or at other times as may be needed to control dust emissions.
 - k) All grading and earth removal work shall follow remediation plan requirements, if soil contamination is found to exist on the site.
 - l) Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
 - m) Sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at construction sites.
 - n) Sweep public streets daily if visible soil material is carried onto adjacent public streets.
 - o) Apply (non-toxic) soil stabilizers or hydroseed to inactive construction areas (previously graded areas inactive for ten-days or more).
 - p) Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
 - q) Broom sweep the sidewalk and public street pavement adjoining the project site on a daily basis. Caked on mud or dirt shall be scraped from these areas before sweeping;
 - r) No site grading shall occur during the rainy season, between October 15 and April 15, unless approved erosion control measures are in place.
 - s) Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site prior to: 1) start of the rainy season; 2) site dewatering activities; or 3) street washing activities; and 4) saw cutting asphalt or concrete, or in order to retain any debris or dirt flowing into the City storm drain system. Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and prevent street flooding. Dispose of filter particles in the trash.
 - t) Create a contained and covered area on the site for the storage of bags of cement, paints, flammables, oils, fertilizers, pesticides or any other materials used on the project site that have the potential for being discharged to the storm drain system through being windblown or in the event of a material spill.
 - u) Never clean machinery, tools, brushes, etc., or rinse containers into a street, gutter, storm drain or stream. See "Building Maintenance/Remodeling" flyer for more information;
 - v) Ensure that concrete/gunite supply trucks or concrete/plasters finishing operations do not discharge washwater into street gutters or drains.
 - w) The developer shall immediately report any soil or water contamination noticed during construction to the City Fire Department Hazardous Materials Division, the Alameda County Department of Health and the Regional Water Quality Control Board.
117. In the event that human remains, archaeological resources, prehistoric or historic artifacts are discovered during construction of excavation, the following procedures shall be followed: Construction and/or excavation activities shall cease immediately and the Planning Division shall be notified. A qualified archaeologist shall be retained to determine whether any such materials are significant prior to resuming groundbreaking

construction activities. Standardized procedure for evaluation accidental finds and discovery of human remains shall be followed as prescribed in Sections 15064.f and 151236.4 of the California Environmental Quality Act.

118. The developer shall comply with standards identified in General Plan, Table HAZ-1 – Exterior Noise Standards for Various Land Uses. The common group open space and all exterior areas shall meet the Highest Level of Exterior Noise Exposure that is Regarded as “Normally Acceptable” for Highest Level of Exterior Noise Exposure that is Regarded as “Normally Acceptable” for Townhomes, Multi-Family Apartments and Condominiums as specified in Table HAZ-1. Measures to ensure compliance with such standards shall be developed by a state licensed acoustical engineer and incorporated into building permit plans, to be confirmed by the Planning and Building Divisions. Also, confirmation by a state licensed acoustical engineer that such standards are met shall be submitted after construction and prior to issuance of certificates of occupancy.
119. Prior to final inspections, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the Planning Director.
120. Prior to the issuance of Certificate of Occupancy, all landscape and irrigation shall be completed and installed in accordance with the approved plan and accepted by the project landscape architect prior to submitting a Certificate of Completion. The final acceptance form must be submitted prior to requesting an inspection with the City Landscape Architect. An Irrigation Schedule shall be submitted prior to the final inspection and acceptance of landscape improvements.
121. Landscape and tree improvements shall be installed according to the approved plans prior to the occupancy of each building. All common area landscaping, irrigation, and other required improvements shall be installed prior to acceptance of tract improvements, or occupancy of eighty percent of the dwelling units, whichever first occurs, and a Certificate of Completion, as-built Mylar and an Irrigation Schedule shall be submitted prior to the Final Approval of the landscaping for the Tract to the Public Works – Engineering and Transportation Department by the developer.

Homeowners’ Association (HOA)

122. Prior to the sale of any parcel, or prior to the acceptance of site improvements, whichever occurs first, Conditions, Covenants and Restrictions (CC&R’s) creating a homeowners association (HOA) for the property shall be reviewed and approved by the Planning Director and City Attorney and recorded. The CC&R’s shall describe how the storm drain system, including stormwater treatment facilities BMP, private street and infrastructure, common landscaping areas and amenities for the developments shall be maintained by the association. The CC&Rs shall include the following provisions:
 - a) Each owner shall automatically become a member of the association(s) and shall be subject to a proportionate share of maintenance expenses.
 - b) A reserve fund shall be maintained to cover the costs of improvements and landscaping to be maintained by the Association(s).

- c) The HOA shall be managed and maintained by a professional property management company.
- d) The HOA shall own and maintain the private access road driveway and parking on “Private Street A”, “Private Street B”, “Private Street C” and “Private Street D.”
- e) The HOA shall own and maintain the on-site storm drain system.
- f) The HOA shall maintain the common area irrigation system and maintain the common area landscaping in a healthy, weed-free condition at all times. The HOA representative(s) shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over thirty percent die-back) shall be replaced within fifteen days of notification to the homeowner. Plants in the common areas shall be replaced within two weeks of the inspection. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected and size determined by the City Landscape Architect, within the timeframe established by the City and pursuant to the Hayward Municipal Code.
- g) A provision that if the HOA fails to maintain the common outdoor patio areas, and all other landscaping and irrigation in all other common areas for which it is responsible so that owners, their families, tenants, or adjacent owners will be impacted in the enjoyment, use or property value of the project, the City shall have the right to enter upon the project and to commence and complete such work as is necessary to maintain the common areas and private streets, after reasonable notice, and lien the properties for their proportionate share of the costs, in accordance with Section 10-3.385 of the Hayward Subdivision Ordinance.
- h) A provision that the building exteriors and fences shall be maintained free of graffiti. The owner’s representative shall inspect the premises on a weekly basis and any graffiti shall be removed within forty-eight hours of inspection or within forty-eight hours of notification by the City.
- i) A tree removal permit is required prior to the removal of any protected tree, in accordance with the City’s Tree Preservation Ordinance.
- j) The garage of each unit shall be maintained for off-street parking of two vehicles and shall not be converted to living or storage areas. An automatic garage door opening mechanism shall be provided for all garage doors.
- k) The residents shall not use common parking spaces for storage of recreational vehicles, camper shells, boats or trailers. These parking spaces shall be monitored by the HOA. The CC&R’s shall include authority for the HOA to tow illegally-parked vehicles.
- l) Individual homeowners shall maintain in good repair the exterior elevations of their dwelling. The CC&Rs shall include provisions as to a reasonable time period that a unit shall be repainted, the limitations of work (modifications) allowed on the exterior of the building, and the right of the home owners association to have necessary work done and to place a lien upon the property if maintenance and repair of the unit is not executed within a specified time frame. The premises shall be kept clean and free of debris at all times. Color change selections shall be compatible with the existing setting.
- m) The HOA shall maintain all fencing, parking surfaces, common landscaping, lighting, drainage facilities, project signs, exterior building elevations, etc. The CC&Rs shall include provisions as to a reasonable time period that the building shall be repainted, the limitations of work (modifications) allowed on the exterior of the buildings, and its power to review changes proposed on a building exterior and its color scheme, and the

- right of the home owners association to have necessary work done and to place a lien upon the property if maintenance and repair of the unit is not executed within a specified time frame. The premises shall be kept clean.
- n) Any future major modification to the approved site plan shall require review and approval by the Planning Commission.
 - o) On-site streetlights and pedestrian lighting shall be owned and maintained by the HOA and shall have a decorative design approved by the Planning Director and the City Engineer.
 - p) Street sweeping of the private street and private parking stalls shall be conducted at least once a month.
 - q) The association shall ensure that no less than seventy-five percent of the units shall be owner-occupied. The CC&Rs shall further provide that the leasing of units as a regular practice for business, speculative investment or other similar purpose is not permitted. However, to address special situations and avoid unusual hardship or special circumstances, such as a loss of job, job transfer, military transfer, change of school or illness or injury that, according to a doctor, prevents the owner from being employed, the CC&Rs may authorize the governing body to grant its consent, which consent shall not be unreasonably withheld, to a unit owner who wishes to lease or otherwise assign occupancy rights to a specified lessee for a specified period.

Prior to the Issuance of Certificate of Occupancy or Final Report

- 123. All buildings shall be designed using the California Building Codes in effective at the time of submitting building permit applications.
- 124. All common area landscaping, irrigation and other required improvements shall be installed according to the approved plans.
- 125. All tract improvements, including the complete installation of all improvements relative to streets, fencing, sanitary sewer, storm drainage, water system, underground utilities, etc., shall be completed and attested to by the City Engineer before approval of occupancy of any unit. Where facilities of other agencies are involved, such installation shall be verified as having been completed and accepted by those agencies.
- 126. Park Dedication In-Lieu Fees are required for all new dwelling units. Fees shall be those in effect at the time of the Vesting Tentative Tract Map is approved. All Park dedication in-lieu fees shall be paid prior to issuance of a Certificate of Occupancy for a residential unit.
- 127. Landscaping shall be maintained in a healthy, weed-free condition at all times and shall be designed with efficient irrigation practices to reduce runoff, promote surface filtration, and minimize the use of fertilizers and pesticides, which can contribute to runoff pollution. The owner's representative shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over thirty percent dieback) shall be replaced within ten days of the inspection. Three inches deep mulch should be maintained in all planting areas. Mulch should be organic recycled chipped wood in the shades of Dark Brown Color. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected by, and size determined by the City

Landscape Architect, within the timeframe established by the City and pursuant to the Municipal Code. Irrigation system shall be tested periodically to maintain uniform distribution of irrigation water; irrigation controller shall be programmed seasonally; irrigation system should be shut-off during winter season; and the whole irrigation system should be flushed and cleaned when the system gets turn on in the spring.

128. The developer/subdivider shall be obligated for the following additional fees. The amount of the fee shall be in accordance with the fee schedule in effect at the time Vesting Tentative Tract Map was accepted as complete, unless otherwise indicated herein: Supplemental Building Construction and Improvement Tax, and School Impact Fee.
129. Final Hayward Fire Department inspection is required to verify that requirements for fire protection facilities have been met and actual construction of all fire protection equipment have been completed in accordance with the approved plan. Contact the Fire Marshal's Office at (510) 583-4910 at least twenty-four hours before the desired final inspection appointment.
130. The improvements associated with the Pacific Gas and Electric Company, AT&T (telephone) company, and local cable company shall be installed to the satisfaction of the respective companies.
131. The Stormwater Treatment Measures Maintenance Agreement for the project, prepared by Public Works Engineering and Transportation Division staff, shall be signed and recorded in concurrence with the Final Map at the Alameda County Recorder's Office to ensure that the maintenance is bound to the property in perpetuity.
132. The developer/subdivider shall submit "as built" plans and final reports for the following:
 - a) Final Storm Water Management Plan (SWMP) prepared by a QSD and signed by a Qualified Inspector;
 - b) AutoCAD file format (release 2010 or later) in a CD of approved final map and 'as-built' improvement plans showing landscape and irrigation improvements, lot and all underground facilities, sanitary sewer mains and laterals, water services (including meter locations), Pacific Gas and Electric, AT&T (phone) facilities, local cable company, etc. that can be used to update the City's Base Maps; and
 - c) Final Geotechnical Report.



CITY OF HAYWARD MITIGATED NEGATIVE DECLARATION

Notice is hereby given that the City of Hayward finds that could not have a significant effect on the environment as prescribed by the California Environmental Quality Act of 1970, as amended will occur for the following proposed Project:

I. PROJECT DESCRIPTION:

Project title: Site Plan Review Application No. PL- 2014 0208 & Vesting Tentative Tract Map No. 8188

Description of Project: The Project calls for the subdivision of a 2.13 acre site in order to develop 38 townhomes and a common open space area. Two exceptions (Warrants) to the Mission Boulevard Corridor Specific Plan are requested. The warrants are to provide 87 parking spaces where 76 parking spaces are required and to allow a 4:12 pitch roof where no less than 5:12 is required.

The Project site consists of a 2.13 acre parcel located at the northwest corner of the intersection of Dollar Street and Harder Road and approximately 350 feet west of Mission Boulevard. The parcel was developed in 1980 with an 8,600-square-foot building used as a Woolworth Garden Center for a number of years then in 1996 the site was used for vehicle storage for the Hayward Honda dealership, which has its primary facility at the corner of Mission Boulevard and Orchard Avenue. The Project site is relatively flat. Twenty-four trees of varying size and species are dispersed across the Project site and four are in the public right-of-way. There is a concrete sidewalk and single curb-cut on Dollar Street and Harder Road. Properties abutting the Project site include auto storage to the north and the BART/Union Pacific Railroad tracts to the west.

II. FINDING PROJECT WILL NOT SIGNIFICANTLY AFFECT ENVIRONMENT:

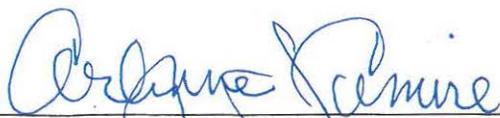
The proposed Project, with the mitigation measures identified in the attached initial study checklist, will not have a significant effect on the environment.

III. FINDINGS SUPPORTING DECLARATION:

1. The proposed Project has been reviewed according to the standards and requirements of the California Environmental Quality Act (CEQA) and an Initial Study Environmental Evaluation Checklist has been prepared for the proposed Project. The Initial Study has determined that the proposed Project, with the recommended mitigation measures, could not result in significant effects on the environment.
2. The Project will not adversely affect any scenic resources. A lighting plan will be required to ensure that light and glare do not affect area views. The new street lights will be installed by the City of Hayward and will meet the street lighting plan. Also, compliance with the City's Design Guidelines will ensure visual impacts are minimized. Landscape plans will also be required to ensure that structures are appropriately screened.

3. The Project will not have an adverse effect on agricultural land since the subject site is not used for such purposes, does not contain prime, unique or Statewide important farmland.
4. The Project will not result in significant impacts related to changes in air quality. When the property is developed the City will require the developer to submit a construction Best Management Practice (BMP) program prior to the issuance of any grading or building permit.
5. The Project, proposed on properties surrounded by other residential development and an elementary school west of the BART and Union Pacific train tracks and commercial uses within an urbanized area, will not result in significant impacts to biological resources. Any trees removed are required to be replaced as per the City's Tree Preservation ordinance.
6. The Project will not result in significant impacts to known cultural resources including historical resources, archaeological resources, paleontological resources, unique topography or disturb human remains.
7. The Project will not result in significant impacts to geology and soils. The Project is located 0.25 miles west of the Hayward fault, which poses potential risk to any development in the City of Hayward. Recommendations of the Project geotechnical engineer will be required to be incorporated into Project design and implemented throughout construction, to address such items as seismic shaking, liquefaction and potentially expansive soils. Construction will also be required to comply with the California Building Code standards to minimize seismic risk due to ground shaking.
8. The Project will not lead to the exposure of people to hazardous materials.
9. The Project will be required to meet all water quality standards as part of the normal development review and construction process, to be addressed in a Stormwater Pollution Prevention Plan and Erosion Control Plan that utilize best management practices. Drainage improvements will be required to accommodate stormwater runoff, so as not to negatively impact the existing downstream drainage system of the Alameda County Flood Control and Water Conservation District.
10. The Project will meet the development standards and design guidelines of the Mission Boulevard Corridor Specific Plan, General Urban 2 (MB-T4-2) with two warrants (exceptions) of providing eleven additional parking spaces for visitor parking and providing a roof pitch of 4:12 when not less than 5:12 is required. The General Plan designation for the site allows for townhouses.
11. The Project will not result in any long-term noise impacts. Construction noise will be mitigated through restriction on construction hours, mufflers, etc., to be approved as part of the future building permits for the townhouses. BART noise will be mitigated through construction design.
12. The Project will not result in significant impacts related to population and housing in that the amount of development proposed is within the range of development analyzed in the Hayward General Plan.
13. The Project will not result in a significant impact to public services in that development is at least as intensive as that proposed was analyzed in the Hayward General Plan EIR and found to have less-than-significant impacts.
14. The Project will not result in significant impacts to traffic since it would not generate sufficient traffic to cause nearby intersections to operate at an unacceptable level of service. A left turn pocket and contribution to a future traffic signal are required of the project.

IV. PERSON WHO PREPARED INITIAL STUDY:



Arlyne J. Camire, AICP, Associate Planner

Dated: November 26, 2014

V. COPY OF ENVIRONMENTAL CHECKLIST IS ATTACHED

For additional information, please contact the City of Hayward, Planning Division, 777 B Street, Hayward, CA 94541-5007, telephone (510) 583-4200

DISTRIBUTION/POSTING

- Provide copies to all organizations and individuals requesting it in writing.
- Provide a copy to the Alameda County Clerk's Office.
- Reference in all public hearing notices to be distributed 20 days in advance of initial public hearing and/or published once in Daily Review 20 days prior to hearing.
- Project file.
- Post immediately upon receipt at the City Clerk's Office, the Main City Hall bulletin board, and in all City library branches, and do not remove until the date after the public hearing.



**DEPARTMENT OF DEVELOPMENT SERVICES
Planning Division**

INITIAL STUDY CHECKLIST

1. **Project Title:** Site Plan Review No. PL-2014-0208 and Vesting Tentative Tract Map 8188
2. **Lead agency name/address:** City of Hayward / 777 B Street, Hayward, CA 94541-5007
3. **Contact person:** Arlynn J. Camire, AICP, Associate Planner
4. **Project location:** 25993 Dollar Street, Hayward, CA 94544
5. **Project Sponsor's Name and Address:** John Compaglia/KB Home, South Bay, Inc, 5000 Executive Parkway, Suite 125, San Ramon, CA, 94583
6. **Existing General Plan Designation:** Sustainable Mixed Use (SMU)
7. **Existing Zoning:** Mission Boulevard Corridor Specific Plan, General Urban 2 (MB-T4-2)
8. **Project description:** The Project calls for the subdivision of a 2.13 acre site to develop 38 townhomes and a common open space area. Two exceptions (Warrants) to the Mission Boulevard Corridor Specific Plan are requested. The warrants are to provide 87 parking spaces where 76 parking spaces are required to allow for visitor parking and to allow a 4:12 pitch roof where no less than 5:12 is required.
9. **Requested Local Approvals:** The following actions by the Lead Agency are necessary to carry out the Project:
 - Site Plan Review: Request to allow the construction of 38 townhomes in seven buildings.
 - Warrants: Two exceptions from the Mission Boulevard Corridor Specific Plan development standard are required to be granted to allow 87 parking spaces where 76 parking spaces are required and to allow a 4:12 pitch roof where no less than 5:12 is required.
 - Vesting Tentative Map: (Vesting Tentative Tract Map No. 8188) A Tentative Map is needed to subdivide the property into 6 lots and 4 common parcels for streets, visitor parking and common open space.
 - Building Permit: (Hayward Municipal Code 07-17) The City of Hayward Development Services Department would review the proposed construction activities.
 - Encroachment Permit: [Hayward Municipal Code, Article 2 (Streets)] The City of Hayward Public Works Department would review proposed construction activities associated with the Project's utility, driveway and traffic control improvements within Dollar Street and Harder Road.

10. Other public agencies whose approval is required: None.

11. Surrounding land uses and setting: To the north Project site is a similar zoned properties developed with an auto storage lot and auto repair and auto related uses. To the east with a commercial overlay the properties are developed with auto uses and a CVS pharmacy store that is under construction. To the west are Bay Area Rapid Transit and Union Pacific tracks and west of the tracks are properties in the Medium Density Residential District (RM) developed with four-four unit apartment buildings and a single family home, and a Single Family Residential District (RS) developed with Harder Elementary School and a neighborhood of single-family homes. To the south across Harder Road are two properties developed with a building containing an auto an automobile stereo and cellular store in the S-T4 District, and a restaurant, and a Kmart in the S-T4 and S-T5 Districts. The S-T5 zone allows for mixed use development with higher density than the S-T4 District.

Regional Setting

The City of Hayward is known as the “Heart of the Bay” thanks to its central and convenient location in Alameda County along the east side of the San Francisco Bay, twenty-five (25) miles southeast of San Francisco, fourteen (14) miles south of Oakland, twenty-six (26) miles north of San Jose, and ten (10) miles west of the valley communities of San Ramon, Dublin and Pleasanton. **Figure 1 (Regional Location)** depicts the Project’s location relative to the broader San Francisco Bay region.

The City of Hayward lies at the southeastern shore of the San Francisco Bay, at the western toe of the Diablo Mountain Range. Topography in the eastern portion of Hayward generally consists of moderately steep foothills descending from the Diablo Range, leveling into a valley before reaching the San Francisco Bay.

The Nimitz Freeway (US 880) passes through the City of Hayward on its path between the City of San Jose and Bay Bridge (in Oakland). The San Mateo Bridge (State Route 92) spans the San Francisco Bay between the cities of Hayward and Foster City.

The City of Hayward borders on a large number of municipalities and communities. The cities bordering on Hayward are San Leandro, Union City, Fremont and Pleasanton. The census designated places bordering on Hayward (within the County of Alameda) are Castro Valley, San Lorenzo, Cherryland, Sunol and Fairview.

City Setting

The modern City of Hayward had its origins in the 1850s during the Gold Rush. An approximate twenty-eight (28) block area in the vicinity of Hayward’s Historic City Hall was provided the first parcels of land for settlers. Over the intervening years, Hayward urbanized by transforming agricultural lands to various forms of residential, commercial, and industrial development connected by a series of local streets and regional highways. Today, the City of Hayward is highly urbanized with the shoreline and hillsides being natural open space.

Presently, the western and southern portions of Hayward primarily consist of industrial land uses (e.g., warehouses, distribution facilities, manufacturing). To the east and north of this industrial corridor, in which the Project is located, lie numerous tracts of residential development often centered upon public school sites. Commercial development tends to be located along major arterial streets (e.g., Hesperian Boulevard, Tennyson Road, Mission Boulevard) passing by or through the residential tracts. **Figure 2 (City Setting)** depicts the Project’s location relative to the broader San Francisco Bay region.

Local Setting

The Project site is within the Mission Foothills neighborhood. The location consists largely of commercial properties along Dollar Street and Mission Boulevard and single family and multiple family residential land uses and an elementary school constructed after in the early 1950's World War II to the west of the BART and Union Pacific Tracks located to the rear of the Project site. **Figure 3 (Local Setting)** depicts the Project's location relative to the surrounding area in the City of Hayward.

Existing Project Site Setting

The Project site consists of a 2.13 acre parcel located at the northwest corner of the intersection of Dollar Street and Harder Road and approximately 350 feet west of Mission Boulevard. The parcel was developed in 1980 with an 8,600-square-foot building used as a Woolworth Garden Center for a number of years then in 1996 the site was used for vehicle storage for the Hayward Honda dealership, which has its primary facility at the corner of Mission Boulevard and Orchard Avenue. The Project site is relatively flat. Twenty-eight trees of varying size and species are dispersed across the Project site with four in the public right-of-way. There is a concrete sidewalk and single curb-cut on Dollar Street and Harder Road. Properties abutting the Project site include auto storage to the north and the BART/Union Pacific Railroad tracts to the west.

The Hayward Mission Boulevard Form Based Code ("Code") has an effective date of February 4, 2014. This Code carries out the policies of the Hayward General Plan by classifying and regulating the types and intensities of development and land uses within the Code area consistent with, and in furtherance of, the policies and objectives of the General Plan. The zoning designation for this site under the Code is MB-T4-2 General Urban 2, which consists of mixed use but primarily residential urban fabric. It includes a mix of building types: townhouses, apartment buildings, mixed-use buildings and commercial buildings. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.

The Hayward Mission Boulevard Corridor Specific Plan density range for the site is 17.5 units – 35 units per net acre for a minimum density of 37 units and maximum density of 74 units per net acre. Therefore the Project at 38 townhouses meets minimum net acre density requirements pursuant to the Code.

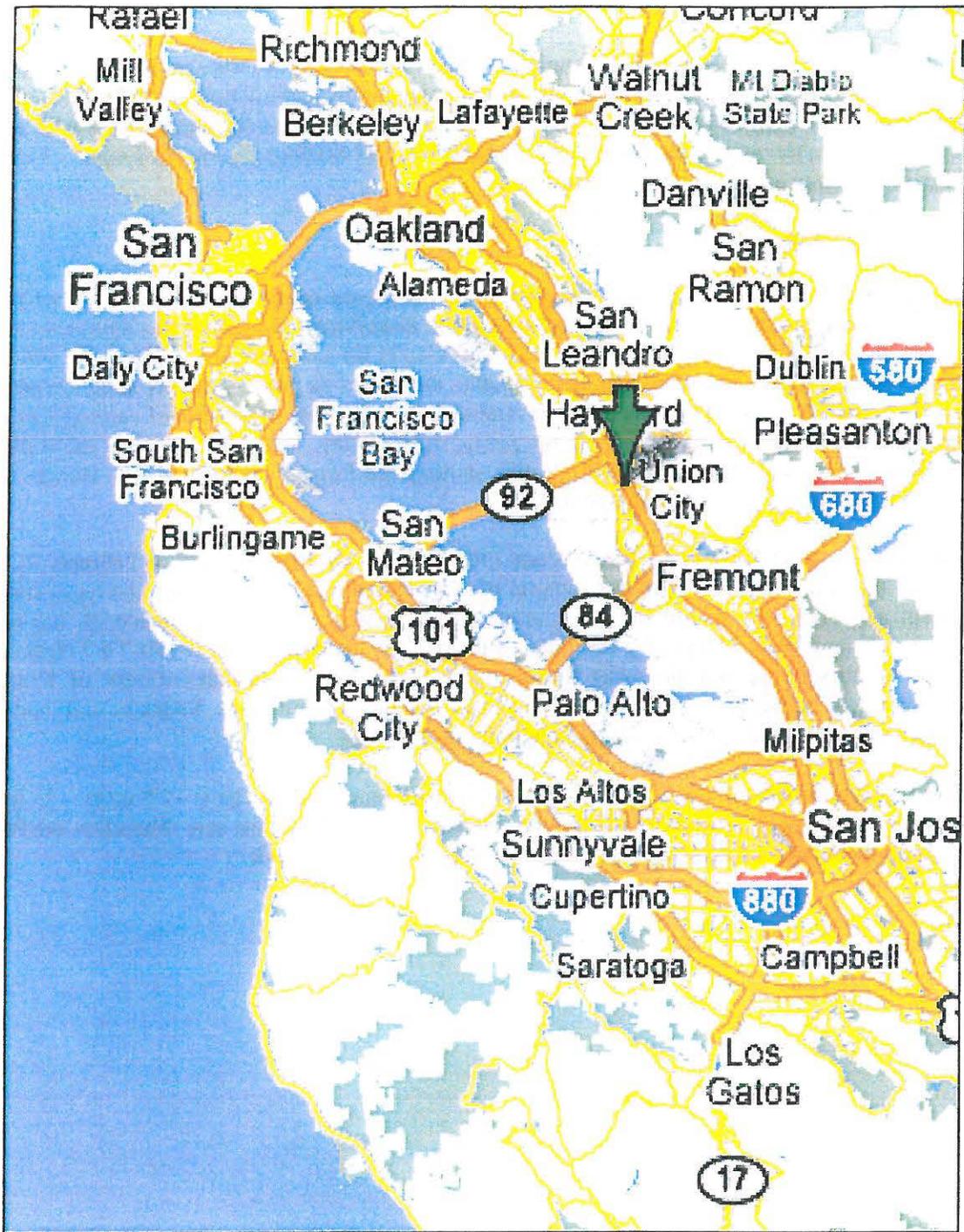


Figure 1: Regional Location

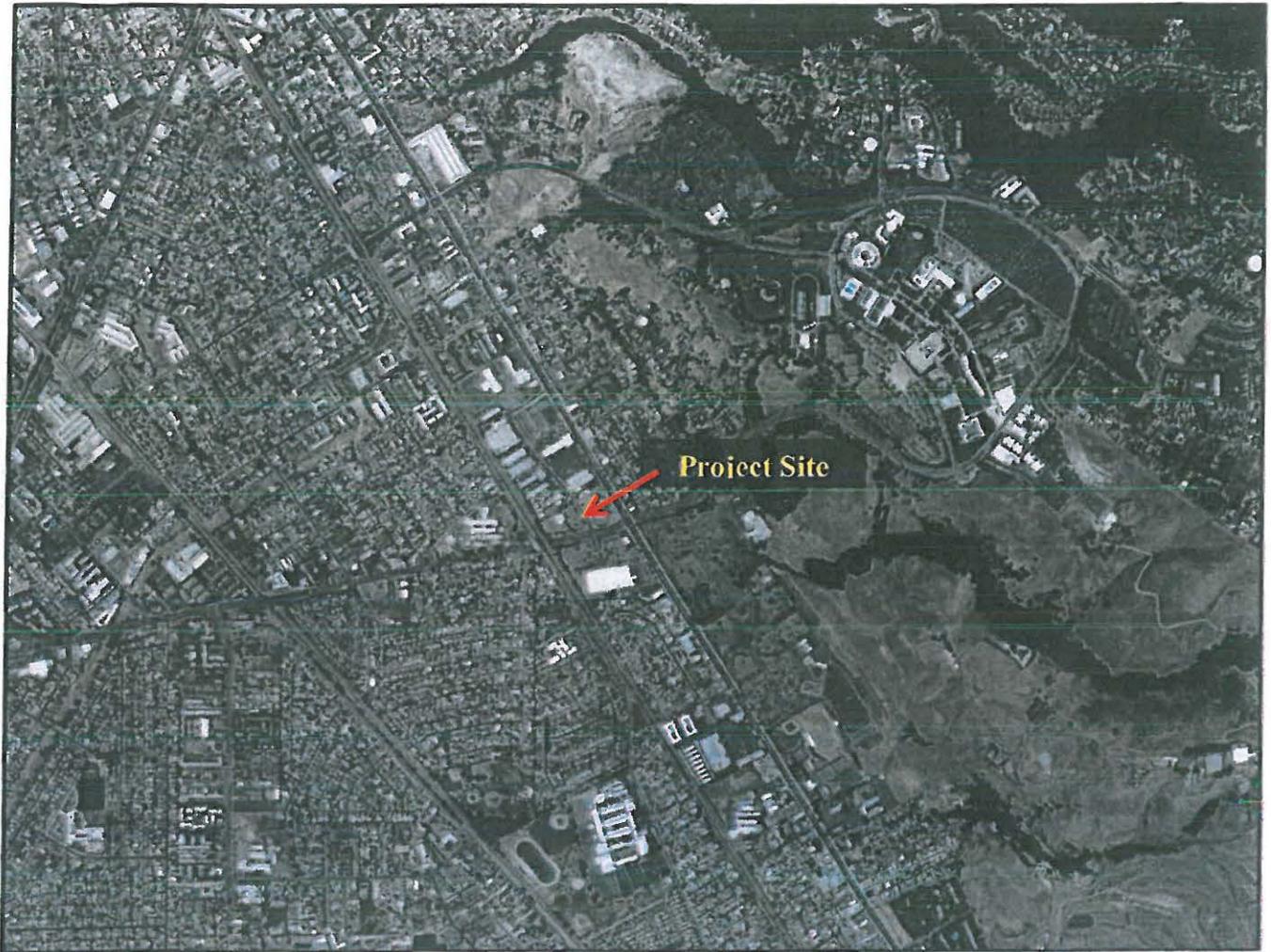


Figure 2: City Setting



Figure 3: Local Setting

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this Project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|--|---|--|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources | <input checked="" type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Geology /Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology / Water Quality |
| <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Mineral Resources | <input checked="" type="checkbox"/> Noise |
| <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities / Service Systems | <input checked="" type="checkbox"/> Mandatory Findings of Significance |

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation:

- I find that the proposed Project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed Project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the Project have been made by or agreed to by the Project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed Project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed Project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed Project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed Project, nothing further is required.


 Arlynn J. Camire, AICP, Associate Planner

November 26, 2014
 Date

EVALUATION OF ENVIRONMENTAL IMPACTS:

ENVIRONMENTAL ISSUES:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
I. AESTHETICS -- Would the Project:				
a) Have a substantial adverse effect on a scenic vista? Comment <i>There are no designated scenic vistas in the vicinity of the Project and the Project is not located within or visible from a designated scenic vista; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? Comment: <i>The Project is not located within a state scenic highway. No scenic resources exist in the area, and the Project site is located in an urbanized setting, and the surrounding area is entirely developed; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings? Comment: <i>The Project site is currently developed with an 8,600-square-foot building with a parking lot and landscaping. in an otherwise fully developed neighborhood. The proposed townhouse project will meet design standards and will add to the visual character of the site; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? Comment <i>The new residential units and site lighting will add additional light to this area. In addition, the developer will be required to add three street lights on the Dollar Street frontage. The amount of additional light is considered less than significant given the surrounding developed area; no mitigation is required.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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II. AGRICULTURE AND FOREST

RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. -- Would the Project:

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

Comment *The Project site is in a substantially urbanized area, which includes predominantly commercial land uses consistent with the Hayward General Plan and Zoning Map. The Project site is not zoned for agricultural uses, and there are no agricultural resources in the area. The Project does not involve any Prime Farmland, Unique Farmland or Farmland of Statewide Importance; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? **Comment**

The Project is not located in an agricultural zoning district nor is it subject to a Williamson Act contract. The Project site is not zoned for agricultural uses or under a Williamson Act contract; thus, no impact.

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))? Comment: <i>The Project site is in a substantially urbanized area, which includes predominantly commercial land uses consistent with the Hayward General Plan and Zoning Map. The Project site is not zoned for agricultural uses, and there are no agricultural resources in the area. The Project does not involve the rezoning of forest land or timberland; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>d) Result in the loss of forest land or conversion of forest land to non-forest use? Comment: <i>There are no forest lands in this area, and the Project does not involve the loss of forest land or involve conversion of forest land. The Project does not involve the loss of forest land or involve conversion of forest land; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use? Comment: <i>The Project does not involve, nor is it located near, any commercially operated agricultural lands or any forest land; therefore there is no impact to Farmland or forest land. The Project does not involve changes to the environment that could result in conversion of Farmland or forest land; thus no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>III. AIR QUALITY -- Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the Project:</p>				
<p>a) Conflict with or obstruct implementation of the applicable air quality plan? Comment: <i>The Bay Area Air Quality Management District (BAAQMD) has established screening criteria as part of its CEQA guidance to assist in determining if a proposed Project could result</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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in potentially significant air quality impacts. Based on the District's criteria (thresholds of significance; 1999 and 2011). The "Air Quality, Health Risk and Greenhouse Gas Emissions Analysis for the Proposed Dollar Street/Harder Road Residential Development Project" prepared for KB Homes by Ascent Environmental, Inc. concludes that the proposed Project screens below what would require additional evaluation; therefore the proposed Project will not violate any air quality standard; thus no impact.

b) Violate any air quality standard or contribute substantially to an existing or Projected air quality violation? **Comment:** *The Bay Area Air Quality Management District (BAAQMD) has established screening criteria as part of their CEQA guidance to assist in determining if a proposed Project could result in potentially significant air quality impacts. Based on the District's criteria, the proposed Project of 38 new townhomes screens below what would require additional evaluation; thus the proposed Project and impacts caused by construction activities will not violate any air quality standard and the impact is less than significant. However, implementation of the following measures for the Project is recommended to reduce fugitive dust and exhaust emissions:*

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Mitigation Measure 1: *The Project shall adhere to the following Bay Area Air Quality Management District (BAAQMD) "Basic Construction Mitigation Measures".*

- i) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.*
- ii) All haul trucks transporting soil, sand, or other loose material off-site shall be covered.*
- iii) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.*

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
iv) <i>All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.</i>				
v) <i>Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.</i>				
vi) <i>All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.</i>				
vii) <i>Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.</i>				
c) <i>Result in a cumulatively considerable net increase of any criteria pollutant for which the Project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? Comment: <i>The proposed Project meets the screening criteria in Table 3-1 of the Air District's CEQA Guidelines; thus, it can be determined that the Project would result in a less-than-significant cumulative impact to air quality from criteria air pollutants and precursor emissions.</i></i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Expose sensitive receptors to substantial pollutant concentrations? Comment: <i>The Project is an in-fill development located in an already developed area that is developed with auto related uses and the BART tracks. The City of Hayward 2040 General Plan policy HQL-7.5</i></i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Proximity to Pollution Sources“ The City shall avoid locating new sensitive uses such as schools, childcare centers, and senior housing, to the extent feasible, in proximity to sources of pollution, odors, or near existing businesses that handle toxic materials. Where such uses are located in proximity to sources of air pollution, odors, or toxic materials, the City shall encourage building design, construction safeguards, and technological techniques to mitigate the negative impacts of hazardous materials and/or air pollution on indoor air quality.” The “Air Quality, Health Risk and Greenhouse Gas Emissions Analysis for the Proposed Dollar Street/Harder Road Residential Development” Prepared for KB Homes By Ascent Environmental, Inc. concludes that due to the nearby auto body shops, transit stops and BART train tracks, the that will not involve exposing sensitive receptors to substantial pollutant concentrations. The Community Risk Reduction Plan Consistency concludes that the Project site is located in a high cancer risk area. This means that the cumulative cancer risk at the project site from the combined exposure of all local sources within the City is greater than 100 in a million. Therefore, the combined cancer risk at the project site is higher than the BAAQMD’s cumulative threshold. However, with the mitigation measure, the impact is less than significant.

Mitigation Measure 2: The Project shall adhere to the following that are consistent with the Hayward 2040 General Plan and the Mission Boulevard Corridor Specific Plan Final EIR: As discussed above, the project would be exposed to risks below BAAQMD's thresholds based on the screening analysis. However, the project is located in a "high" risk zone according to the City's Draft CRRP and is applicable to the Mission Boulevard Corridor Specific Plan EIR. Thus, the following measures are recommended to reduce risk. These measures are consistent with measures from the City's General Plan EIR and the Mission Boulevard Corridor Specific Plan Final EIR.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
i)	<i>The applicant shall install, operate and maintain in good working order a central heating, ventilation and air conditioning (HVAC) system or other air intake system in the building, or in each individual unit, that meets or exceeds a minimum efficiency reporting value (MERV) of 13. The HVAC system shall include the following features: Installation of a high efficiency filter and/or carbon filter to filter particulates and other chemical matter from entering the building. Either high efficiency particulate air (HEPA) filters or American Society of Heating, Refrigeration, and Air-Conditioning Engineers (ASH RAE) certified 85% supply filters shall be used.</i>			
ii)	<i>The applicant shall maintain, repair and/or replace HVAC system on an ongoing and as needed basis or shall prepare an operation and maintenance manual for the HVAC system and the filter. The manual shall include the operating instructions and the maintenance and replacement schedule. This manual shall be included in the Covenants, Conditions and Restrictions (CC&Rs) for residential projects and/or distributed to the building maintenance staff. In addition, the applicant shall prepare a separate homeowners manual. The manual shall contain the operating instructions and the maintenance and replacement schedule for the HVAC system and the filters.</i>			
iii)	<i>To the maximum extent practicable, individual and common exterior open space and outdoor activity areas proposed as part of the project shall be located as far away from Mission Boulevard as possible, face away from Mission Boulevard, and shall be shielded from the source of air pollution by buildings or otherwise buffered to further reduce air pollution for project occupant.</i>			
iv)	<i>Proposed residential units shall locate air intakes and design windows to reduce PM exposure (e.g., windows nearest to the freeway do not open).</i>			

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e) Create objectionable odors affecting a substantial number of people? Comment: <i>The Project is an in-fill residential development that will not create any objectionable odors; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
IV. BIOLOGICAL RESOURCES -- Would the Project:				
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? Comment: <i>The Project area is largely developed and paved. It does not contain any riparian habitat or known sensitive natural communities; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? Comment: <i>The Project area is largely developed and paved. It does not contain any riparian habitat or known sensitive natural communities; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? Comment: <i>The Project site, located in an urban setting, contains no wetlands; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? Comment: <i>The Project site, located in an urban setting, and will not interfere with the movement of any migratory fish or wildlife species; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? **Comment:** Hort Sciences prepared an arborist report and tree appraisal dated June 2014. A total of 28 trees were evaluated by the Arborist including four off-site trees that have portions of their canopies extending into the development property. As far as the overall health of the trees evaluated: three trees were rated in "poor" condition; fourteen were rated in "fair" conditions; and eleven were rated in "good" condition. The Project would result in the removal of all twenty-four on-site trees. The four off-site trees will remain. The arborist report evaluates the potential for retaining each existing tree and concludes it is not feasible due to the amount of grading and construction work across the site that will occur in order to construct the Project; this Initial Study has drawn the same conclusion.

HortScience prepared a tree report identifying methods for tree preservation and tree replacement to mitigate for the potential impacts. Following these recommendations will reduce impacts to a level of insignificance.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Mitigation Measure 3: The applicant shall follow all recommendations in the tree evaluation report including protection of the four off-site trees adjacent to the Project site to be preserved during all phases of the development.

Design recommendations

- i) The Consulting Arborist shall review all project plans to assess potential impacts to trees.
- ii) A tree protection zone shall be established around each tree to be preserved. The tree protection zone shall be established at the dripline of trees #587-590. No grading, excavation, construction or storage of materials shall occur within that zone.
- iii) No underground services including utilities, sub-drains, water or sewer shall be placed in the tree protection zone.
- iv) Tree Preservation Notes, prepared by the Consulting Arborist, should be included on all plans.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
v)				
<i>Any herbicides placed under paving materials must be safe for use around trees and labeled for that use.</i>				
vi)				
<i>Irrigation systems must be designed so that no trenching will occur within the tree protection zone.</i>				
<i>Pre-construction treatments and recommendations for the tree protection zone</i>				
vii)				
<i>The construction superintendent shall meet with the Consulting Arborist before beginning work to discuss work procedures and tree protection.</i>				
viii)				
<i>Fence trees to be retained to completely enclose the tree protection zone prior to demolition, grubbing or grading. Fences shall be 6 feet chain link or equivalent as approved by consulting arborist. Fences are to remain until all grading and construction is completed.</i>				
ix)				
<i>Prune trees to be preserved to clean the crown and to provide clearance. Any pruning of off-site trees must be done with the property owner's permission. All pruning shall be done by Certified Arborist or Certified Tree Worker in accordance with the Best Management Practices for Pruning (International Society of Arboriculture, 2002) and adhere to the most recent editions of the American National Standard for Tree Care Operations (Z133.1) and Pruning (A300).</i>				
<i>x) Irrigate trees to be preserved or transplanted during the dry summer months (May-October). Irrigation rates shall be determined for each tree by the Consulting Arborist.</i>				
<i>Recommendations for tree protection during construction</i>				
xi)				
<i>No grading, construction, demolition or other work shall occur within the tree protection zone. Any modifications must be approved and monitored by the Consulting Arborist.</i>				
xii)				
<i>If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Consulting Arborist so that appropriate treatments can be applied.</i>				

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
xiii)				
	<i>No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the tree protection zone.</i>			
xiv)				
	<i>Any additional tree pruning needed for clearance during construction or around new structures must be performed by a Certified Arborist and not by construction personnel.</i>			
xv)				
	<i>Prior to grading, walkway preparation, excavation for foundations/footings/walls or trenching, trees may require root pruning outside the tree protection zone by cutting all roots cleanly to the depth of the excavation. Roots shall be cut by manually digging a trench and cutting exposed roots with sharp saw. The Consulting Arborist will identify where root pruning is required.</i>			
xvi)				
	<i>Any roots over 2" in diameter damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a sharp saw.</i>			
	<i>As trees withdraw water from the soil, expansive soils may shrink within the root area. Therefore, foundations, footings and pavements on expansive soils near trees should be designed to withstand differential displacement.</i>			

Maintenance of impacted trees

- xviii) *Tree preserved at the Dollar Street site will experience a physical environment different from that pre-development. As a result, tree health and structural stability should be monitored. Occasional pruning, fertilization, mulch, pest management, replanting and irrigation may be required. In addition, provisions for monitoring both tree health and structural stability following construction must be made a priority. As trees age, the likelihood of failure of branches or entire trees increases.*

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

Comment: *The Project is consistent with the City's Tree Preservation Ordinance. There are no habitat conservation plans affecting the property, specifically, the Project site is not located in an area covered by an adopted Habitat Conservation Plan or Natural Community Conservation Plan; thus, no impact.*

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V. CULTURAL RESOURCES -- Would the Project:

a) Cause a substantial adverse change in the significance of a historical resource as defined in § 15064.5? **Comment:** *There are no historical resources associated with the improvements on the site or the affected parcels. Moreover, the Project site was previously developed with a structure in 1980 and the entire site is paved except for landscape planters. Due to the prior disturbance, there is a very low likelihood of impacting archeological or paleontological resources or disturbing human remains. In addition, the surrounding properties, which are fully developed, have no historical significance.*

Should any disturbance occur below previously developed areas, a remote possibility exists that historical or cultural resources might be discovered. If that should occur, standard measures should be taken to stop all work adjacent to the find and contact the City of Hayward Development Services Department for ways to preserve, records the uncovered materials. If standard procedures are followed in the event cultural/historical resources are uncovered at the Project site, the proposed impact is less than significant.

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b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to § 15064.5? **Comment:** *No known archaeological resources exist on the site, which was previously developed. Due to prior*

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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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disturbance, there is a very low likelihood of impacting archeological resources. Should any disturbance occur below develop areas, a remote possibility exists that historical or cultural resources might be discovered. If that should occur, standard measures should be taken to stop all work adjacent to the find and contact the City of Hayward Development Services Department for ways to preserve, records the uncovered materials. If standard procedures are followed in the event cultural/historical resources are uncovered at the Project site, the proposed impact is less than significant.

c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? **Comment:** *No known paleontological resources exist on the site, which has already been fully developed. Due to extensive prior disturbance, there is a very low likelihood of impacting paleontological resources. There are no unique geological features on or near the site; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Disturb any human remains, including those interred outside of formal cemeteries?
Comment: *There are no known human remains or cemeteries nearby the Project site; however, standard procedures for grading operations would be followed during development, which require that if any such remains or resources are discovered, grading operations are halted and the resources/remains are evaluated by a qualified professional and, if necessary, mitigation plans are formulated and implemented. These standard measures would be conditions of approval should the Project be approved.*

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VI. GEOLOGY AND SOILS -- Would the Project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

i) Rupture of a known earthquake fault, as

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Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.

Comment: *The Project site is not located in the State of California Fault Zone. The Hayward fault is approximately .25 miles northeast of the site. A geotechnical investigation performed by Engeo Incorporated (May 22, 2014) concluded that there are no known surface expression of active faults is believed to exist within the site and ground rupture is unlikely. The Project site is not within the State's Earthquake Fault Zone; thus, impacts related to fault rupture are not anticipated.*

ii) Strong seismic ground shaking?

Comment: *The Project site is near, but not located in, the Hayward Fault Zone. However, the proposed buildings will be designed and constructed to withstand ground shaking in the event of an earthquake; specifically, the Project requires a building permit which would involve the mandatory implementation of design features to minimize seismic-related hazards. An earthquake of moderate to high magnitude could cause considerable ground shaking at the site; however, all structures will be designed using sound engineering judgment and adhere to the latest California Building Code (CBC) requirements, thus the impact is considered less than significant.*

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Seismic-related ground failure, including liquefaction? **Comment:** *The site is not located within a State of California liquefaction seismic hazard zone or area where fault rupture is considered likely. Therefore, active faults are not believed to exist beneath the site and potential for fault rupture at the site is considered low. Borings indicate the site is underlain predominately by stiff to hard clays and*

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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p><i>medium dense to very dense silty/clayey sands. One boring encountered a thin layer of medium dense clayey sand below the groundwater level. A liquefaction potential analysis was performed and concluded the medium dense sand layer is potentially liquefiable. It is estimated that the total liquefaction-induced settlements across the site to be less than one-inch. Based on this information, the impact is considered Less Than Significant with the mitigation.</i></p>				
<p>iii) Landslides? Comment: <i>The Project site, which slopes gently to moderately, is not located in an area known to have any landslides. Due to the relatively gently sloping topography, landslides are not likely; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>b) Result in substantial soil erosion or the loss of topsoil? Comment: <i>Although the Project would result in an increase in impervious surface, erosion control measures that are typically required for such Projects, including but not limited to gravelling construction entrances and protecting drain inlets will address such impacts. Therefore, the potential for substantial erosion or loss of topsoil is considered insignificant.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? Comment: <i>The Project site is flat and not in an area of landslides. Therefore, no impacts.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? Comment: <i>The Geotechnical report concluded that potentially expansive lean clay near the surface of the site. The soils exhibited moderate to high shrink/swell potential with variations in moisture content. Design of post-tensioned mat foundation is preferred. With mitigation; less than significant level.</i></p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation Measure 4:

A full design-level geotechnical evaluation shall be conducted and measures as recommended by the project geotechnical consultant shall be implemented. Such measures will reduce the significance of impacts related to expansive soils to a level of insignificance.

e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

Comment: *The Project will be connected to an existing sewer system with sufficient capacity and does not involve septic tanks or other alternative wastewater; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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VII. GREENHOUSE GAS EMISSIONS --
Would the Project:

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

Comment *The Bay Area Air Quality Management District (BAAQMD) has established screening criteria as part of their CEQA guidance to assist in determining if a proposed Project could result in operational-related impacts to Greenhouse Gases. The Project involves the construction of 38 new attached townhomes. For the condo/general category, the screening level size is 451 dwelling units for operational criteria pollutant emissions, 78 dwelling units for operational GHG emissions and 240 dwelling units for construction-related criteria pollutant emissions. The Project, with its proposed 38 townhome units, would be below all relevant screening criteria. Thus, as specified in BAAQMD Air Quality Guidelines, project-generated criteria air pollutant and GHG emissions would not exceed applicable thresholds of significance; thus no impact.*

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b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases? **Comment:**

As discussed in VII(a) above, the Project will not exceed the threshold for operational greenhouse gases; thus no impact.

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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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VIII. HAZARDS AND HAZARDOUS MATERIALS -- Would the Project:

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

Comment: *The Project is an infill residential Project that does not involve the transport or use of hazardous materials; thus, no impact.*

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b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

Comment: *The Project is an infill residential Project that will be developed with 38 townhouses and will not create any significant hazard to the public or environment, thus no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? **Comment:** *The Project will not emit hazardous materials or substances, thus no impact.*

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d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

Comment: *The Project is an infill residential Project that will be developed with 38 townhouses and will not create any significant hazard to the public or environment, thus no impact. The Project site is not on any list compiled pursuant to Government Code section 65962.5; thus, no impact.*

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e) For a Project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the Project result in a safety hazard for people residing or working in the Project area? **Comment:** *The Project is not located within an airport land use plan area or within two miles of a public airport; therefore, no impact.*

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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f) For a Project within the vicinity of a private airstrip, would the Project result in a safety hazard for people residing or working in the Project area? Comment: <i>The site is not located within the vicinity of a private air strip and therefore, no such impacts would occur as a result of the Project.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? Comment: <i>The Project would not interfere with an adopted emergency response plan or emergency evacuation plan. Therefore, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? Comment: <i>The Project site is located within an urban setting, away from areas with wildland fire potential, and outside the City's Urban Wildlife Interface zone. Therefore, no such impacts related to wildland fires are anticipated.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

IX. HYDROLOGY AND WATER QUALITY -- Would the Project:

a) Violate any water quality standards or waste discharge requirements? Comment: <i>The Project will comply with all water quality and wastewater discharge requirements of the city; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)? Comment: <i>The Project will be connected to the existing water supply and will not involve the use of water wells and will not deplete groundwater supplies or substantially interfere with groundwater recharge; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site? Comment: <i>The Project site is an infill site. All drainage from the site is required to be treated before it enters the storm drain system and managed such that post-development run-off rates do not exceed pre-development run-off rates; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site? Comment: <i>The Project site is an infill site. All drainage from the site is required to be treated before it enters the storm drain system and managed such that post-development run-off rates do not exceed pre-development run-off rates; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? Comment: <i>The Project site is a previously developed site. All drainage from the site is required to be treated before it enters the storm drain system and there is sufficient capacity to handle any drainage from the property; thus, the impact is considered less than significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Otherwise substantially degrade water quality? Comment: <i>The Project site is an infill site. All drainage from the site is required to be treated before it enters the storm drain system; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? Comment: <i>According to FEMA Flood Insurance Rate Maps, this site is not within a 100-year flood hazard area and is in an area of minimal flood hazard; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows? Comment: According to FEMA Flood Insurance Rate Maps, this site is not within a 100-year flood hazard area and is in an area of minimal flood hazard; thus no impact.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? Comment: According to FEMA Flood Insurance Rate Maps, this site is not within a 100-year flood hazard area and is in an area of minimal flood hazard; thus no impact.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow? Comment: The Project site is not located within a 100-year flood hazard area and ranges from 63 to 69 feet above sea level and is in an area of minimal flood hazard; thus, no impact.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
X. LAND USE AND PLANNING -- Would the Project:				
a) Physically divide an established community? Comment: The Project is proposed in a developed urban setting and would not divide an established community; thus, no impact	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the Project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? Comment: The Project involves construction of 38 townhome, which is consistent with the General Plan Designation for Sustainable Mixed Use. The General Plan The Sustainable Mixed-Use designation generally applies to areas near regional transit that are planned as walkable urban neighborhoods. Typical building types will vary based on the zoning of the property, but will generally include single-family homes, duplexes, triplexes, fourplexes, second units, townhomes, live-work units, multi-story apartment and condominium buildings, commercial buildings, and mixed-use buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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that contain commercial uses on the ground floor and residential units or office space on upper floors. Sustainable Mixed-Use areas are expected to change substantially in the future, as properties are planned to be developed or redeveloped at relatively high densities and intensities to create walkable and mixed-use neighborhoods and multi-modal corridors. Since the Project is a 38 unit townhouse development, it is consistent with the General Plan designation. The Hayward Mission Boulevard Form Based Code carries out the policies of the Hayward General Plan by classifying and regulating the types and intensities of development and land uses within the Code area consistent with, and in furtherance of, the policies and objectives of the General Plan. The zoning designation for this site under the Code is MB-T4-2 General Urban 2, which consists of mixed use but primarily residential urban fabric. It includes a mix of building types: townhouses, apartment buildings, mixed-use buildings and commercial buildings. Therefore, the Project is consistent with the Zoning Ordinance, thus, no impact.

c) Conflict with any applicable habitat conservation plan or natural community conservation plan? **Comment:** *The Project site is not covered by any habitat conservation plan or natural community conservation plan; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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XI. MINERAL RESOURCES -- Would the Project:

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? **Comment:** *There are no known mineral resources on the Project site; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? **Comment:** *The Project site is not identified as a site known to have mineral resources and there are no known mineral resources on the Project site; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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XII. NOISE -- Would the Project result in:

a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

Comment: *Temporary construction noise will be controlled by the Hayward Noise Ordinance, and specifically, the Project will comply with the construction hours specified in the City's Noise Ordinance; therefore, any impacts will be less than significant. Individual living units will need to be designed to meet the residential noise standards called out in the Hayward General Plan. A qualified consultant will need to complete future noise readings, and if such readings result in indoor or outdoor noise levels that exceed the standards contained in Hazards Element of the City of Hayward General Plan, then design of the units should incorporate sound attenuation features that are to be in accordance with the consultant's and/or architect's recommendations and be confirmed via actual readings prior to Project finalization and/or Certificate of Occupancy on units. Efforts to reduce noise level of all dwelling units to be in compliance with standards in the General Plan will reduce the significance of noise-related impacts to a level of insignificance.*

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Mitigation Measure 5: *Prior to issuance of a Building Permit, the applicant shall conduct acoustical analysis by a qualified consultant to ensure that indoor or outdoor noise levels of each new residential unit does not that exceed the standards contained in Table HAZ-1 of the City of Hayward General Plan 2040. If those standards are exceeded, the design of the units should incorporate sound attenuation features that are to be in accordance with the consultant's and/or architect's recommendations and be confirmed via actual readings prior to Project finalization and/or Certificate of Occupancy on units.*

Comment: *The Union Pacific Railroad (UPRR) tracks run through central Hayward and along*

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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the west side. The Bay Area Rapid Transit system (BART) runs generally parallel to the central Hayward UPRR track, significant sources of noise and vibration through central Hayward and are located to the rear of the Project site. According to the Mission Boulevard Corridor Specific Plan Final EIR, "Residential and mixed use residential development is proposed pursuant to the Project along major transportation corridors including Mission Boulevard (SR 238) and along the BART line. As shown in Table 9, noise levels in these areas would range from 60 to 75 dBA L_{dn} , a "conditionally acceptable" or "conditionally unacceptable" noise environment according to City guidelines, the state noise insulation standards applicable to all new multi-family housing, , and the HUD Guidelines applicable to housing applying for HUD funding. Interior noise levels could, therefore, exceed the 45 dBA L_{dn} interior noise standard." Therefore, the traffic noise levels are projected to exceed 70 dBA L_{dn} , and along railroad or BART corridors, therefore mitigation is required for the impact to be less than significant.

Mitigation Measure 6:

An acoustic analysis shall be prepared to demonstrate how interior noise levels can be maintained below 45 dBA L_{dn} . Design mitigation shall include, but are not limited to the inclusion of windows and doors with high Sound Transmission Class (STC) ratings, and the incorporation of forced-air mechanical ventilation systems necessary to meet 45 dBA L_{dn} and the L_{max} noise limits. Noise barriers shall be installed to shield outdoor activity areas at multi-family residential uses facilitated by the Plan. In addition, the mitigation identified in the acoustic analysis is required to be approved by the Planning Director prior to issuance of a building permit.

b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels? **Comment:** *No significant vibration impacts are anticipated for the Project site; thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) A substantial permanent increase in ambient noise levels in the Project vicinity above levels existing without the Project? Comment: <i>The Project is a residential development and will not involve an increase in the ambient noise levels in the area; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the Project vicinity above levels existing without the Project? Comment: <i>Existing residential development nearby will experience a slight increase in ambient noise levels during the construction of the proposed Project, construction is limited to the allowable hours per the City's Noise Ordinance; thus the impact is considered less-than-significant and no mitigation is required.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) For a Project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the Project expose people residing or working in the Project area to excessive noise levels? Comment: <i>The Project is not located within an airport land use plan area or within two miles of a public airport; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a Project within the vicinity of a private airstrip, would the Project expose people residing or working in the Project area to excessive noise levels? Comment: <i>The Project is not located within the vicinity of a private airstrip; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
XIII. POPULATION AND HOUSING --				
Would the Project:				
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? Comment: <i>The Project will not, either directly or indirectly, induce substantial population growth. The Project involves the construction of 38 new townhouses. The construction of this number of residences within an urbanized area is not considered substantial population growth; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? Comment: <i>The Project will not displace any existing housing, as the Project site currently undeveloped; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? Comment: <i>The Project will not displace any existing housing, as the Project site is currently developed with an 8,600-square-foot commercial building used as a plant nursery and the remainder of the site is paved or landscaped; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

XIV. PUBLIC SERVICES --

a) Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Fire protection? **Comment:** *No such facilities are required and therefore, no such impacts are expected to occur. No impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Police protection? **Comment:** *No such facilities are required and therefore, no such impacts are expected to occur. No impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Schools? **Comment:** *The Project site is within the Stonebrae Elementary School, Bret Harte Middle School and Hayward High School attendance areas of the Hayward Unified School District. The developer will be required to pay school impact mitigation fees, which, per State law, is considered full mitigation. Such measures would reduce such impacts to levels of insignificance.*

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Parks? Comment: <i>The Project proponent would be required to pay park dedication in-lieu fees. Such measures would reduce such impacts to levels of insignificance.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Other public facilities? Comment: <i>Approval of the Project may impact long-term maintenance of roads, streetlights and other public facilities. As a standard condition of Project approval, the Project proponent would be required to pay the costs of providing public safety services to the Project should the Project generate the need for additional public safety services. The developer shall pay the net present value of such costs prior to issuance of building permits.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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XV. RECREATION --

a) Would the Project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? Comment: <i>The townhouse Project will have private and common open space meeting the required 15% of the lots. In addition, the developer will be required to pay applicable park in-lieu fees; thus the impact is considered less-than-significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Does the Project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? Comment: <i>The Project proposes to include some amenities and common areas within the developments, as well as a private open space for each unit. The developer will be required to pay applicable park in-lieu fees; thus the impact is considered less-than-significant.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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XVI. TRANSPORTATION/TRAFFIC --

Would the Project:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

Comment: *The Project will not conflict with any plan regarding the circulation system. City of Hayward, Transportation Manager determined that the project would not have an impact on transit.*

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways? **Comment:** *The Project will not conflict with any plan congestion management program. The City of Hayward, Transportation Manager has analyzed the project and has determined that the existing crosswalk at corner of Harder Road and Dollar Street requires modification to a ladder crosswalk design to enhance the visibility for pedestrian crossing Dollar Street at Harder Road. The developer shall provide a northbound left turn pocket to the development on Dollar Street and the developer there shall contribute funding toward installation of new traffic signal at Harder and Dollar intersection for future installation. Thus with mitigation, there will be a less than significant impact.*

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Mitigation Measure 7:

The developer shall do the following to the satisfaction of the City of Hayward Transportation Manager:

- i) *The existing crosswalk at corner of Harder Road and on Dollar Street shall be modified to ladder crosswalk to enhance the visibility for pedestrian crossing Dollar Street at Harder Road.*
- ii) *The developer shall provide a northbound left turn pocket to the development on Dollar Street prior to the completion of the Project.*

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
iii) <i>The developer there shall contribute funding toward installation of new traffic signal at Harder and Dollar intersection for future installation.</i>				
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? Comment: <i>The Project involves no change to air traffic patterns; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? Comment: <i>The Project has been designed to meet all City requirements, including site distance and will not increase any hazards; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in inadequate emergency access? Comment: <i>The Project is on a completely accessible infill site and will not result in inadequate emergency access; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities? Comment: <i>The Project does not involve any conflicts or changes to policies, plans or programs related to public transit, bicycle or pedestrian facilities; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
XVII. UTILITIES AND SERVICE SYSTEMS -- Would the Project:				
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? Comment: <i>The Project will not exceed wastewater treatment requirements; thus no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? Comment: <i>There is sufficient capacity to accommodate the proposed Project; thus, no impact.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? Comment: <i>There is sufficient capacity to accommodate the proposed Project; thus, the impact is considered less than significant.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>d) Have sufficient water supplies available to serve the Project from existing entitlements and resources, or are new or expanded entitlements needed? Comment: <i>There is sufficient capacity to accommodate the proposed Project; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>e) Result in a determination by the wastewater treatment provider which serves or may serve the Project that it has adequate capacity to serve the Project's Projected demand in addition to the provider's existing commitments? Comment: <i>There is sufficient capacity to accommodate the proposed Project; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>f) Be served by a landfill with sufficient permitted capacity to accommodate the Project's solid waste disposal needs? Comment: <i>There is sufficient capacity to accommodate the proposed Project; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>g) Comply with federal, state, and local statutes and regulations related to solid waste? Comment: <i>The Project will be subject to the regulations stipulated in Chapter 5, Article 1 Solid Waste Collection and Disposal in the City's Municipal Code. There is sufficient capacity to accommodate the proposed Project; thus, no impact.</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>XVIII. MANDATORY FINDINGS OF SIGNIFICANCE --</p>				
<p>a) Does the Project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

Comment: *The Project would entail removal of twenty-four trees that will be replaced in accordance with the City of Hayward's Tree Preservation Ordinance and Landscape Requirements. Mitigation measures, including installation of tree protection measures for four preserved trees, replacement of all removed trees, preparation of pre-construction nesting bird surveys prior to any vegetation removal, have been identified to reduce such impacts to levels of insignificance.*

b) Does the Project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a Project are considerable when viewed in connection with the effects of past Projects, the effects of other current Projects, and the effects of probable future Projects)? **Comment:** *The proposed residential development will be consistent with the density of required by the Mission Boulevard Corridor Specific Plan, thus, no impact.*

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Does the Project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? **Comment:** *The Project would entail removal of thirteen protected trees, as defined by the City of Hayward's Tree Preservation Ordinance. Mitigation measures, including installation of tree protection measures for preserved trees, replacement of all removed trees. As discussed in the Geology/Soils section, the site soil may be susceptible to liquefaction and expansive soils. Mitigation measures include having the applicant conduct a design level geotechnical evaluation for review and approval incorporating any recommendations for building safety into the final building design reducing the identified impacts to a less than significant level.*

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Mitigation Monitoring and Reporting Program

**Site Plan Review No. PL-2014-0208, Vesting Tentative Tract Map 8188,
Warrants for Parking and Roof Pitch
John Compaglia/KB Home, South Bay, Inc. (Applicant)
Wilma Family Trust of 2008 (Owners)**

November 26, 2014

Mitigation Air Quality-1

Significant environmental Impact: *The Project is well below the screening level and can therefore be assumed to have a less than significant impact related to construction-period criteria pollutant emissions. However, implementation of the following measures for the Project is recommended to reduce fugitive dust and exhaust emissions.*

Based on the Bay Area Air Quality Management District's (BAAQMD) established screening criteria for potentially significant air quality impacts, construction of the proposed project would not violate any air quality standards. However, implementation of BAAQMD "Basic Construction Mitigation Measures" are recommended, as follows:

Mitigation Measure 1

The Project shall adhere to the following Bay Area Air Quality Management District (BAAQMD) "Basic Construction Mitigation Measures".

- i) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- ii) All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- iii) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- iv) All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- v) Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
- vi) All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and

determined to be running in proper condition prior to operation.

- vii) Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Implementation Responsibility: Project developer

Monitoring Responsibility: City of Hayward Planning and Building Divisions

Timing: During project construction

Mitigation Air Quality-2

Significant environmental Impact: *The Project is an in-fill development located in an already developed area that is developed with auto related uses and the BART tracks. The Community Risk Reduction Plan Consistency concludes that the Project site is located in a high cancer risk area. This means that the cumulative cancer risk at the project site from the combined exposure of all local sources within the City is greater than 100 in a million. Therefore, the combined cancer risk at the project site is higher than the BAAQMD's cumulative threshold. However, with the mitigation measure, the impact is less than significant.*

Mitigation Measure 2

The Project shall adhere to the following that are consistent with the Hayward 2040 General Plan and the Mission Boulevard Corridor Specific Plan Final EIR: As discussed above, the project would be exposed to risks below BMQMD's thresholds based on the screening analysis. However, the project is located in a "high" risk zone according to the City's Draft CRRP and is applicable to the Mission Boulevard Corridor Specific Plan EIR. Thus, the following measures are recommended to reduce risk. These measures are consistent with measures from the City's Draft General Plan EIR and the Mission Boulevard Corridor Specific Plan Final EIR.

- i) The applicant shall install, operate and maintain in good working order a central heating, ventilation and air conditioning (HVAC) system or other air intake system in the building, or in each individual unit, that meets or exceeds a minimum efficiency reporting value (MERV) of 13. The HVAC system shall include the following features: Installation of a high efficiency filter and/or carbon filter to filter particulates and other chemical matter from entering the building. Either high efficiency particulate air (HEPA) filters or American Society of Heating, Refrigeration, and Air-Conditioning Engineers (ASHRAE) certified 85% supply filters shall be used.
- ii) The applicant shall maintain, repair and/or replace HVAC system on an ongoing and as needed basis or shall prepare an operation and maintenance manual for the HVAC system and the filter. The manual shall include the operating instructions and the maintenance and replacement schedule. This manual shall be included in the Covenants, Conditions and Restrictions (CC&Rs) for residential projects and/or distributed to the building maintenance staff. In addition, the applicant shall prepare a separate homeowners manual.

The manual shall contain the operating instructions and the maintenance and replacement schedule for the HVAC system and the filters.

- iii) To the maximum extent practicable, individual and common exterior open space and outdoor activity areas proposed as part of the project shall be located as far away from Mission Boulevard as possible, face away from Mission Boulevard, and shall be shielded from the source of air pollution by buildings or otherwise buffered to further reduce air pollution for project occupants.
- iv) Proposed residential units shall locate air intakes and design windows to reduce PM exposure (e.g., windows nearest to the freeway do not open).

Implementation Responsibility: Project developer

Monitoring Responsibility: City of Hayward Planning Division and Homeowners Association

Timing: Prior to any project construction

Mitigation Biological Resources-3 (Hayward Tree Protection Ordinance)

Significant environmental Impact: *Since the Project would require the removal of twenty-four protected trees, trees are to be replaced in accordance with the Hayward Tree Protection Ordinance)*

Hort Sciences prepared an arborist report and tree appraisal dated June 2014. A total of 28 trees were evaluated by the Arborist including four off-site trees that have portions of their canopies extending into the development property. As far as the overall health of the trees evaluated: three trees were rated in “poor” condition; fourteen were rated in “fair” conditions: and eleven were rated in “good” condition. The Project would result in the removal of all twenty-four on-site trees. The four off-site trees will remain. The arborist report evaluates the potential for retaining each existing tree and concludes it is not feasible due to the amount of grading and construction work across the site that will occur in order to construct the Project; the Initial Study has drawn the same conclusion.

Hort Sciences prepared a tree report identifying methods for tree preservation and tree replacement to mitigate for the potential impacts. Following these recommendations will reduce impacts to a level of insignificance.

Mitigation Measure 3:

The applicant shall follow all recommendations in the tree evaluation report including protection of the four off-site trees adjacent to the Project site to be preserved during all phases of the development.

Design recommendations

- i) The Consulting Arborist shall review all project plans to assess potential impacts to trees.

- ii) A tree protection zone shall be established around each tree to be preserved. The tree protection zone shall be established at the dripline of trees #587-590. No grading, excavation, construction or storage of materials shall occur within that zone.
- iii) No underground services including utilities, sub-drains, water or sewer shall be placed in the tree protection zone.
- iv) Tree Preservation Notes, prepared by the Consulting Arborist, should be included on all plans.
- v) Any herbicides placed under paving materials must be safe for use around trees and labeled for that use.
- vi) Irrigation systems must be designed so that no trenching will occur within the tree protection zone.

Pre-construction treatments and recommendations for the tree protection zone

- vii) The construction superintendent shall meet with the Consulting Arborist before beginning work to discuss work procedures and tree protection.
- viii) Fence trees to be retained to completely enclose the tree protection zone prior to demolition, grubbing or grading. Fences shall be 6 ft. chain link or equivalent as approved by consulting arborist. Fences are to remain until all grading and construction is completed.
- ix) Prune trees to be preserved to clean the crown and to provide clearance. Any pruning of off-site trees must be done with the property owner's permission. All pruning shall be done by Certified Arborist or Certified Tree Worker in accordance with the Best Management Practices for Pruning (International Society of Arboriculture, 2002) and adhere to the most recent editions of the American National Standard for Tree Care Operations (Z133.1) and Pruning (A300).
- x) Irrigate trees to be preserved or transplanted during the dry summer months (May-October). Irrigation rates shall be determined for each tree by the Consulting Arborist.

Recommendations for tree protection during construction

- xi) No grading, construction, demolition or other work shall occur within the tree protection zone. Any modifications must be approved and monitored by the Consulting Arborist.
- xii) If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Consulting Arborist so that appropriate treatments can be applied.
- xiii) No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the tree protection zone.
- xiv) Any additional tree pruning needed for clearance during construction or around new structures must be performed by a Certified Arborist and not by construction personnel.
- xv) Prior to grading, walkway preparation, excavation for foundations/footings/walls or trenching, trees may require root pruning outside the tree protection zone by cutting all roots cleanly to the depth of the excavation. Roots shall be cut by manually digging a trench and cutting exposed roots with sharp saw. The Consulting Arborist will identify where root pruning is required.
- xvi) Any roots over 2" in diameter damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a sharp saw.

- xvii) As trees withdraw water from the soil, expansive soils may shrink within the root area. Therefore, foundations, footings and pavements on expansive soils near trees should be designed to withstand differential displacement.

Maintenance of impacted trees

- xviii) Tree preserved at the Dollar Street site will experience a physical environment different from that pre-development. As a result, tree health and structural stability should be monitored. Occasional pruning, fertilization, mulch, pest management, replanting and irrigation may be required. In addition, provisions for monitoring both tree health and structural stability following construction must be made a priority. As trees age, the likelihood of failure of branches or entire trees increases.

Implementation Responsibility: Project developer and Homeowners Association

Monitoring Responsibility: City of Hayward Building Division

Timing: Prior to any project construction and during project construction

Mitigation Geology and Soils-4

Significant environmental Impact:

Engeo Incorporated completed a Geotechnical report (May 22, 2014) which indicated that borings indicate the site is underlain predominately by stiff to hard clays and medium dense to very dense silty/clayey sands. One boring encountered a thin layer of medium dense clayey sand below the groundwater level. A liquefaction potential analysis was performed and concluded the medium dense sand layer is potentially liquefiable. It is estimated that the total liquefaction-induced settlements across the site to be less than one-inch. Based on this information, the impact is considered Less Than Significant with the mitigation.

The Geotechnical report also concluded that potentially expansive lean clay near the surface of the site. The soils exhibited moderate to high shrink/swell potential with variations in moisture content. Design of post-tensioned mat foundation is preferred. With mitigation; less than significant level.

Mitigation Measure:

A full design-level geotechnical evaluation shall be conducted and measures as recommended by the project geotechnical consultant shall be implemented. Such measures will reduce the significance of impacts related to expansive soils to a level of insignificance.

Implementation Responsibility: Project developer

Monitoring Responsibility: City of Hayward Building Division & Department of Public Works

Timing: Prior to issuance of a Grading and/or Building Permit for the project

Mitigation Noise-5**Significant environmental Impact:**

Temporary construction noise will be controlled by the Hayward Noise Ordinance, and specifically, the project will comply with the construction hours specified in the City's Noise Ordinance; therefore, any impacts will be less than significant. Individual living units will need to be designed to meet the residential noise standards called out in the Hayward General Plan. A qualified consultant will need to complete future noise readings, and if such readings result in indoor or outdoor noise levels that exceed the standards contained in Hazards Element of the City of Hayward General Plan, then design of the units should incorporate sound attenuation features that are to be in accordance with the consultant's and/or architect's recommendations and be confirmed via actual readings prior to project finalization and/or Certificate of Occupancy on units. Efforts to reduce noise level of all dwelling units to be in compliance with standards in the General Plan will reduce the significance of noise-related impacts to a level of insignificance.

Mitigation Measure 5:

Prior to issuance of a Building Permit, the applicant shall conduct acoustical analysis by a qualified consultant to ensure that indoor or outdoor noise levels of each new residential unit does not that exceed the standards contained in Table HAZ-1 of the City of Hayward General Plan 2040. If those standards are exceeded, the design of the units should incorporate sound attenuation features that are to be in accordance with the consultant's and/or architect's recommendations and be confirmed via actual readings prior to project finalization and/or Certificate of Occupancy on units.

Implementation Responsibility: Project developer

Monitoring Responsibility: City of Hayward Planning and Building Divisions

Timing: Prior to issuance of Building Permit

Mitigation Noise-6**Significant environmental Impact:**

The Union Pacific Railroad (UPRR) tracks run through central Hayward and along the west side. The Bay Area Rapid Transit system (BART) runs generally parallel to the central Hayward UPRR track, significant sources of noise and vibration through central Hayward and are located to the rear of the Project site. According to the Mission Boulevard Corridor Specific Plan Final EIR, "Residential and mixed use residential development is proposed pursuant to the Project along major transportation corridors including Mission Boulevard (SR 238) and along the BART line. As shown in Table 9, noise levels in these areas would range from 60 to 75 dBA L_{dn}, a "conditionally acceptable" or "conditionally unacceptable" noise environment

according to City guidelines, the state noise insulation standards applicable to all new multi-family housing, , and the HUD Guidelines applicable to housing applying for HUD funding. Interior noise levels could, therefore, exceed the 45 dBA L_{dn} interior noise standard.” Therefore, the traffic noise levels are projected to exceed 70 dBA L_{dn} , and along railroad or BART corridors, therefore mitigation is required for the impact to be less than significant.

Mitigation Measure 6:

An acoustic analysis shall be prepared to demonstrate how interior noise levels can be maintained below 45 dBA L_{dn} . Design mitigation shall include, but are not limited to the inclusion of windows and doors with high Sound Transmission Class (STC) ratings, and the incorporation of forced-air mechanical ventilation systems necessary to meet 45 dBA L_{dn} and the L_{max} noise limits. Noise barriers shall be installed to shield outdoor activity areas at multi-family residential uses facilitated by the Plan. In addition, the mitigation identified in the acoustic analysis is required to be approved by the Planning Director prior to issuance of a building permit.

Implementation Responsibility: Project developer

Monitoring Responsibility: City of Hayward Planning and Building Divisions

Timing: Prior to issuance of Building Permit

Mitigation Transportation/Traffic-7

The Project will not conflict with any plan congestion management program. The City of Hayward, Transportation Manager has analyzed the project and has determined that the existing crosswalk at corner of Harder Road and Dollar Street needs to be modified to ladder crosswalk to enhance the visibility for pedestrian crossing Dollar Street at Harder Road. The developer shall provide a northbound left turn pocket to the development on Dollar Street and the developer there shall contribute funding toward installation of new traffic signal at Harder and Dollar intersection for future installation. Thus with mitigation, there will be a less than significant impact.

Mitigation Measure 7:

The developer shall do the following to the satisfaction of the City of Hayward Transportation Manager:

- i) The existing crosswalk at corner of Harder Road and Dollar Street shall be modified to ladder crosswalk to enhance the visibility for pedestrian crossing on Dollar Street at Harder Road.
- ii) The developer shall provide a northbound left turn pocket to the development on Dollar Street prior to the completion of the Project.
- iii) The developer there shall contribute funding toward installation of new traffic signal at Harder and Dollar intersection for future installation.

Implementation Responsibility: Project developer

Monitoring Responsibility: City of Public Works, Transportation and Engineering

Timing: Prior to issuance of the Certificate of Occupancy.

SHEET INDEX

<u>NO.</u>		<u>NO.</u>	<u>LANDSCAPE PLANS</u>	<u>NO.</u>	<u>ARCHITECTURAL PLANS</u>	<u>NO.</u>	<u>ARCHITECTURAL PLANS</u>
1	COVER SHEET - SHEET INDEX	6	L-0 COVER SHEET	18	4.1 4-PLEX SPANISH 'A' FIRST FLOOR PLAN	33	6.1 6-PLEX SPANISH 'A' FIRST FLOOR PLAN
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3	TM.2 VESTING TENTATIVE MAP - SITE PLAN	9	L-3 LANDSCAPE CONCEPT	21	4.4 4-PLEX SPANISH 'A' FRONT ELEVATION	36	6.4 6-PLEX SPANISH 'A' FRONT ELEVATION
4	TM.3 VESTING TENTATIVE MAP - GRADING PLAN	10	L-4 CONCEPTUAL ENLARGEMENT	22	4.5 4-PLEX SPANISH 'A' ROOF PLAN, SIDE & REAR ELEVATIONS	37	6.5 6-PLEX SPANISH 'A' ROOF PLAN, SIDE & REAR ELEVATIONS
5	TM.4 VESTING TENTATIVE MAP - UTILITY PLAN	11	L-5 TYPICAL OPEN SPACE AREA	23	4.6 4-PLEX ITALIANTE 'C' FIRST FLOOR PLAN	38	6.6 6-PLEX ITALIANTE 'C' FIRST FLOOR PLAN
		12	L-6 LANDSCAPE DETAILS	24	4.7 4-PLEX ITALIANTE 'C' SECOND FLOOR PLAN	39	6.7 6-PLEX ITALIANTE 'C' SECOND FLOOR PLAN
		13	L-7 LANDSCAPE DETAILS	25	4.8 4-PLEX ITALIANTE 'C' THIRD FLOOR PLAN	40	6.8 6-PLEX ITALIANTE 'C' THIRD FLOOR PLAN
		14	L-8 IRRIGATION CONCEPT	26	4.9 4-PLEX ITALIANTE 'C' FRONT ELEVATION	41	6.9 6-PLEX ITALIANTE 'C' FRONT ELEVATION
		15	L-9 IRRIGATION NOTES AND LEGEND	27	4.10 4-PLEX ITALIANTE 'C' ROOF PLAN, SIDE & REAR ELEVATIONS	42	6.10 6-PLEX ITALIANTE 'C' ROOF PLAN, SIDE & REAR ELEVATIONS
		16	L-10 IRRIGATION DETAILS	28	5.1 5-PLEX ITALIANTE 'C' FIRST FLOOR PLAN	43	7.1 7-PLEX ITALIANTE 'C' FIRST FLOOR PLAN
		17	L-11 IRRIGATION DETAILS	29	5.2 5-PLEX ITALIANTE 'C' SECOND FLOOR PLAN	44	7.2 7-PLEX ITALIANTE 'C' SECOND FLOOR PLAN
				30	5.3 5-PLEX ITALIANTE 'C' THIRD FLOOR PLAN	45	7.3 7-PLEX ITALIANTE 'C' THIRD FLOOR PLAN
				31	5.4 5-PLEX ITALIANTE 'C' FRONT ELEVATION	46	7.4 7-PLEX ITALIANTE 'C' FRONT ELEVATION
				32	5.5 5-PLEX ITALIANTE 'C' ROOF PLAN, SIDE & REAR ELEVATIONS	47	7.5 7-PLEX ITALIANTE 'C' ROOF PLAN, SIDE & REAR ELEVATIONS

DEVELOPER

KB HOME NORTHERN CALIFORNIA
 5000 EXECUTIVE PARKWAY, SUITE 125
 SAN RAMON, CA 94583
 (925) 983-4527
 JOHN COMPAGLIA

CIVIL ENGINEER

CARLSON, BARBEE & GIBSON, INC.
 2633 CAMINO RAMON, SUITE 350
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 CONTACT: LEE ROSENBLATT

LANDSCAPE ARCHITECT

GATES + ASSOCIATES
 2671 CROW CANYON RD.
 SAN RAMON, CA 94583
 (925) 736-8176
 CONTACT: MELONIE O' SULLIVAN

ARCHITECT

SDG ARCHITECTS, INC.
 3361 WALNUT BLVD. SUIT 120
 BRENTWOOD, CA 94513
 (925) 634-7000
 CONTACT: RALPH STRAUSS



SEPTEMBER 30, 2014



DOLLAR STREET-TRACT 8188
SITE PLAN REVIEW
 HAYWARD, CALIFORNIA



cbg Carlson, Barbee & Gibson, Inc.
 CIVIL ENGINEERS • SURVEYORS • PLANNERS
 2633 CAMINO RAMON, SUITE 350 SAN RAMON, CALIFORNIA 94583 (925) 866-0322 www.cbang.com

LEGEND

EXISTING	PROPOSED	DESCRIPTION
- - - - -	- - - - -	SUBDIVISION BOUNDARY
- - - - -	- - - - -	PUBLIC UTILITY EASEMENT
- - - - -	- - - - -	EXISTING RIGHT OF WAY
- - - - -	- - - - -	FENCE
- - - - -	- - - - -	SPOT ELEVATIONS
- - - - -	- - - - -	CURB, GUTTER AND SIDEWALK

ABBREVIATIONS

AC	ASPHALT CONCRETE
ACFC	ALAMEDA COUNTY FLOOD CONTROL
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FC	FACE OF CURB
LS	LANDSCAPE
PL	PROPERTY LINE
PSD	PRIVATE STORM DRAIN PIPE
PUE	PUBLIC UTILITY EASEMENT
RW	RIGHT-OF-WAY
SDE	STORM DRAIN EASEMENT
SSE	SANITARY SEWER EASEMENT
SW	SIDEWALK
WLE	WATER LINE EASEMENT

SHEET INDEX

TM.1	EXISTING PROPERTY
TM.2	SITE & CIRCULATION PLAN
TM.3	GRADING PLAN
TM.4	UTILITY PLAN

CONTACTS

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JOHN COMPAGLIA
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(925) 868-0322
LEE ROSENBLATT, RCE #65469
- SOILS ENGINEER: ENGED
3910 CROW CANYON PLACE, SUITE 250
SAN RAMON, CA 94583
(925) 868-0322
RANDY HILDEBRANT, RCE #9940
- TOPOGRAPHIC SOURCE: AERIAL TOPOGRAPHY COMPILED BY:
AEROMETRIC SURVEYS
915 CLAREMONT STREET
SAN MATEO, CA 94402

WE, KB HOME NORTHERN CALIFORNIA, AGREE TO THE FILING OF SAID MAP AND TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP.

BY: *[Signature]* DATE: 5/29/2014

I, LEE ROSENBLATT, CERTIFY THAT THIS TENTATIVE MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT IT COMPLIES WITH THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT.

BY: *[Signature]* DATE: 9-29-2014
LEE ROSENBLATT, RCE #65469

A SOILS REPORT ON THIS PROPERTY HAS BEEN PREPARED BY ENGED, ENTITLED "GEOTECHNICAL EXPLORATION WELMA-DOLLAR/HARDER SITE, TRACT 8188", DATED MAY 22, 2014, WHICH HAS BEEN FILED WITH THE CITY OF HAYWARD.

BY: *[Signature]* DATE: 9/30/2014
RANDY HILDEBRANT, RCE #9940

I, DANA T. BAUMANN, A LICENSED LAND SURVEYOR IN THE STATE OF CALIFORNIA, HEREBY STATE THAT THIS TENTATIVE MAP IS BASED UPON A SURVEY UNDER MY DIRECT SUPERVISION AND THAT IT COMPLIES WITH THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT.

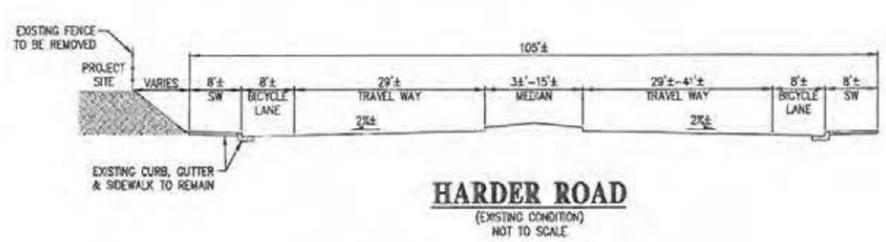
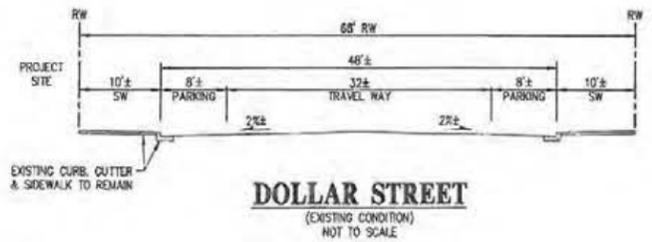
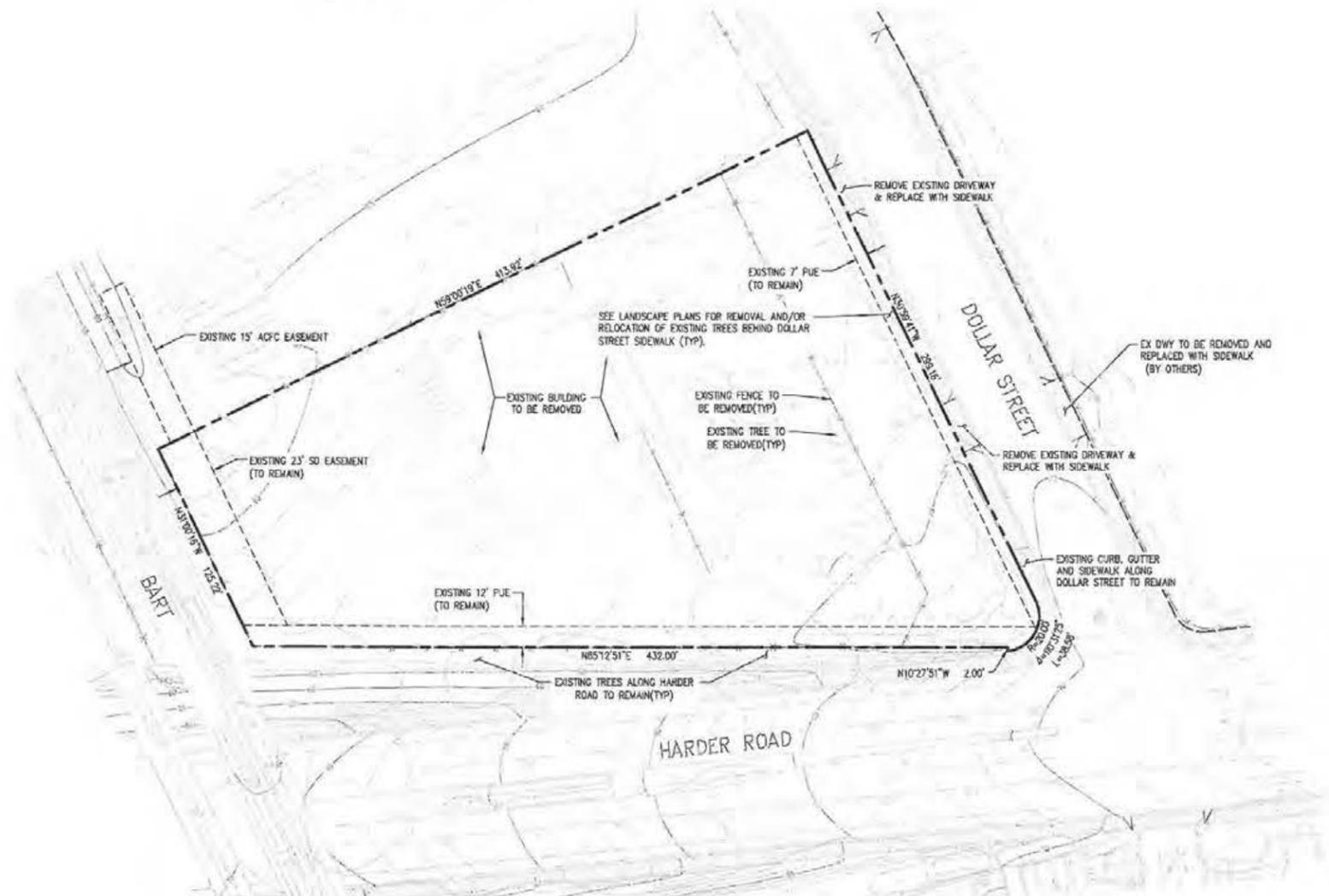
BY: *[Signature]* DATE: 9/29/2014
DANA T. BAUMANN, LS 7438



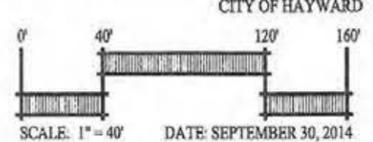
VICINITY MAP
(NOT TO SCALE)

GENERAL NOTES

- ASSESSORS PARCEL NO: 444-0078-015-04
- SITE ADDRESS: 25593 DOLLAR STREET, HAYWARD, CA
- SITE AREA: 2.15± ACRES
- EXISTING ZONING: M-14-2 URBAN GENERAL ZONE
PROPOSED ZONING: M-14-2 URBAN GENERAL ZONE
- EXISTING USE: MIXED INDUSTRIAL
PROPOSED USE: MULTI-FAMILY RESIDENTIAL - 7 BUILDINGS; 38 UNITS
- BENCHMARK: TOP OF BRASS DISK ON BRIDGE DECK ON WHITMAN STREET OVERPASS OVER HARDER ROAD, ELEVATION = 68.64, NGVD25, CITY OF HAYWARD DATUM MONUMENTATION PLAT FILE NO.1-42
- EXISTING STRUCTURES: ALL EXISTING BUILDINGS, PAVEMENT, AND TREES WITHIN BOUNDARY TO BE REMOVED.
- STREETS: ALL ROADWAYS WITHIN THE SUBDIVISION WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. ALL PRIVATE STREETS WILL BE WITHIN PUE'S. THE MINIMUM LONGITUDINAL SLOPE OF ALL STREETS IS 0.50%.
- TREES: ALL TREES WITHIN PROPERTY BOUNDARY TO BE REMOVED
- STREET TREES: STREET TREES SHALL BE INSTALLED PER CITY STD 50-122
- WALLS AND FENCING: ALL WALLS AND FENCING WILL BE PRIVATE FACILITIES AND PRIVATELY MAINTAINED
- STORM DRAIN: PROPOSED ON-SITE STORM DRAIN FACILITIES WILL BE PRIVATE FACILITIES AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION
- PUBLIC UTILITIES: PROPOSED ON-SITE WATER AND SANITARY SEWER FACILITIES ARE PUBLIC AND WILL BE WITHIN A SANITARY AND/OR WATER EASEMENT. PROPOSED WATER AND SANITARY SEWER FACILITIES WILL BE CONSTRUCTED PER CITY OF HAYWARD STANDARDS AND BE DEDICATED TO THE CITY.
- FLOOD ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
REFER TO: FLOOD INSURANCE RATE MAP
PANEL 06001C0288G (AUGUST 3, 2009)
- WELLS ON-SITE: NONE
- WATER: CITY OF HAYWARD
- SEWER: CITY OF HAYWARD
- GAS & ELECTRIC: PG&E
- TELEPHONE: SBC
- CABLE TV: COMCAST CABLE
- DIMENSIONS: ALL DIMENSIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP
- FINAL MAP: ONE FINAL MAP SHALL BE FILED FOR THIS SITE
- HOMEOWNER'S ASSOCIATION: A HOMEOWNER'S ASSOCIATION SHALL BE CREATED FOR THE DEVELOPMENT TO MAINTAIN PRIVATE AMENITIES



**VESTING TENTATIVE MAP
EXISTING PROPERTY
DOLLAR STREET - TRACT 8188**

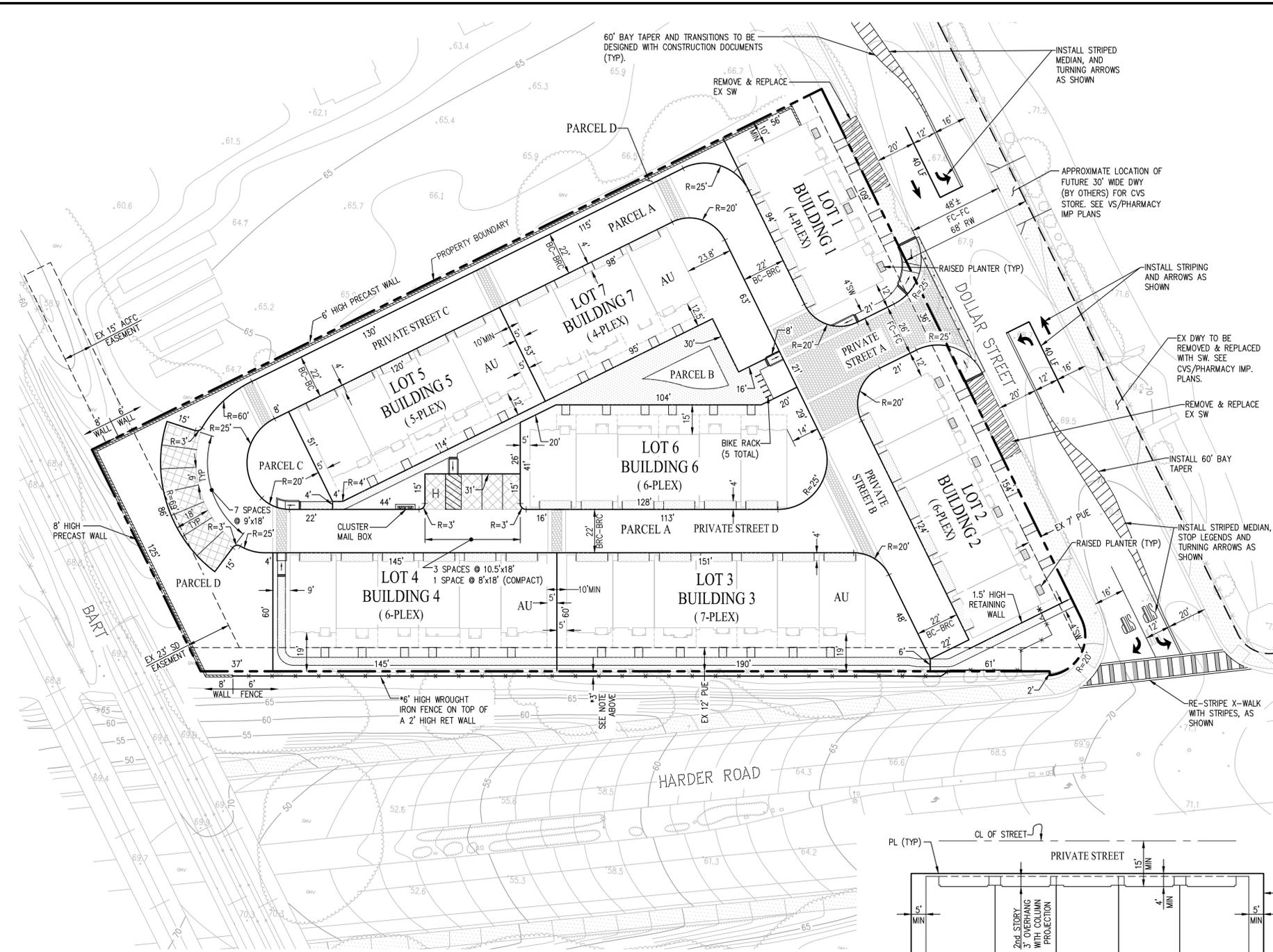


CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

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SAN RAMON, CALIFORNIA, 94583 (925) 868-0322
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SHEET NUMBER
TM.1
2 OF 47



***NOTE:**
WROUGHT IRON FENCE AND RET WALL TO ENCRACH 3' INTO HARDER ROAD RIGHT OF WAY FOR SEPERATION TO EXISTING UNDERGROUND FACILITIES. PERPETUAL ENCRACHMENT PERMIT TO BE GRANTED TO TRACT 8188 HOMEOWNER'S ASSOCIATION.

GENERAL NOTES

- EXISTING ZONING: M-14-2 URBAN GENERAL ZONE
- PROPOSED ZONING: M-14-2 URBAN GENERAL ZONE
- EXISTING LAND USE: COMMERCIAL
- PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
- TOTAL SITE AREA: 2.15± AC
- TOTAL NUMBER OF LOTS: 7 LOTS; 4 PARCELS; 38 TOTAL UNITS
- GROSS DENSITY: 17.7 UNITS/AC
NET DENSITY: 23.9 UNITS/AC
- STREETS: ALL DRIVE AISLES WITHIN THE SUBDIVISION WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. ALL PRIVATE DRIVES AISLES WILL BE WITHIN PUE'S. THE MINIMUM LONGITUDINAL SLOPE OF ALL STREETS IS 0.50%.
- SIDEWALKS: ALL SIDEWALKS AND PATHWAYS TO BE 4' WIDE MINIMUM
- TOTAL IMPERVIOUS SURFACE: 1.46± AC

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	SUBDIVISION BOUNDARY
---	---	PROPERTY LINE
---	---	RIGHT OF WAY
---	---	RETAINING WALL
---	---	PRECAST WALL
---	---	FENCE
---	---	FENCE ON TOP OF RET WALL
---	---	SIDEWALK, PATHWAY
---	---	VALLEY GUTTER
---	---	PUBLIC UTILITY EASEMENT
---	---	ACCESSIBLE UNIT
---	---	VAN ACCESSIBLE PARKING STALL
---	---	SPOT ELEVATIONS
---	---	PERMEABLE PAVERS
---	---	DECORATIVE PAWING
---	---	REMOVE & REPLACE EX SIDEWALK
---	---	RAISED PLANTER
---	---	BACK OF CURB
---	---	BACK OF ROLLED CURB
---	---	DRIVEWAY
---	---	EMERGENCY VEHICLE ACCESS EASEMENT
---	---	FACE OF CURB
---	---	LANDSCAPE
---	---	PROPERTY LINE
---	---	PUBLIC STORM DRAIN
---	---	PUBLIC UTILITY EASEMENT
---	---	RIGHT-OF-WAY
---	---	STORM DRAIN EASEMENT
---	---	SANITARY SEWER EASEMENT
---	---	SIDEWALK
---	---	TOP OF CURB
---	---	WATER LINE EASEMENT

FBC

(FBC)
FORM BASED CODE ANALYSIS (T4-2 STANDARDS)

	FBC	PROPOSED
DENSITY	17.5-35 DU/AC	17.7 DU/AC
SETBACKS	FRONT 6' SIDE 0' REAR 3*	FRONT 10' SIDE 5' REAR 4' (DRIVE AISLE)
HEIGHT	4 STORY MAX	3 STORY
LOT WIDTH	200' MAX	200' MAX
PARKING	2 SPACES/DU	2.3 SPACES/DU
VISIBILITY	ZERO STEP ENTRANCE TO EACH BUILDING	10% OF PRIMARY ENTRANCES TO EACH UNIT PER CBC

* 3' FROM PROPERTY LINE OR 15' FROM CENTER LINE OF PRIVATE STREET, WHICH EVER IS GREATER.

PARKING SUMMARY

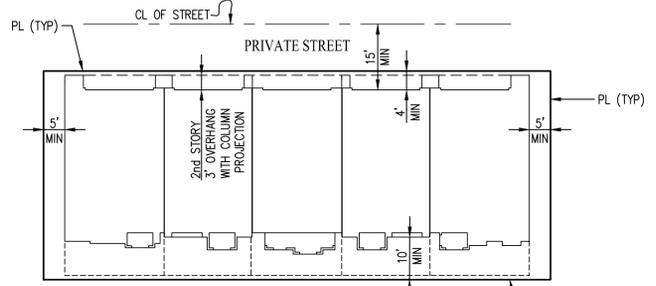
PARKING TYPE	PARKING REQUIRED		PARKING PROVIDED	
	RATIO	NUMBER OF SPACES	RATIO	NUMBER OF SPACES
GARAGE	2 SPACES/DU	76 SPACES	2 SPACES/DU	76 SPACES
ON-STREET/GUEST	0.25 SPACE/DU	10 SPACES	0.29 SPACE/DU	11 SPACES
TOTAL	2.25	86 SPACES	2.29 SPACE/DU	87 SPACES

- NOTES:
1. ON-STREET/GUEST PARKING DOES NOT INCLUDE LEGAL PUBLIC PARKING ON DOLLAR STREET.
2. ONE VAN ACCESSIBLE SPACE IS PROVIDED (DENOTED BY "H" ON PLAN ABOVE).

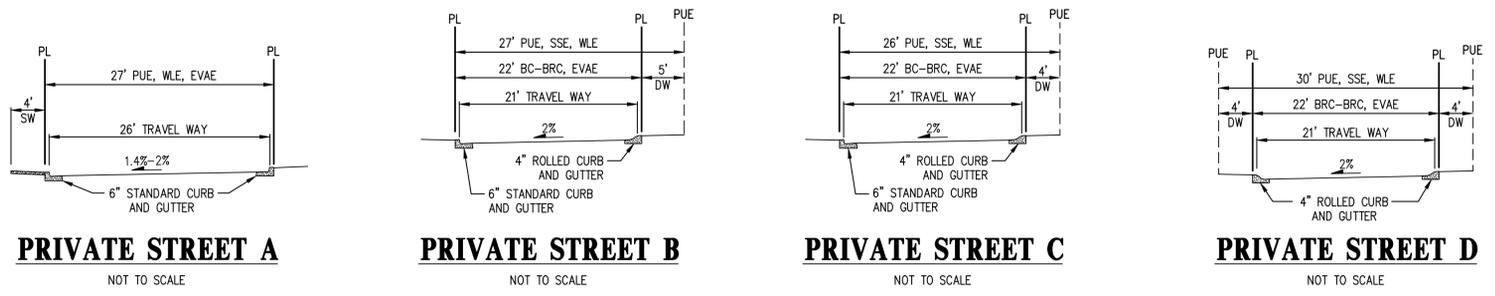
DEVELOPMENT SUMMARY

BUILDING TYPE	BUILDING TOTAL	BUILDING MIX (% TOTAL)	UNIT TOTAL	BUILDING SF* (TOTAL OF ALL UNITS)	MIN LOT AREA, SF	BUILDING FOOTPRINT, SF	MAX LOT COVERAGE
4-PLEX	2	29%	8	7,414	5,974	2,998	50%
5-PLEX	1	14%	5	9,011	6,240	3,824	61%
6-PLEX	3	43%	18	10,820	8,700	4,564	52%
7-PLEX	1	14%	7	12,629	10,410	5,296	42%
TOTAL	7	100%	38	-	-	-	-

*BUILDING SQUARE FOOTAGE IS THE TOTAL LIVING SQUARE FOOTAGE OF ALL THE UNITS WITHIN THE BUILDING.



TYPICAL BUILDING SETBACKS
NTS



VESTING TENTATIVE MAP
SITE PLAN
DOLLAR STREET - TRACT 8188

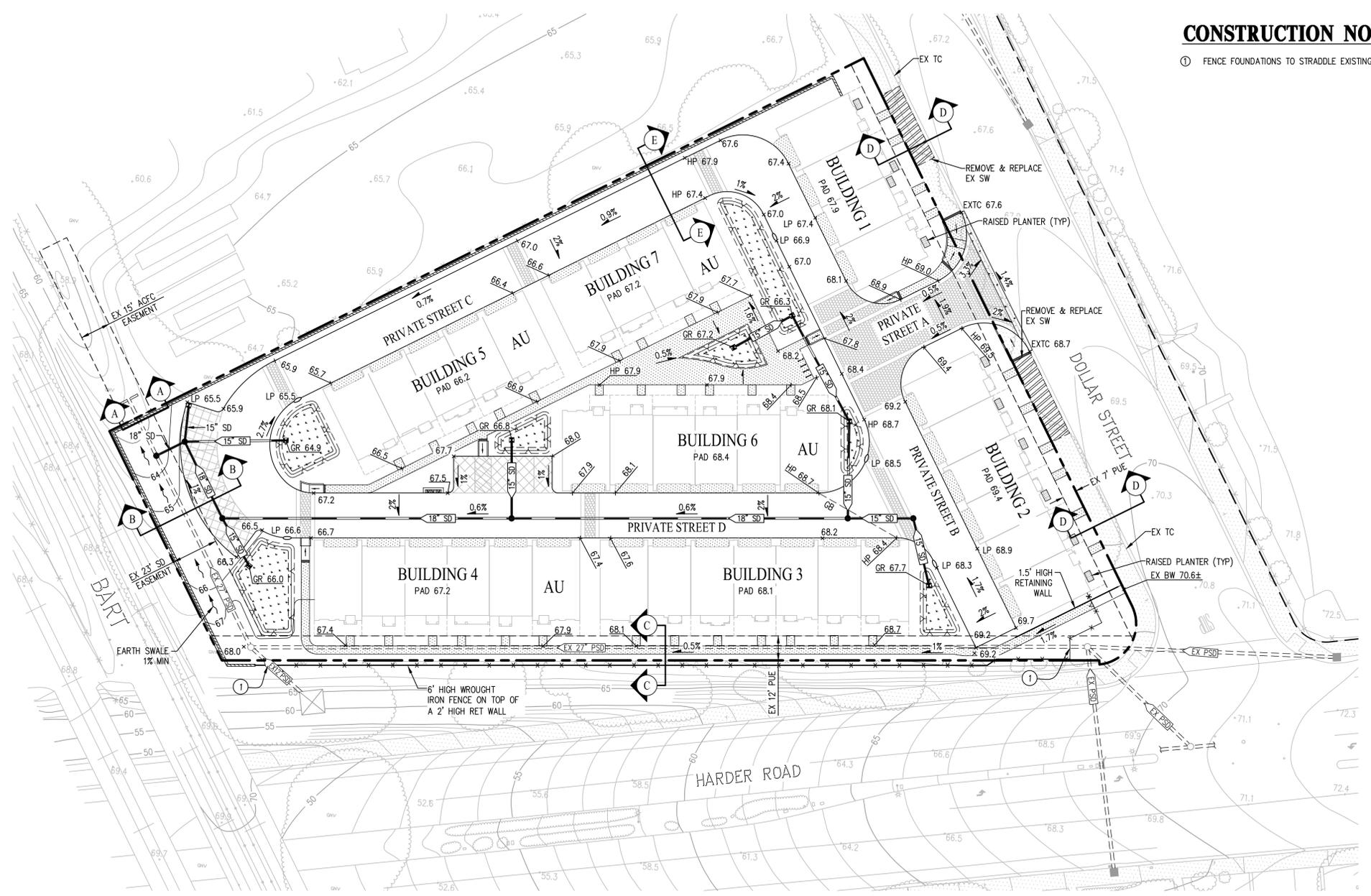
CITY OF HAYWARD ALAMEDA COUNTY CALIFORNIA

SCALE: 1" = 30' DATE: SEPTEMBER 30, 2014

cbg Carlson, Barbee & Gibson, Inc. CIVIL ENGINEERS • SURVEYORS • PLANNERS

2633 CAMINO RAMON, SUITE 350 SAN RAMON, CALIFORNIA 94583 (925) 866-0322 www.cbang.com

SHEET NUMBER TM.2 3 OF 47



CONSTRUCTION NOTE
 ① FENCE FOUNDATIONS TO STRADDLE EXISTING PIPE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	SUBDIVISION BOUNDARY
---	---	RETAINING WALL
---	---	PRECAST WALL
---	---	RIGHT-OF-WAY
---	---	SIDEWALK
---	---	BIORETENTION AREA
---	---	PERMEABLE PAVERS
---	---	DECORATIVE PAVING
---	---	REMOVE & REPLACE EX SIDEWALK
---	---	RAISED PLANTER
---	---	FENCE
---	---	FENCE ON TOP OF RET WALL
---	---	SPOT ELEVATIONS
---	---	STORM DRAIN LINE (PRIVATE)
---	---	STORM DRAIN LINE (PUBLIC)
---	---	STORM DRAIN MANHOLE
---	---	FIELD INLET
---	---	CURB CUT
---	---	AU ACCESSIBLE UNIT
---	---	BD BOUNDARY
---	---	EVAE EMERGENCY VEHICLE ACCESS EASEMENT
---	---	EX EXISTING
---	---	FF FINISH FLOOR
---	---	GB GRADE BREAK
---	---	GR GRATE
---	---	H ACCESSIBLE PARKING STALL
---	---	HP HIGH POINT
---	---	LP LOW POINT
---	---	LS LANDSCAPE
---	---	PL PROPERTY LINE
---	---	PSD PUBLIC STORM DRAIN
---	---	PUE PUBLIC UTILITY EASEMENT
---	---	SD STORM DRAIN (PRIVATE)
---	---	SW SIDEWALK
---	---	TC TOP OF CURB
---	---	TCD THRU CURB DRAIN

GRADING NOTES

- GRADING GRADING WILL BE DONE AS PART OF THIS TRACT
- LIMIT OF GRADING THE LIMIT OF GRADING IS THE PROPOSED SUBDIVISION BOUNDARY.
- SOILS REPORT ELEMENTS OF GRADING ARE IN CONFORMANCE WITH PRELIMINARY SOILS REPORT

EARTHWORK SUMMARY

DESCRIPTION	CUT	FILL
ROUGH GRADING	2,000 C.Y.	1,000 C.Y.
BALANCE		1,000 C.Y.
TOTAL	2,000 CY	2,000 CY

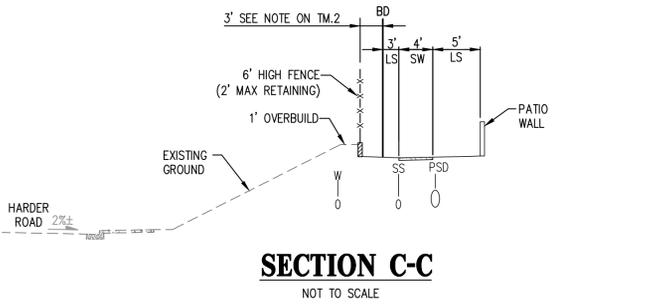
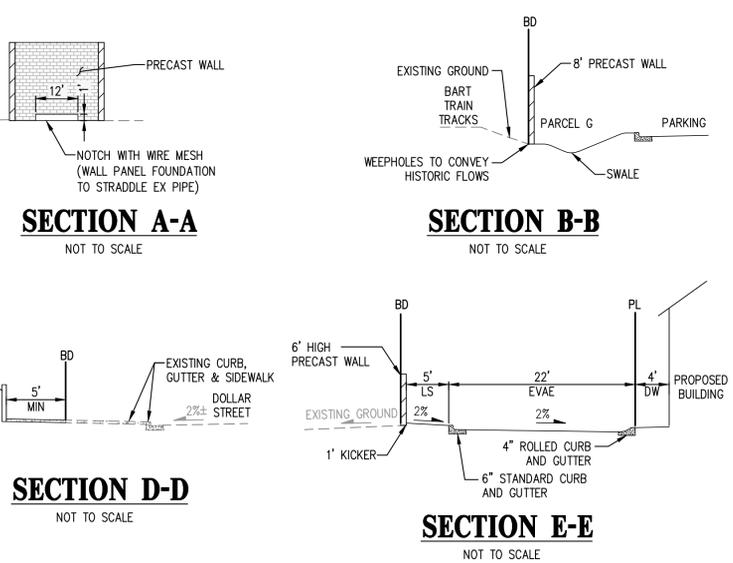
NOTES:

- EARTHWORK QUANTITIES ARE APPROXIMATE AND REPRESENT RAW NUMBERS ONLY.
- EARTHWORK QUANTITIES DO NOT INCLUDE USING ROCK GENERATED FROM EXISTING PARKING AREA OR BUILDING FOUNDATION.

PAVEMENT DESIGN CHART

STREET	T1	R	ASPHALTIC CONCRETE (AC)	CALTRANS CLASS 2 AGGREGATE BASE (AB)	TOTAL PAVEMENT THICKNESS
PRIVATE STREETS A,B,C&D	5.5	5	4"	10"	14"
PARKING SPACES			PERMEABLE PAVERS		

NOTES:
 1. R-VALUE TO BE FINALIZED BY GEOTECHNICAL ENGINEER WITH FINAL DESIGN.



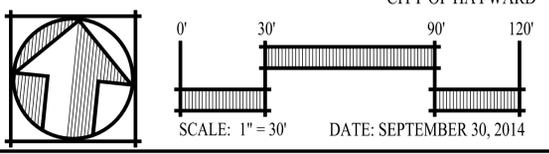
BIO-RETENTION AREA DATA

PROPOSED TRIBUTARY DRAINAGE AREA (SF)	PERVIOUS TRIBUTARY AREA (SF)	IMPERVIOUS TRIBUTARY AREA (SF)	MINIMUM SURFACE AREA REQUIRED FOR BIO-RETENTION (4%) (SF)	TOTAL AVAILABLE SURFACE AREA FOR BIO-RETENTION (SF)
90,278	23,444	66,834	2,767	2,860

NOTES:

- BIO-RETENTION AREA MAYBE REDUCED TO 3% ONCE FLOW AND VOLUME CALCULATIONS ARE COMPLETED FOR THE CONSTRUCTION DOCUMENTS.
- DRAINAGE AREAS SHOWN ARE PRELIMINARY AND WILL BE UPDATED WITH THE FINAL PROJECT DESIGN.

VESTING TENTATIVE MAP
 GRADING PLAN
DOLLAR STREET - TRACT 8188



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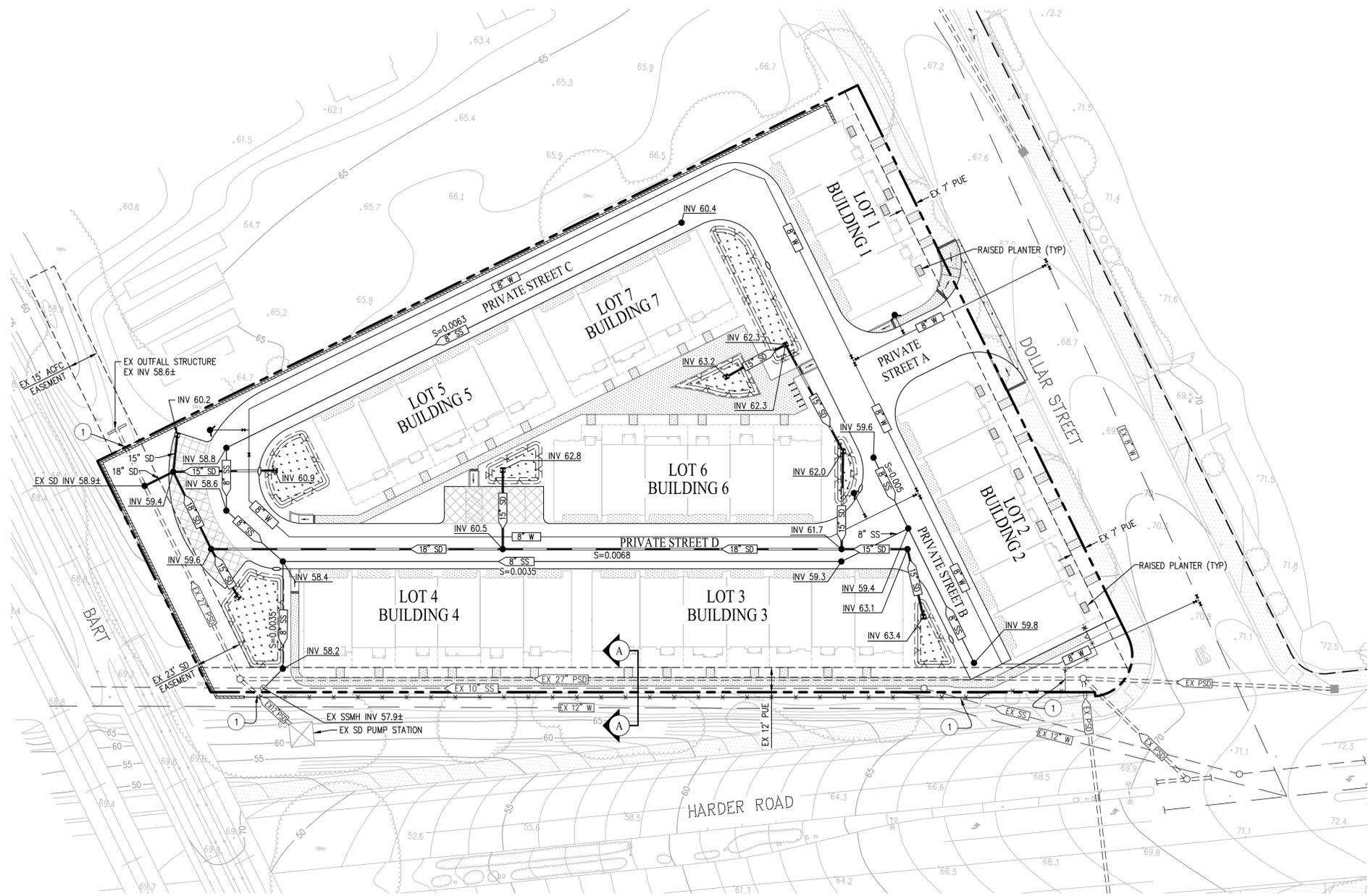
SHEET NUMBER
TM.3
 4 OF 47

UTILITY NOTES

1. EXISTING UTILITIES: ALL EXISTING UTILITIES SERVING ORIGINAL USE WITHIN THE BOUNDARY TO BE REMOVED. EXISTING STORM DRAIN, SANITARY SEWER AND WATER WITHIN EASEMENTS TO REMAIN.
2. PUBLIC UTILITIES: PROPOSED WATER AND SANITARY SEWER FACILITIES WITHIN PRIVATE ROADWAYS ARE PUBLIC AND WILL BE WITHIN A SANITARY AND/OR WATER EASEMENT. PROPOSED WATER AND SANITARY SEWER FACILITIES WILL BE CONSTRUCTED PER CITY OF HAYWARD STANDARDS AND BE DEDICATED TO THE CITY.
3. PRIVATE UTILITIES: STORM DRAIN SYSTEM
4. STORM DRAIN: PROPOSED ONSITE STORM DRAIN FACILITIES WILL BE PRIVATE AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. MIN SLOPE OF PROPOSED STORM DRAIN PIPE = 0.0035. PUBLIC STORM DRAIN FACILITIES TO BE CONSTRUCTED TO CITY OF HAYWARD STANDARDS. ALL STORM PIPE TO BE RCP OR NDS N-12 PER CITY OF HAYWARD STANDARDS.
5. WATER:
 - A. WATER SHALL BE CONSTRUCTED PER CITY OF HAYWARD STANDARDS.
 - B. PROVIDE KEYS/ACCESS CODE/AUTOMATIC GATE OPENER TO UTILITIES FOR ALL METERS ENCLOSED BY A FENCE/GATE AS PER HAYWARD MUNICIPAL CODE 11-2.02.1. ONLY WATER DISTRIBUTION PERSONNEL SHALL PERFORM OPERATION OF VALVES ON THE HAYWARD WATER SYSTEM.
 - C. WATER AND SEWER SERVICE AVAILABLE SUBJECT TO STANDARD CONDITIONS AND FEES IN EFFECT AT TIME OF APPLICATION.
6. SEWER: CITY OF HAYWARD
STANDARD MIN SLOPE OF PROPOSED SEWER PIPE = 0.0035
MIN SIZE OF PROPOSED SEWER MAIN IS 8". SEWER SHALL BE CONSTRUCTED OF PVC PIPE PER CITY OF HAYWARD STANDARDS.
7. GAS & ELECTRIC: PG&E
8. TELEPHONE: SBC
9. CABLE TV: COMCAST CABLE
10. UTILITIES: UTILITIES SHOWN ARE TO BE USED AS A GUIDE AND MAY CHANGE DURING FINAL DESIGN. DESIGN SHALL ADHERE TO CITY OF HAYWARD STANDARDS.

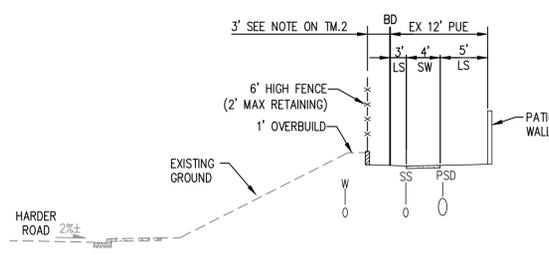
LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	SUBDIVISION BOUNDARY
---	---	VALLEY GUTTER
---	---	RIGHT OF WAY
---	---	FENCE
---	---	PRECAST WALL
EX INV 59.0	INV 59.0	INVERT ELEVATIONS
---	SD	STORM DRAIN LINE (PRIVATE)
== EX PSD ==	---	STORM DRAIN LINE (PUBLIC)
---	SS	SANITARY SEWER
---	W	WATER
●	●	SANITARY SEWER MANHOLE
●	●	STORM DRAIN MANHOLE
■	■	CURB INLET
■	■	FIELD INLET
■	■	FIRE HYDRANT
☼	☼	STREETLIGHT (SEE LANDSCAPE LIGHTING PLAN)
○	○	CURB CUT
○	○	ALAMEDA COUNTY FLOOD CONTROL
○	○	EMERGENCY VEHICLE ACCESS EASEMENT
○	○	FACE OF CURB
○	○	HYDRAULIC GRADE LINE
○	○	JOINT TRENCH
○	○	PUBLIC STORM DRAIN
○	○	PUBLIC UTILITY EASEMENT
○	○	STORM DRAIN (PRIVATE)
○	○	STORM DRAIN EASEMENT
○	○	SEWER SYSTEM EASEMENT
○	○	THRU CURB DRAIN
○	○	WATER LINE EASEMENT
○	○	RAISED PLANTER
○	○	BIORETENTION AREA
○	○	PERMEABLE PAVERS

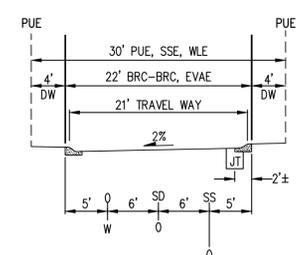


CONSTRUCTION NOTES:

- 1 WALL/FENCE PANEL FOUNDATION TO STRADDLE EXISTING PIPE.

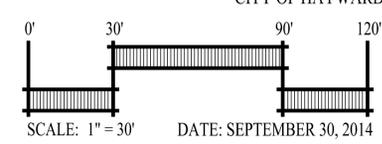


SECTION A-A
NOT TO SCALE



TYPICAL UTILITIES IN PRIVATE STREETS
NOT TO SCALE

VESTING TENTATIVE MAP UTILITY PLAN DOLLAR STREET - TRACT 8188



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SHEET NUMBER
TM.4
5 OF 47

DOLLAR STREET/HARDER ROAD

PLANNED DEVELOPMENT SUBMITTAL

HAYWARD, CALIFORNIA

PROJECT DIRECTORY

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- L-0 COVER SHEET
- L-1 NOTES AND LEGENDS
- L-2 TREE REMOVAL AND PRESERVATION PLAN
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- L-5 TYPICAL OPEN SPACE AREA
- L-6 DETAILS
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- L-9 CONCEPTUAL IRRIGATION NOTES AND LEGEND
- L-10 CONCEPTUAL IRRIGATION DETAILS
- L-11 CONCEPTUAL IRRIGATION DETAILS

PLANTING NOTES

1. ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
2. PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT.
3. ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING/GUYING DETAIL.
4. PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR. IN CASE OF DISCREPANCIES, THE PLAN SHALL GOVERN.
5. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES BUT NOT TO BLOCK WINDOWS NOR IMPEDE ACCESS.
6. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THEY FEEL NECESSARY WHILE WORK IS IN PROGRESS. SUCH CHANGES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF WHEN NECESSARY.
7. BRANCHING HEIGHT OF TREES SHALL BE A 6'-0" MINIMUM ABOVE FINISH GRADE.
8. ALL TREES IN A FORMAL GROUP PLANTING SHALL BE MATCHING IN SIZE AND SHAPE.
9. LANDSCAPE CONTRACTOR SHALL HIRE AN ACCREDITED SOILS ANALYSIS FIRM TO TEST SOIL AND ABIDE BY RECOMMENDATIONS CONTAINED WITHIN FOR PROPER PLANT GROWTH.
10. ON GRADE PLANTING BACKFILL MIX SHALL CONSIST OF 50% IMPORTED TOPSOIL, 50% NATIVE SOIL (WITH NO ROCKS LARGER THAN 2" DIAMETER).
11. ALL ON-GRADE PLANTING AREAS ARE TO RECEIVE IRON AND NITROGEN STABILIZED REDWOOD SOIL CONDITIONER AT THE RATE OF 6 CUBIC YARDS/1000 SQUARE FEET, EVENLY TILLED 6" DEEP INTO THE SOIL TO FINISH GRADE.
12. ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH 3" LAYER OF SALT WATER FREE FIR BARK MULCH HAVING A MAXIMUM SIZE OF 3/4" DIAMETER.
13. ALL STREET TREES TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY.
14. ALL TREES WITHIN 5' OF PAVING AREAS SHALL HAVE DEEP ROOT BARRIERS INSTALLED. DEEP ROOT BARRIER MODEL NO. UB-36.2. (415) 344.1464.
15. THE LANDSCAPE CONTRACTOR SHALL AS A PART OF THIS BID PROVIDE FOR A PLANTING ALLOWANCE FOR THE AMOUNT OF \$1,500.00 (ONE THOUSAND FIVE HUNDRED DOLLARS), TO BE USED FOR SUPPLYING AND INSTALLING ADDITIONAL PLANT MATERIAL AS DIRECTED BY THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER IN WRITING. THE UNUSED PORTION OF THE ALLOWANCE SHALL BE RETURNED TO THE OWNER AT THE BEGINNING OF THE MAINTENANCE PERIOD.
16. CONTRACTOR SHALL EXCAVATE ALL LIME-TREATED SOILS FROM ALL PLANTING AREAS.
17. ADJACENT TO CURBS OR PAVING, CONTRACTOR TO HOLD CENTER OF PLANTINGS 1/2 THE DISTANCE OF THE ON-CENTER SPACING.
18. THE LANDSCAPE CONTRACTOR IS TO PROVIDE AN AGRICULTURAL SUITABILITY ANALYSIS AND PERCOLATION TEST VERIFYING 3" PER HOUR DRAIN RATE FOR ON-SITE AND IMPORTED TOPSOIL. RECOMMENDATIONS FOR AMENDMENTS AND DRAINAGE SOLUTIONS CONTAINED IN THIS ANALYSIS SHALL BE CARRIED OUT BEFORE PLANTING OCCURS IF DRAINAGE IS FOUND TO NOT AT A PROPER RATE.

GENERAL NOTES

- UTILITIES ON SITE SHALL BE SCREENED BY EVERGREEN SHRUBS
- FOR BIO-RETENTION AREA CROSS-SECTION, SEE CIVIL DRAWINGS
- SCHEMATIC CONCEPT PLANS WERE BASE ON CITY OF HAYWARD'S WATER CONSERVATION IN LANDSCAPING REGULATIONS GUIDELINES AND CHECKLIST. FOLLOWING CITY'S APPROVAL OF PD SUBMITTAL DOCUMENTS, THE CONSTRUCTION DOCUMENTS SHALL ALSO FOLLOW CITY OF HAYWARD'S WATER CONSERVATION IN LANDSCAPING REGULATIONS GUIDELINES

LAYOUT NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
2. ALL WRITTEN DIMENSIONS SUPERSEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF THE BUILDING, WALL, BACK OF CURB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL ANGLES ARE 45 DEGREE, 90 DEGREE, OR 135 DEGREE UNLESS OTHERWISE NOTED.
3. ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.
4. SEE IRRIGATION SCHEMATIC FOR GENERAL SYSTEM REQUIREMENTS AND FOR LOCATION OF IRRIGATION MAINLINE PIPING. SLEEVES TO ACCOMMODATE IRRIGATION PIPING, SIZED AS NEEDED, SHALL BE PLACED UNDER AND THROUGH SLABS AND WALLS. PRIOR TO POURING, SCORE LINES IN SIDEWALKS SHALL BE SPACED TO EQUAL THE WIDTH OF THE WALKWAY, UNLESS OTHERWISE SHOWN. EXPANSION JOINTS IN SIDEWALKS SHALL BE 30' ON CENTER MAXIMUM AND AS SHOWN ON THE PLANS. EXPANSION JOINTS SHALL BE PLACED AT THE INTERFACE OF WALLS AND BUILDINGS AND AT THE CHANGE OF DIRECTION OF TRAVEL.
5. BUILDING LAYOUT AND LOCATION, SIDEWALK, CURB AND GUTTER, GRADING AND DRAINAGE IS BASED ON DRAWINGS PREPARED BY THE ARCHITECT AND THE CIVIL ENGINEER.
6. SEE ELECTRICAL ENGINEER'S PLANS AND LIGHTING PLAN FOR ADDITIONAL INFORMATION.
7. 6" CONCRETE MOW BAND SHALL BE INSTALLED IN BETWEEN THE SEAT WALL AND THE LAWN AREA, AS WELL AS ALONG THE EDGE OF THE RUBBER SURFACING PLAY AREA.
8. HANDRAILS ARE ONLY REQUIRED AT EACH RESIDENCE WHEN THE NUMBER OF RISERS IS 3 OR MORE.

WATER EFFICIENT LANDSCAPE STATEMENT

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET CURRENT WATER EFFICIENCY STANDARDS AND STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AB1881 AS REQUIRED BY LOCAL JURISDICTIONS WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF HIGH EFFICIENCY SPRAY IRRIGATION TO THE TURF AND GROUND COVER AREAS AND DRIP IRRIGATION BUBBLERS TO RESTRICTED SHRUB PLANTING AND SHRUB MASS PLANTING AREAS AS APPLICABLE.

IRRIGATION SYSTEMS SHALL BE DESIGNED TO ACCOMMODATE RECYCLED WATER WHERE AVAILABLE EITHER CURRENTLY OR IN THE FUTURE AS DIRECTED BY THE LOCAL WATER PURVEYOR. RECYCLED WATER SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH LOCAL AND STATE CODES.

IRRIGATION SYSTEMS FOR LANDSCAPES GREATER THAN 5,000 SF SHALL HAVE A DEDICATED WATER METER FOR IRRIGATION.

A WATER EFFICIENT LANDSCAPE WORKSHEET SHALL BE INCLUDED WITH HYDROZONE INFORMATION TABLE, WATER BUDGET CALCULATIONS AND IRRIGATION OPERATION SCHEDULES.

A STATE OF THE ART ET BASED SELF ADJUSTING IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO AUTOMATICALLY CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE). THIS SHALL INCLUDE RAIN AND FLOW SENSORS AS APPLICABLE FOR A HIGHER LEVEL OF WATER CONSERVATION.

TREE BUBBLERS SHALL BE INCLUDED ON SEPARATE CIRCUITS TO ISOLATE THE IRRIGATION TO THE TREES AND PROVIDE DEEP WATERING TO PROMOTE A DEEPER ROOT STRUCTURE.

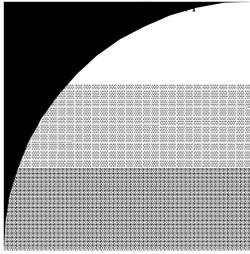
SPRAY IRRIGATION SYSTEMS FOR GROUND COVER AREAS GREATER THAN 8' WIDE IN ANY DIRECTION SHALL BE DESIGNED WITH COMMERCIAL SERIES SPRAY HEADS WITH HIGH EFFICIENCY NOZZLES THAT INCLUDE INTERNAL CHECK VALVES AND PRESSURE COMPENSATION DEVICES. THE HEADS SHALL BE DESIGNED IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM. THE NOZZLES DELIVER WATER AT A MINIMUM 70% EFFICIENCY WITH A LOW PRECIPITATION RATE THAT MATCHES THE INFILTRATION RATE OF THE SOIL.

THE DRIP SYSTEM WILL INCORPORATE PRESSURE COMPENSATING DRIP BUBBLERS WITH 1/4" DRIP TUBES TO EACH PLANT WHICH DELIVERS WATER AT 90% EFFICIENCY AT AN APPLICATION RATE THAT MATCHES THE SOIL TYPE.

LOCATION MAP



PROJECT SITE



GATES + ASSOCIATES

LANDSCAPE ARCHITECTURE
LAND PLANNING · URBAN DESIGN

2671 CROW CANYON RD. SAN RAMON, CA 94583
T 925.736.8176 www.gates.com

DOLLAR ST/ HARDER RD

HAYWARD, CA



ISSUE:	DESCRIPTION:	DATE:
ISSUE 1	SITE REVIEW	09/29/14



PROJECT NUMBER: P-1000
DRAWN: AC
CHECK: MNO
DATE: 04/15/2014
SCALE:



COVER SHEET

L-0

- of -

LAYOUT LEGEND

	PEDESTRIAN CONCRETE PAVING FINISH: MEDIUM BROOM COLOR: STANDARD GREY ALL PEDESTRIAN CONCRETE PAVING AT PATIO SHALL BE STANDARD GREY COLOR WITH SALT FINISH.		4' DIA METAL TREE GRATE MFR: WABASH VALLEY MODEL: SIGNATURE SERIES 6' PERFORATED FRAME AND LEG COLOR: BLACK CONTACT: WWW.WABASHVALLEY.COM INSTALL PER MFG SPECS
	INTEGRAL COLOR CONCRETE PAVING FINISH: SALT COLOR: TBD		HEADER BOARD
	STAMPED ASPHALT AT CROSSWALK WITH 12" WIDE, CONCRETE BANDS ON EITHER SIDE. MFR: STREETPRINT BY IPC (Integrated Paving Concept) (888) 581-2899 PATTERN: TBD COLOR: TBD		SCORELINE
	PERVIOUS CONCRETE PAVERS MFR: BASALITE MODEL: TBD COLOR: TBD		EXPANSION JOINT
	RUBBER SAFETY SURFACING MFR: SURFACE AMERICA COLOR: TBD		POINT OF BEGINNING
	LOOP BIKE RACK MFR: DUMOR MODEL: 83 COLOR: BLACK CONTACT: WWW.DUMOR.COM INSTALL PER MFG SPECS		TYPICAL
	MAILBOX CLUSTER MFR: CUSTOM HOME ACCESSORIES PH: (916) 987-7787 MODEL: REGENCY KIT CLUSTER BOX UNITS STYLE: SALSBUURY 3300 SERIES (WITHOUT PEDESTAL COVER) COLOR: BLACK INSTALL PER MFG SPECS ACQUIRE APPROVAL FROM POST OFFICE PRIOR TO ORDERING.		EQUAL
	ROUND CONCRETE BENCH MFR: WABASH VALLEY MODEL: SIGNATURE SERIES 6' PERFORATED FRAME AND LEG COLOR: BLACK CONTACT: WWW.WABASHVALLEY.COM INSTALL PER MFG SPECS		SEE CIVIL'S DRAWINGS
	6' METAL BENCH MFR: WABASH VALLEY MODEL: SIGNATURE SERIES 6' PERFORATED FRAME AND LEG COLOR: BLACK CONTACT: WWW.WABASHVALLEY.COM INSTALL PER MFG SPECS		SEE ARCHITECT'S DRAWINGS
	BOULDER		SEE ELECTRICAL'S DRAWINGS
	4' PATIO FENCE AND COLUMN		SIMILAR
			RADIUS - ALL RADII GIVEN FOR WALLS ARE DIMENSIONED TO OUTSIDE OF WALLS.
			ALIGN
			CENTER LINE
			SPACING
			FACE OF CURB
			BIO-RETENTION IN PLANTING AREAS, S.C.D
			PLANTING AREA

PLANT LIST

TREE									
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER REQ.	REF.	CA NATIVE/ MED.	XX XX
	AM	Arbutus Marina'	NON	15 Gal.	As Shown	OCC-INF	EBMUD	Mediterranean	
	AR	Acer rubrum 'Red Sunset'	Red Maple	15 Gal.	As Shown	MOD	WUCOLS	--	
	CR	Ceanothus 'Ray Hartman' (Std.)	Ceanothus	15 Gal.	As Shown	LOW	WUCOLS	CA Native	
	ED	Elaeagnus argentea	Japanese Blueberry	15 Gal.	As Shown	MOD	WUCOLS	--	
	LM	Lagerstroemia indica 'Muskogee' (Std.)	Crape Myrtle	15 Gal.	As Shown	LOW	WUCOLS	--	
	LN	Lagerstroemia indica 'Natchez' (Std.)	Crape Myrtle	15 Gal.	As Shown	LOW	WUCOLS	--	
	PC	Platanus chinensis	Chinese Platanus	15 Gal.	As Shown	LOW	WUCOLS	--	
	TC	Tilia cordata	Little Leaf Linden	15 Gal.	As Shown	MOD	WUCOLS	--	
	ZE	Zelkova s. 'Musashino'	Sauzeaf Zelkova	15 Gal.	As Shown	MOD	WUCOLS	--	
SHRUB/ PERENNIALS									
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER REQ.	REF.	CA NATIVE/ MED.	XX XX
	AT	Achillea tomentosa 'King George'	Woolly Yarrow	1 Gal.	1'-6"	OCC-INF	EBMUD	Mediterranean	
	* AU	Agapanthus 'Rancho White'	Lily of the Nile	1 Gal.	1'-6"	OCC	EBMUD	Mediterranean	
	* BU	Buxus sempervirens 'Green Mountain'	Boxwood	1 Gal.	3'-0"	INF-NONE	EBMUD	CA Native	
	* CO	Colsonema 'Sunset Gold'	Pink Breath of Heaven	1 Gal.	2'-6"	MOD	WUCOLS	--	
	* CP	Coprosma hybrida 'Tequila Sunrise'	Mirror Plant	1 Gal.	4'-0"	OCC-INF	EBMUD	Mediterranean	
	C8	Cistus x. argenteus 'Silver Pink'	Rockrose	1 Gal.	4'-0"	OCC-INF	EBMUD	Mediterranean	
	* CU	Cuphea hyssopifolia 'Caribbean Sunset'	False Heather	1 Gal.	2'-0"	OCC-INF	EBMUD	Mediterranean	
	* DG	Dietes grandiflora 'Variegata'	Variegated Fortnight Lily	1 Gal.	3'-6"	LOW	WUCOLS	--	
	* EG	Eucymus fortunei 'Golden Prince'	NON	1 Gal.	3'-6"	LOW	WUCOLS	--	
	* HA	Hebe x andersonii	Hebe	1 Gal.	5'-0"	MOD	WUCOLS	--	
	* HO	Hebe odora	Boxleaf Hebe	1 Gal.	5'-0"	MOD	WUCOLS	--	
	HR	Hemerocallis hybrida 'Red'	Evergreen Daylily	1 Gal.	2'-0"	MOD	WUCOLS	--	
	HY	Hemerocallis hybrida 'Yellow'	Evergreen Daylily	1 Gal.	2'-0"	MOD	WUCOLS	--	
	HS	Helictotrichon sempervirens	Blue Oat Grass	1 Gal.	2'-6"	MOD-OCC	EBMUD	CA Native	
	* LI	Liriope gigantea	Giant Lily Turf	1 Gal.	2'-6"	LOW	WUCOLS	--	
	LA	Lavatera assurgentifolia	Tree Malibu	5 Gal.	6'-0"	LOW	WUCOLS	Mediterranean	
	LT	Lavatera thuringiaca 'Red Rum'	Tree Malibu	1 Gal.	4'-0"	LOW	WUCOLS	Mediterranean	
	* MC	Myrtus communis	Myrtle	1 Gal.	2'-0"	LOW	WUCOLS	CA Native	
	* MC	Myrtus communis 'Compacta'	Dwarf Myrtle	1 Gal.	4'-0"	LOW	WUCOLS	CA Native	
	ND	Nandina domestica 'Flum Passion'	Heavenly Bamboo	1 Gal.	4'-0"	LOW	WUCOLS	--	
	FJ	Phormium 'Jester'	New Zealand Flax	1 Gal.	1'-6"	LOW	WUCOLS	--	
	* PT	Phormium 'Yellow Wave'	New Zealand Flax	1 Gal.	4'-0"	LOW	WUCOLS	--	
	SV	Salvia leucantha 'Santa Barbara'	Mexican Bush Sage	1 Gal.	4'-0"	OCC	EBMUD	--	
	5L	Salvia leucophylla 'Figueroa'	Purple Sage	5 Gal.	6'-0"	OCC	EBMUD	CA Native	
	TF	Teucrium fruticosum 'Compactum'	Bush Germander	1 Gal.	2'-6"	OCC	EBMUD	Mediterranean	
GROUNDCOVERS									
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER REQ.	REF.	CA NATIVE/ MED.	XX XX
	* EK	Erigeron karvinskianus	Santa Barbara Daisy	1 Gal.	3'-0"	OCC-INF	EBMUD	CA Native	
	* FC	Festuca californica	California Fescue	1 Gal.	1'-6"	LOW	WUCOLS	CA Native	
	GZ	Gazania	Gazania	1 Gal.	12"	OCC	EBMUD	--	
	* HM	Heuchera micrantha 'Painted Lady'	Coral Bells	1 Gal.	2'-0"	MOD-OCC	EBMUD	CA Native	
	RK	Rosa 'Carpet Rose Red'	Red Carpet Rose	1 Gal.	3'-0"	LOW	WUCOLS	--	
	RW	Rosa 'Carpet Rose White'	White Carpet Rose	1 Gal.	3'-0"	LOW	WUCOLS	--	
	RY	Rosa 'Carpet Rose Yellow'	Yellow Carpet Rose	1 Gal.	3'-0"	LOW	WUCOLS	--	
	TL	Teucrium lucidrys 'Prostratum'	Germander	1 Gal.	3'-6"	OCC-INF	EBMUD	Mediterranean	
GRASS									
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER REQ.	REF.	CA NATIVE/ MED.	XX XX
	CH	Chorizandra leucorum	Cape Rush	1 Gal.	3'-6"	MOD	EBMUD	--	
	CT	Carex lumicola	Berkeley Sedge	1 Gal.	2'-0"	OCC	EBMUD	CA Native	
	JP	Juncus patens	California Gray Rush	1 Gal.	2'-0"	OCC	EBMUD	CA Native	
	ST	Stipa tenuissima	Mexican Feather Grass	1 Gal.	2'-6"	MOD-OCC	EBMUD	--	
VINES									
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER REQ.	REF.	CA NATIVE/ MED.	XX XX
	GS	Gelsemium sempervirens	Carolina Jessamine	5 Gal.	as shown	MOD	WUCOLS	--	
	* ML	Mandevilla laxa	Chilean Jasmine	5 Gal.	as shown	MOD	WUCOLS	--	
	SJ	Solanum jasminoides	Potato Vine	5 Gal.	as shown	MOD	WUCOLS	--	
	PT	Parthenocissus tricuspidata	Boston Ivy	1 Gal.	as shown	MOD	WUCOLS	--	

NOTE: "*" ARE PLANTS APPROPRIATE FOR SHADE LOCATIONS.

BOD:	
	BIOFILTRATION BOD AVAILABLE FROM DELTA BLUE GRASS (800) 637-8873 OR APPROVED EQUAL

WATER USE RATING LEGEND

EBMUD CATEGORIES OF WATER NEEDS FROM PLANTS & LANDSCAPES FOR SUMMER DRY CLIMATES OF THE SAN FRANCISCO BAY REGION BY THE EAST BAY MUNICIPAL UTILITY DISTRICT, 2004

WUCOLS III CATEGORIES OF WATER NEEDS FROM UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF WATER RESOURCES, UNITED STATES BUREAU OF RECLAMATION

CALIFORNIA NATIVE PLANTS (GNP) FOR THE GARDEN, 2005 BY CAROL BORNSTEIN, DAVID PROSS, BART O'BRIEN

MOD	MODERATE WATER	HIGH	MOD	MODERATE WATER
OCC	OCCASIONAL WATER	MODERATE	OCC	OCCASIONAL WATER
INF	INFREQUENT WATER	LOW	INF	INFREQUENT WATER
NONE	NO ADDITIONAL WATER	VERY LOW		

ON-SITE	TOTAL PLANTS	SUBTOTAL PLANTS WITH OCC/INF/NONE /LOW/VERY LOW WATER REQUIREMENTS
	x	x
PERCENTAGE OF PLANTS MEETING LOW WATER REQUIREMENTS: 94.1% MORE THAN 75% REQUIRED.		

PLANTING LEGEND

	TREE NAME QUANTITY
	SHRUB NAME QUANTITY
	GROUND COVER QUANTITY
	VINE QUANTITY

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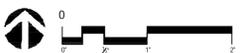
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LAYOUT AND PLANTING LEGEND

L-1

LEGEND

-  TREES TO BE REMOVED
-  MISSING TREE
-  EXISTING TREE TO REMAIN

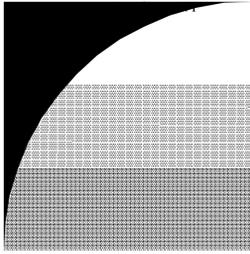
EXISTING STREET TREE ASSESSMENT CHART

TREE TAG NO.	BOTANICAL NAME	COMMON NAME	MEASURED TRUNK DIA.	APPROX. TREE CANOPY	OVERALL RATING	CONDITION RATING	SUITABILITY	REASON OF REMOVAL
563	Olea spp.	Olive	15		4	GOOD	POOR	POOR FORM AND STRUCTURE
564	Olea spp.	Olive	8		3	FAIR	POOR	POOR FORM AND STRUCTURE
565	Olea spp.	Olive	8		4	FAIR	MOD	PRESERVE
566	Olea spp.	Olive	8		4	FAIR	MOD	PRESERVE
567	Olea spp.	Olive	8		4	FAIR	GOOD	PRESERVE
568	Olea spp.	Olive	8		5	GOOD	GOOD	PRESERVE
569	Olea spp.	Olive	9		4	FAIR	GOOD	PRESERVE
570	Olea spp.	Olive	10		5	GOOD	GOOD	PRESERVE
571	Eucalyptus nicholii	Peppermint Gum	18		2	POOR	POOR	POOR FORM AND STRUCTURE
572	Pyrus calleryana	Bradford Pear	8		2	POOR	POOR	POOR FORM AND STRUCTURE
573	Pyrus calleryana	Bradford Pear	7		4	FAIR	MOD	POOR FORM AND STRUCTURE
574	Eucalyptus nicholii	Peppermint Gum	22		3	FAIR	MOD	PRESERVE
575	Juniperus c. Torulosa	Hollywood Juniper	8		3	FAIR	POOR	LOW LATERALS, SHORT FORM
576	Acacia salicina	Australian Willow	11		4	GOOD	GOOD	POOR FORM AND STRUCTURE
577	Acacia salicina	Australian Willow	8		2	POOR	POOR	MULTIPLE ATTACHMENTS, SPARSE CROWN
578	Acacia salicina	Australian Willow	10		2	POOR	POOR	DOMINANT ATTACHMENT
579	Pyrus calleryana	Bradford Pear	8		4	GOOD	MOD	MULTIPLE ATTACHMENTS, LOW LATERALS
580	Pyrus calleryana	Bradford Pear	8		3	FAIR	POOR	MULTIPLE ATTACHMENTS
581	Eucalyptus nicholii	Peppermint Gum	20		2	POOR	POOR	POOR FORM AND STRUCTURE
582	Eucalyptus nicholii	Peppermint Gum	13		2	POOR	POOR	MULTIPLE ATTACHMENTS, SPARSE CROWN
583	Eucalyptus nicholii	Peppermint Gum	23		4	GOOD	MOD	IMPACTED BY RETAINING WALL
584	Eucalyptus nicholii	Peppermint Gum	21, 20		4	GOOD	GOOD	IMPACTED BY RETAINING WALL
585	Eucalyptus nicholii	Peppermint Gum	14, 12, 10, 9, 8, 7		3	FAIR	MOD	IMPACTED BY RETAINING WALL
586	Eucalyptus nicholii	Peppermint Gum	21		3	FAIR	MOD	IMPACTED BY RETAINING WALL
								OFF SITE - IMPACTED BY RETAINING WALL
								OFF SITE - IMPACTED BY RETAINING WALL

STREET TREE MITIGATION SUMMARY CHART:

	QUANTITY	APPRAISED VALUE	MITIGATION MEASURE
POOR CONDITION/ LOW SUITABILITY TREES/TREE TO BE REMOVED	26	\$28,950 (Total APPRAISED VALUE)	MITIGATION PER CITY
MISSING STREET TREES	3	N/A	1 : 1 MITIGATION (3) 24" BOX TREE
RELOCATED TREES	0	N/A	N/A
TOTAL MITIGATION TREES	26		

NOTE: REFER TO ARBORIST TREE ASSESSMENT AND APPRAISAL REPORT DATED JULY 2014 PREPARED BY HORT SCIENCE FOR DETAILED INFORMATION ON TREE ASSESSMENT CHART, TREE APPRAISAL AND TREE PROTECTION PLAN.



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TREE REMOVAL PLAN

L-2

TREE LEGEND

Botanical Name	Common Name
 Pistachia chinensis	Chinese Pistache
 Acer rubrum 'Red Sunset'	Red Maple
 Arbutus 'Marina'	NCN
 Lagerstroemia i. 'Natchez'	Crape Myrtle
 Tilia cordata	Little Leaf Linden
 Elaeocarpus dicipens	Japanese Blueberry



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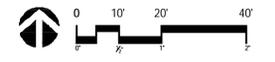
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LANDSCAPE CONCEPT

L-3



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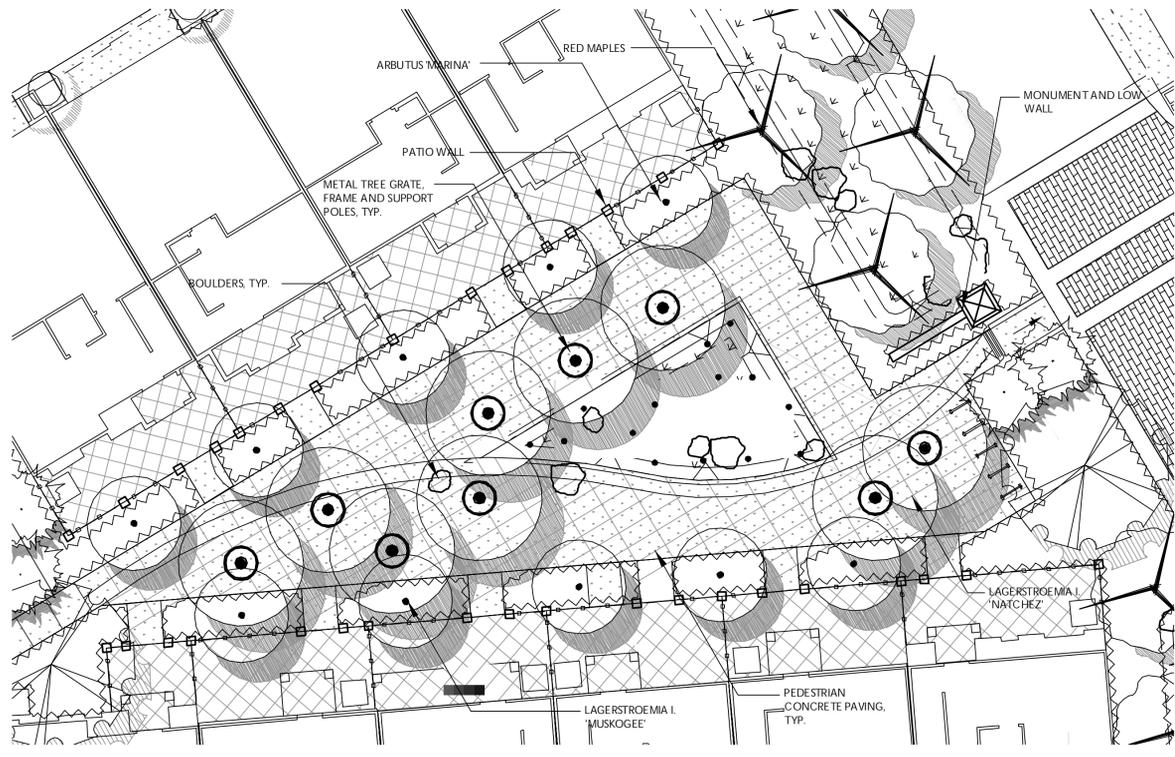


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SCALE:	

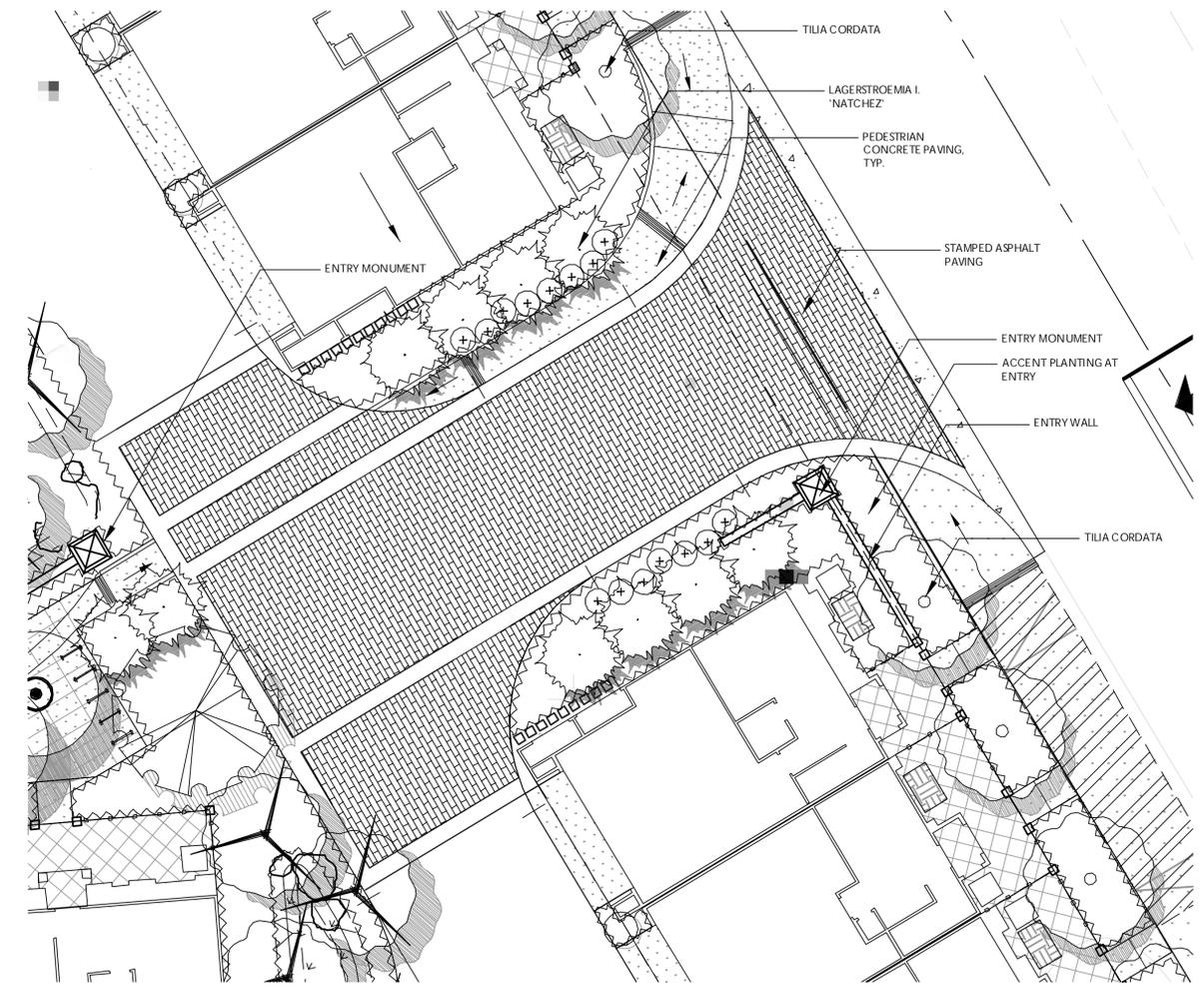


CONCEPTUAL
 ENLARGEMENT PLAN

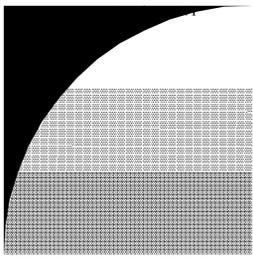
L-4



CENTRAL OPEN SPACE ENLARGEMENT
 SCALE: 1"=10'



ENTRY MONOLITH ENLARGEMENT
 SCALE: 1"=10'



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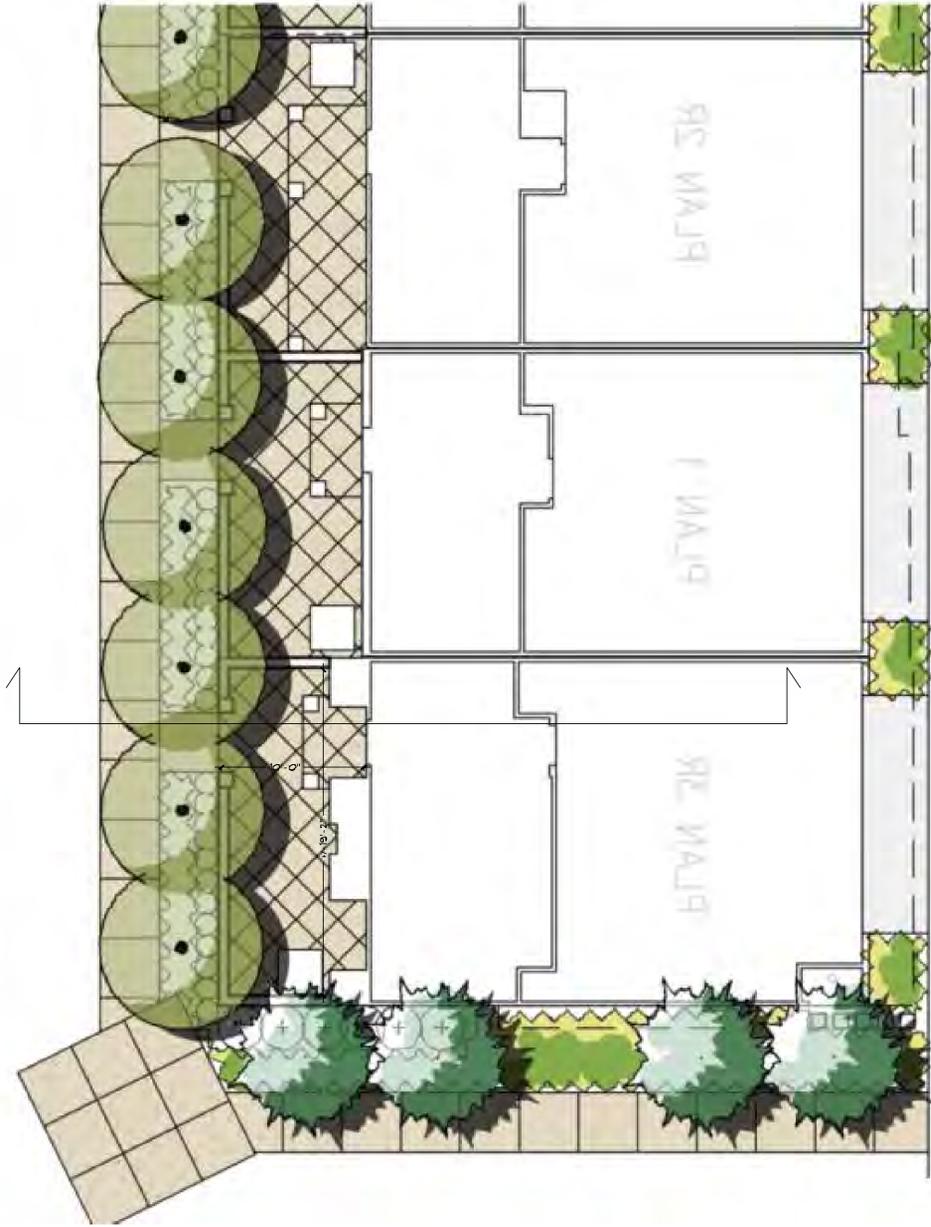


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 SCALE:



TYPICAL OPEN
 SPACE AREA

L-5



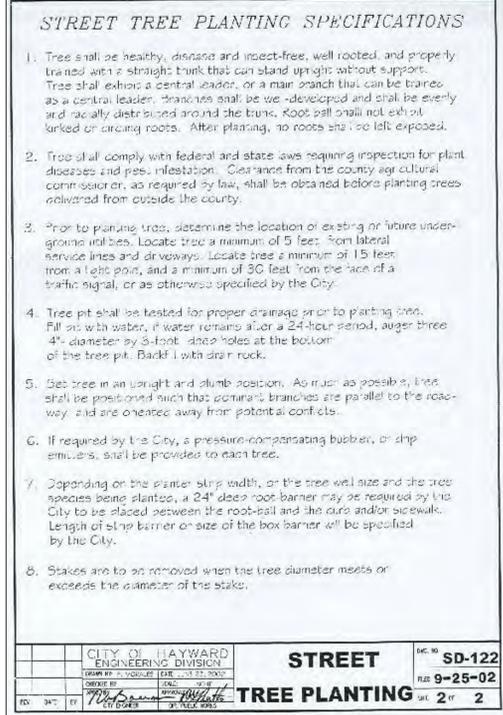
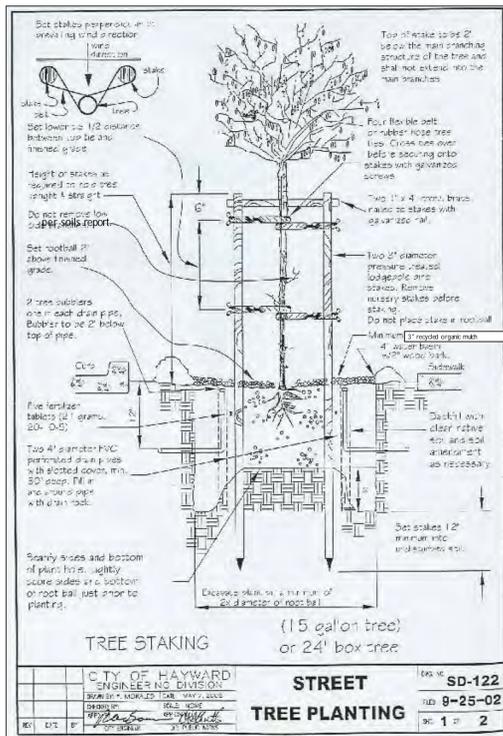
OPEN SPACE ENLARGEMENT

SCALE : 1"=5'



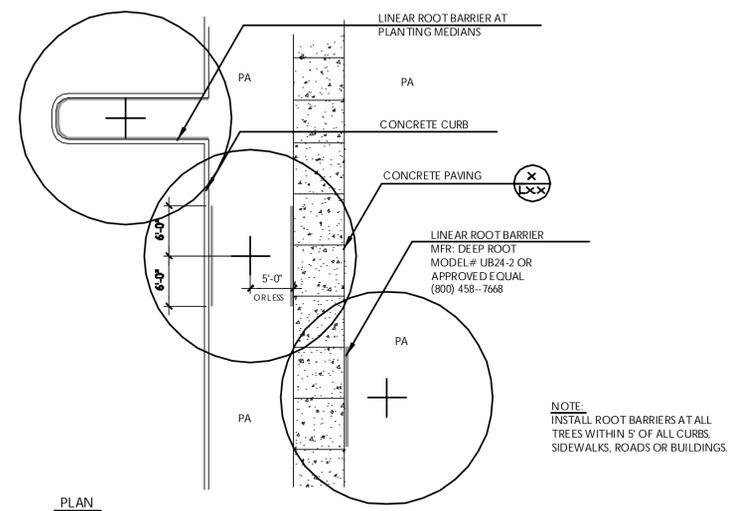
OPEN SPACE SECTION

SCALE : 1"=5'

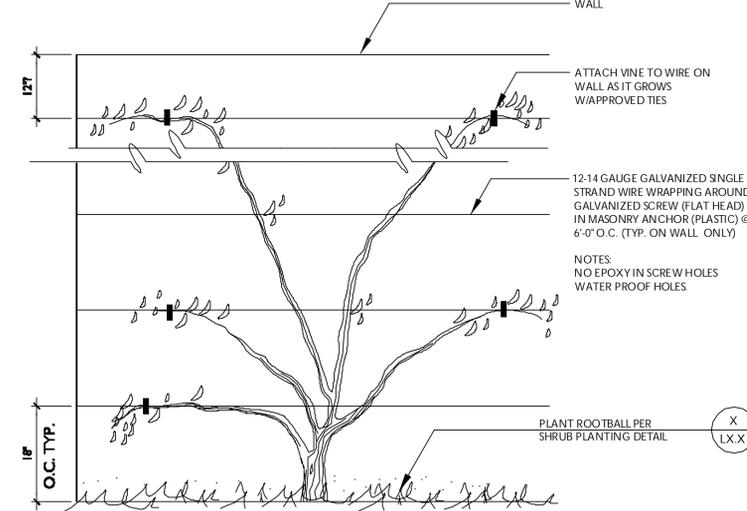


1 STREET TREE PLANTING
SCALE: 1" = 1'-0"

2 TREE STAKING DETAIL - ON SITE
SCALE: 3/8" = 1'-0"

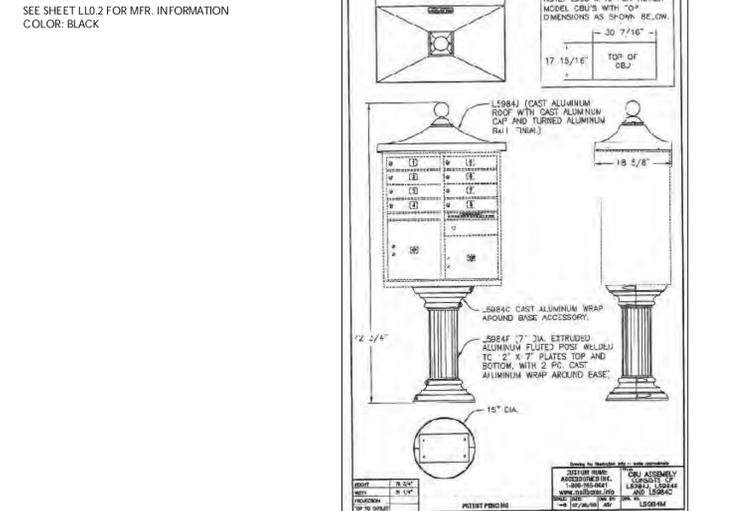


3 LINEAR ROOT BARRIER
SCALE: 1" = 10'-0"

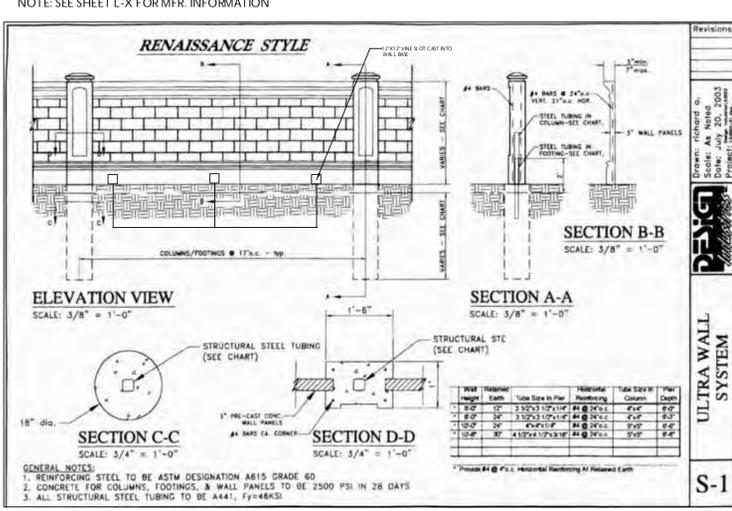


4 VINE PLANTING
SCALE: N.T.S.

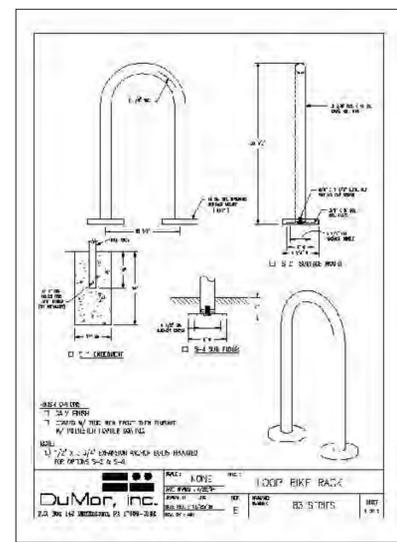
5 LOOP BIKE RACK
SCALE: N.T.S.



6 CLUSTER MAILBOX
SCALE: N.T.S.

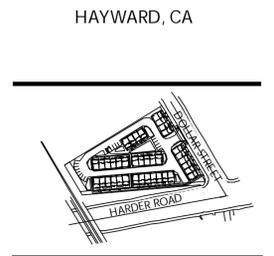


7 PRECAST WALL
SCALE: N.T.S.



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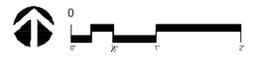
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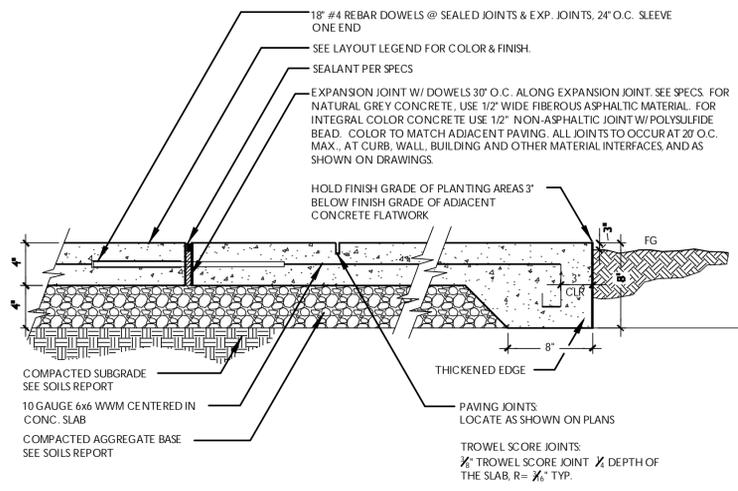


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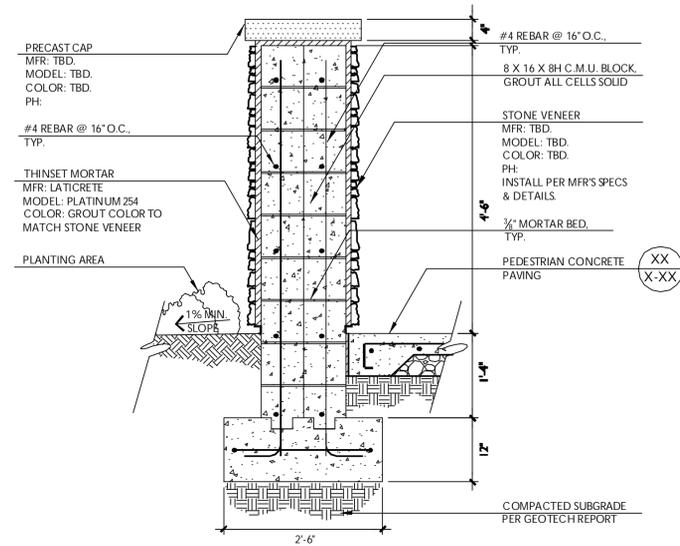


LANDSCAPE DETAILS

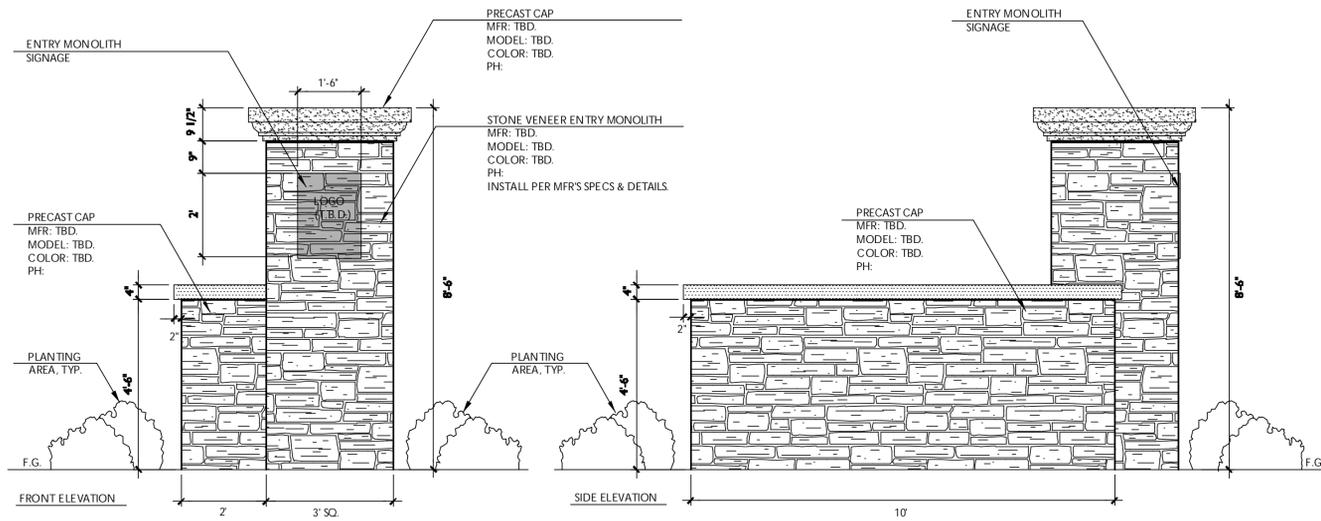
L-6



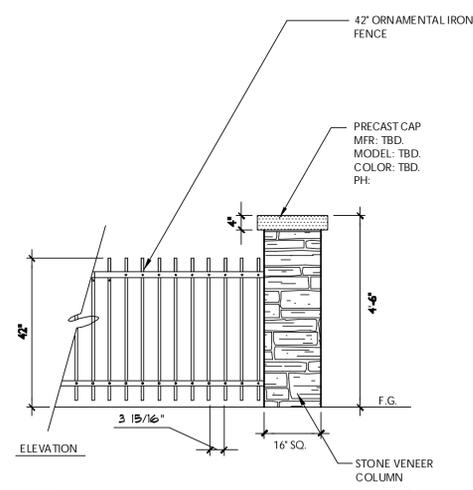
1 PEDESTRIAN CONCRETE PAVING
SCALE: 1/2" = 1'-0"



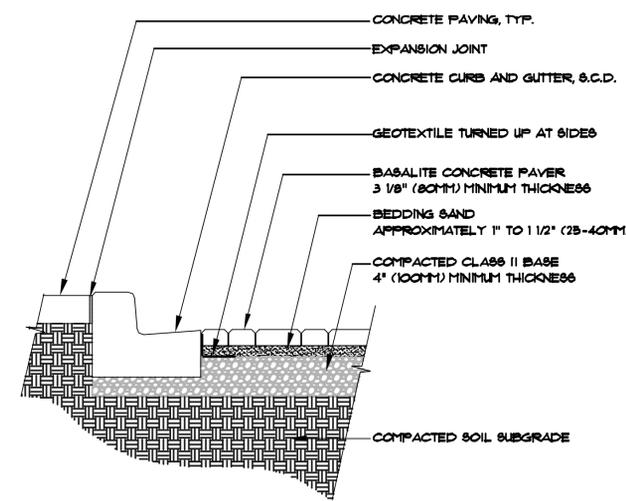
4 COLUMN @ PATIOS SECTION
SCALE: 3/4" = 1'-0"



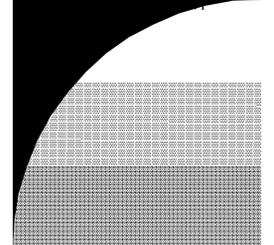
2 ENTRY MONOLITH AND WALL
SCALE: 1/2" = 1'-0"



3 IRON FENCE @ PATIOS
SCALE: 1/2" = 1'-0"



5 VEHICULAR CONCRETE PAVERS
SCALE: 1" = 1'-0"



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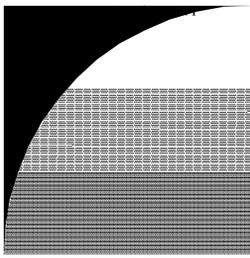


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SCALE:



LANDSCAPE DETAILS

L-7



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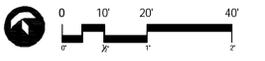
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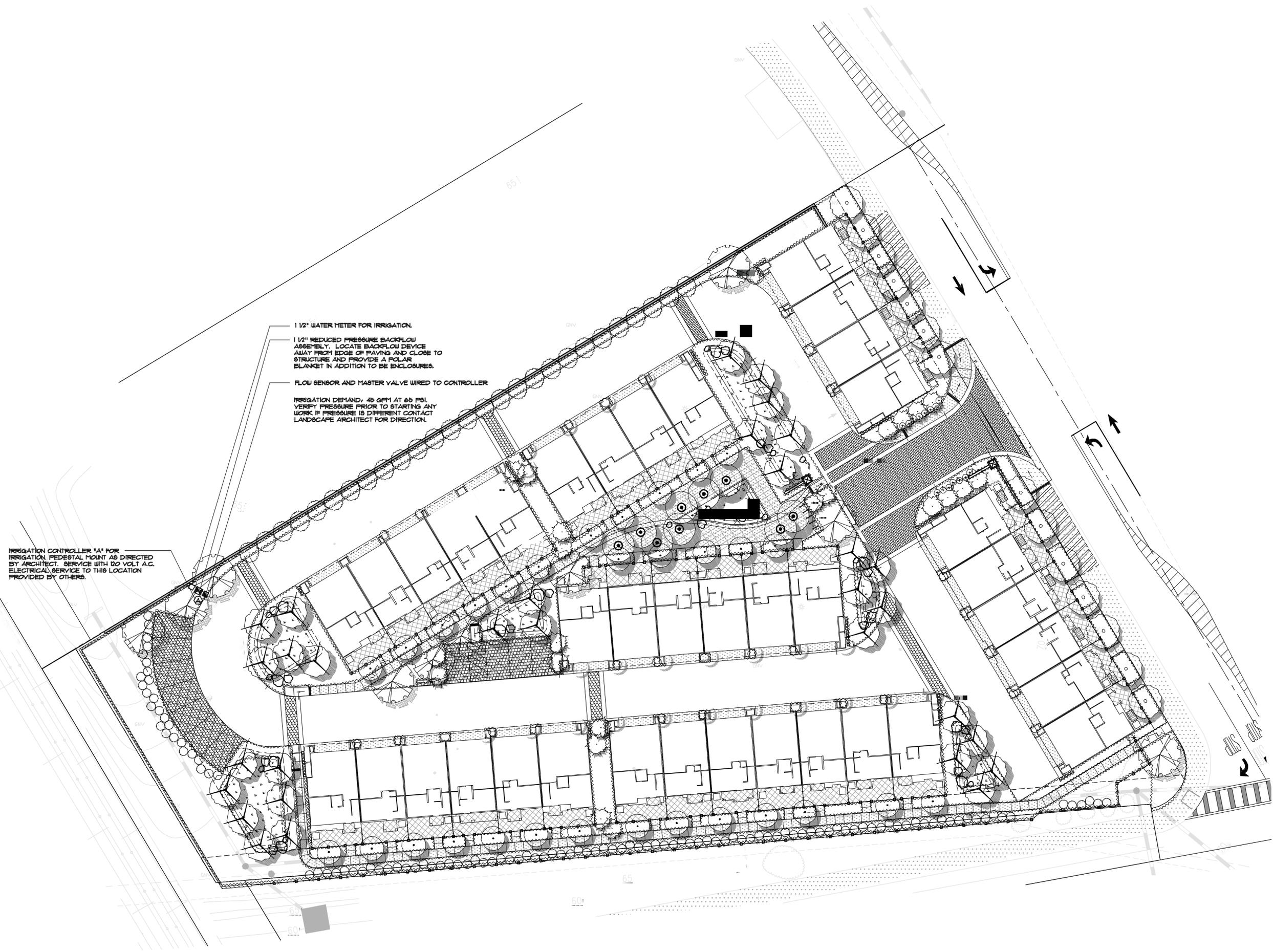


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 SCALE: 1" = 20'-0"



IRRIGATION CONCEPT

L-8



1 1/2" WATER METER FOR IRRIGATION
 1 1/2" REDUCED PRESSURE BACKFLOW ASSEMBLY. LOCATE BACKFLOW DEVICE AWAY FROM EDGE OF PAVING AND CLOSE TO STRUCTURE AND PROVIDE A POLAR BLANKET IN ADDITION TO BE ENCLOSURES.
 FLOW SENSOR AND MASTER VALVE WIRED TO CONTROLLER
 IRRIGATION DEMAND: 45 GPM AT 65 PSI. VERIFY PRESSURE PRIOR TO STARTING ANY WORK. IF PRESSURE IS DIFFERENT CONTACT LANDSCAPE ARCHITECT FOR DIRECTION.

IRRIGATION CONTROLLER "A" FOR IRRIGATION. FEDESTAL MOUNT AS DIRECTED BY ARCHITECT. SERVICE WITH 20 VOLT A.C. ELECTRICAL SERVICE TO THIS LOCATION PROVIDED BY OTHERS.

IRRIGATION NOTES

1. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.

2. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

3. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC.

4. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THEN WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING, AND ARCHITECTURAL FEATURES.

5. ELECTRICAL CONTRACTOR TO SUPPLY 120 VOLT A.C. (2.5 AMP) SERVICE TO CONTROLLER LOCATION. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL STUB-OUT TO CONTROLLER.

6. EACH CONTROLLER SHALL HAVE ITS OWN INDEPENDENT GROUND WIRE.

7. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS WHERE POSSIBLE (NOT IN LAWN AREA).

8. SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE AND 100 FEET ON CENTER ALONG WIRE RUN. TAPE WIRE IN BUNDLES 10 FEET ON CENTER. NO TAPING PERMITTED INSIDE SLEEVES.

9. INSTALL FOUR (4) SPARE CONTROL WIRES ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES. SPARE WIRES SHALL BE YELLOW, COMMON WIRES SHALL BE WHITE AND CONTROL WIRES SHALL BE RED.

10. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL DRIP TUBES FOR OPTIMUM PERFORMANCE.

11. NOTIFY ARCHITECT OF ANY ASPECTS OF LAYOUT WHICH WILL PROVIDE INCOMPLETE OR INSUFFICIENT WATER COVERAGE OF PLANT MATERIAL AND DO NOT PROCEED UNTIL HIS INSTRUCTIONS ARE OBTAINED.

12. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNATED ON THE PLANS.

13. INSTALL A VALCON 5000 SERIES SPRING LOADED CHECK VALVE BELOW DRIP BUBBLERS WHERE LOW HEAD DRAINAGE WILL CAUSE EROSION AND EXCESS WATER.

14. INSTALL VALVE BOXES 12" FROM AND PERPENDICULAR TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF VALVE BOX SHALL BE PARALLEL TO WALK, CURB LAWN, ETC.

15. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.

16. OPERATE IRRIGATION CONTROLLER(S) BETWEEN THE HOURS OF 10:00 PM AND 7:00 AM.

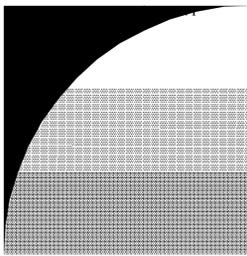
17. IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.

18. PRIOR TO TRENCHING, CALL UNDERGROUND SERVICE ALERT, (1-800) 642-2444 FOR NORTHERN CALIFORNIA

19. WHEN VERTICAL OBSTRUCTIONS (STREET LIGHTS, TREES, FIRE HYDRANTS, ETC.) INTERFERE WITH THE PATTERN OF THE DRIP TUBING LAYOUT SO AS TO PREVENT PROPER COVERAGE, THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE DRIP SYSTEM AT THE LOCATION OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	PSI	GPM	PRECIP	RADIUS
▲	OCT816	PEPCO OCTA BUBBLER-SHRUBS	30	2 GPH	-	-
■	RWS-B-C-1401	TREE BUBBLERS IN TURF- ONE RAINBIRD BUBBLER IN DEEP WATERING TUBE PER TREE	30	.25 EACH	-	-
▷	M64/AP100	SPEARS FLUSHING END PLUG - LOCATE AT END OF LONG DRIP LINES				
⊗	P-220-27	TORO REMOTE CONTROL VALVE				
⊗	T-113-K	NIBCO GATE VALVE (LINE SIZE) WITH CROSS HANDLE INSIDE ROUND VALVE BOX				
◆	33-DLRC	RAIN BIRD 3/4" QUICK COUPLING VALVE				
⊗	825Y-BV-SBBC-30SS	FEBCO BACKFLOW PREVENTOR WITH STRONG BOX ENCLOSURE				
⊗	1-1201-1151-8130 PMR-MF-30-1"	AMIAD 1" FILTER WITH 130 MESH SCREEN WITH SENNINGER 1" IN-LINE PRESSURE REDUCING VALVE (1-22 GPM)				
⊗	RME24EG RS1000	RAINMASTER ET BASED CONTROLLER WALL MOUNTED INSIDE METAL ENCLOSURE WITH IRRITROL SYSTEMS WIRELESS RAIN SENSOR				
		IRRIGATION INSIDE DASHED OUTLINE AREA: TORO DL2000 DRIPLINE DRIP EMITTER TUBING PART NUMBER: RGP-412-10 - 1.0 GPH EMITTERS 12" ON CENTER DRIPLINE PIPE WITH TORO LOC-EZE FITTINGS (OR EQUAL) INSTALLED 4" COVER BELOW SOIL LEVEL AND 8" FROM EDGE OF SIDEWALK OR CURB. INSTALL DRIPLINE PER INSTALLATION DETAILS SHEET L-8				
		STATION NUMBER GALLONS PER MINUTE VALVE SIZE				
		MAINLINE: SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.				
		LATERAL LINE: 1120-CLASS 200 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.				
		SLEEVE: 1120-200 PSI PVC PLASTIC PIPE W/SCHEDULE 40 PVC PLASTIC FITTINGS. 24" COVER. SIZE NOTED ON PLANS.				



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ISSUE: 1 DESCRIPTION: SITE REVIEW DATE: 09/29/14



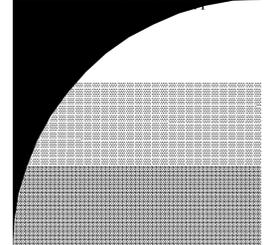
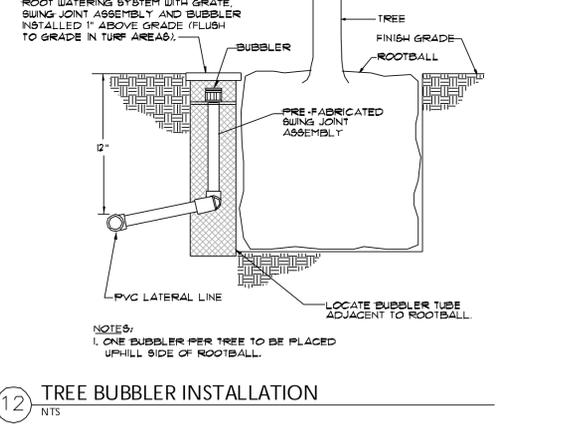
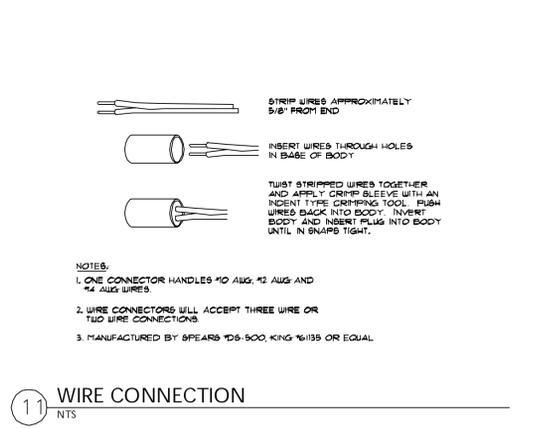
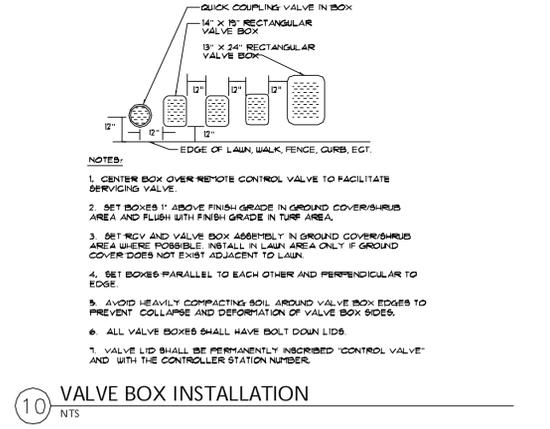
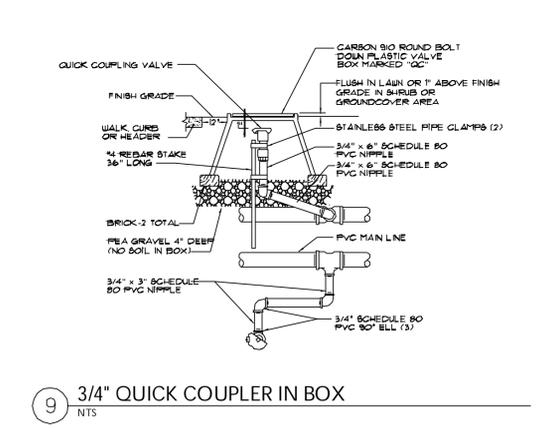
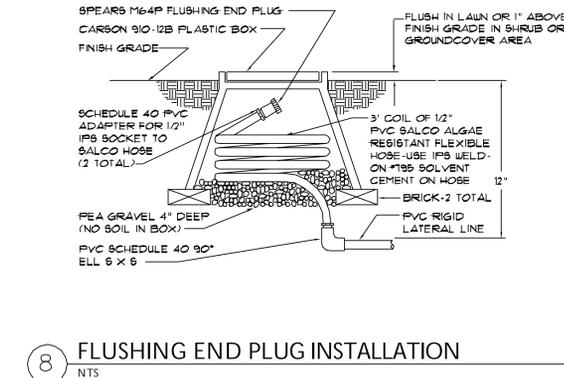
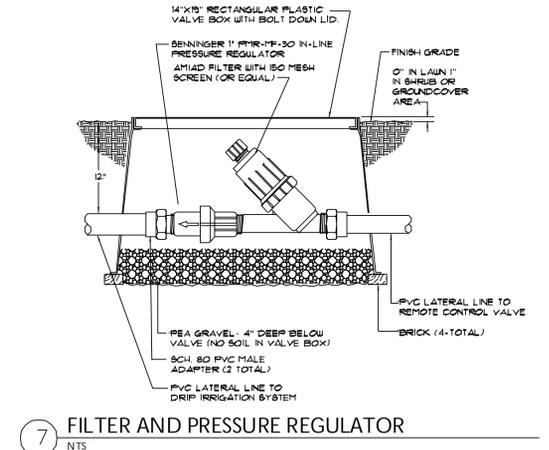
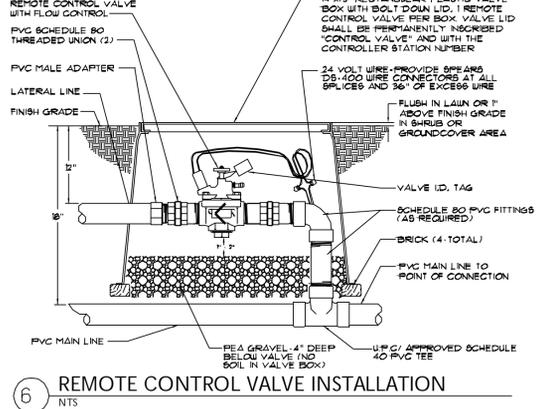
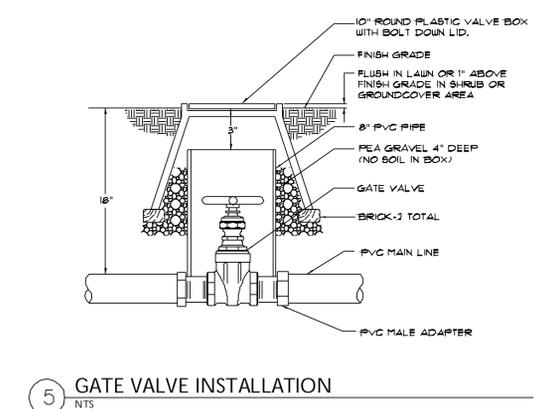
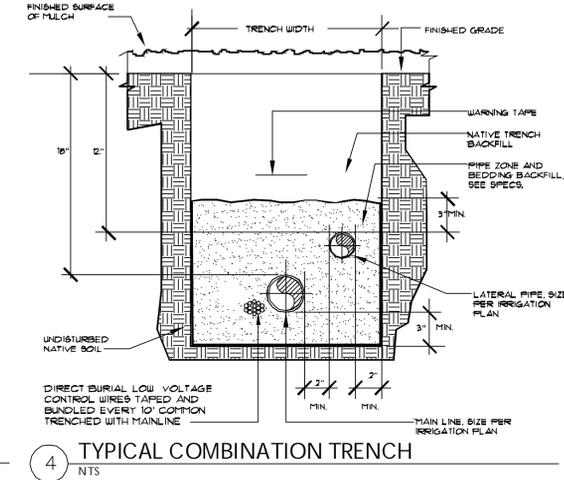
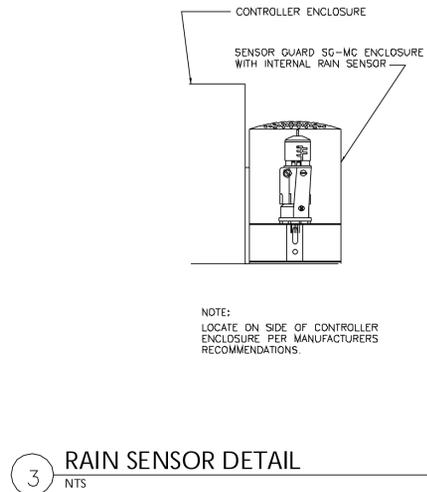
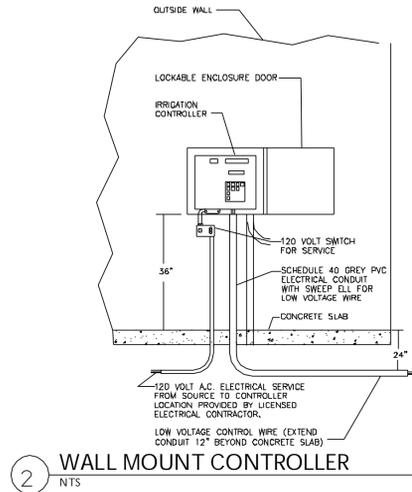
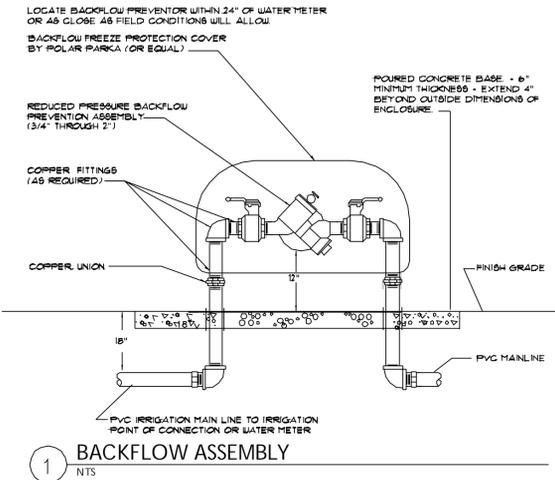
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CHECK: MNO
DATE: 04/15/2014
SCALE:



IRRIGATION
NOTES & LEGEND

L-9

- of -



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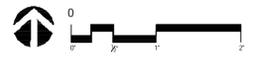
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ISSUE	DESCRIPTION	DATE
ISSUE 1	SITE REVIEW	09/29/14

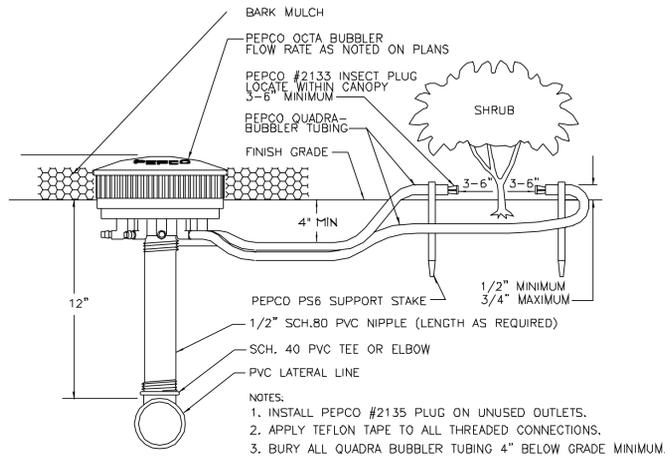


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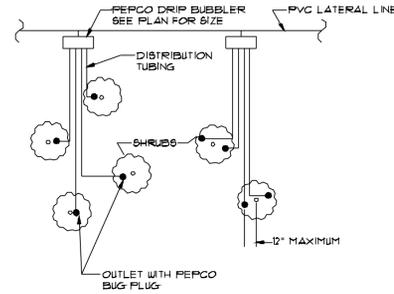


IRRIGATION DETAILS

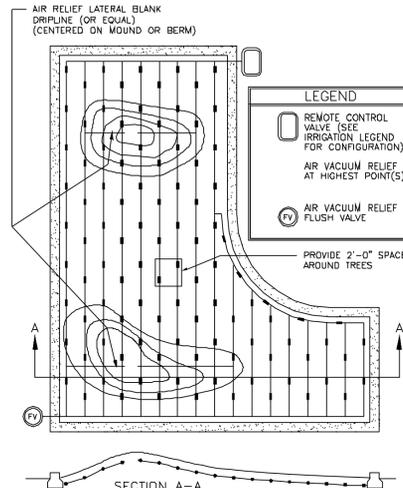
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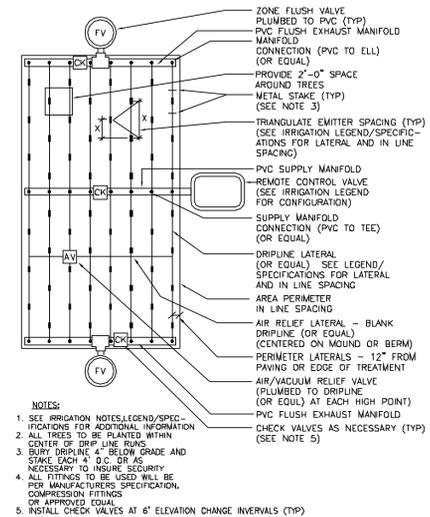
13 OCTA-BUBBLER IN ACCESS BOX DETAIL
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14 TYPICAL DRIP BUBBLER LAYOUT
NTS



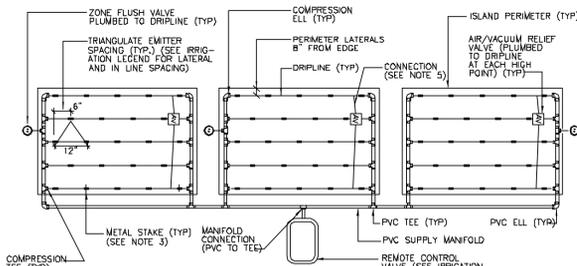
15 TYPICAL DRIP LAYOUT ON MOUNDS
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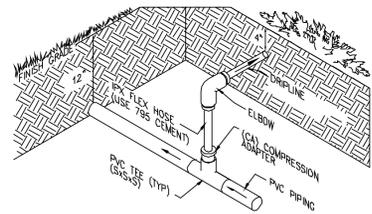
16 TYPICAL CENTER FEED DRIP SYSTEM LAYOUT
NTS

NOTES:

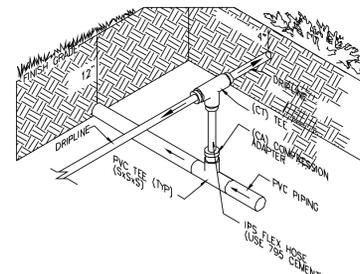
- SEE IRRIGATION NOTES, LEGEND/SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL TREES TO BE PLANTED WITHIN CENTER OF DRIP LINE RUNS.
- BURY DRIPLINE 4" BELOW GRADE AND STAKE EACH 36" O.C. LOCATED AT EMITTER AND AS NECESSARY TO INSURE SECURITY.
- ALL FITTINGS TO BE USED WILL BE PER MANUFACTURERS SPECIFICATION, COMPRESSION FITTINGS OR APPROVED EQUAL.
- CONNECT WITH BLANK TUBING TO EACH DRIPLINE.



17 MANIFOLD FOR MULTIPLE PLANTERS
NTS



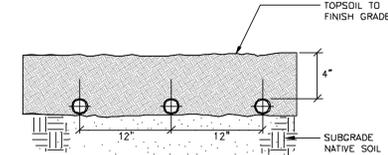
18 DRIPLINE TO PVC INSTALLATION
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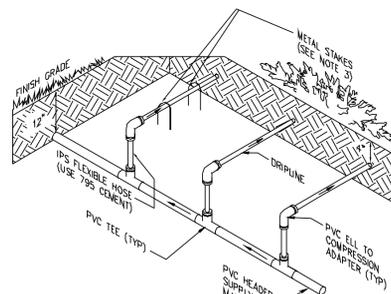
19 DRIPLINE TO PVC INSTALLATION
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SUBSURFACE IRRIGATION INSTALLATION NOTES:

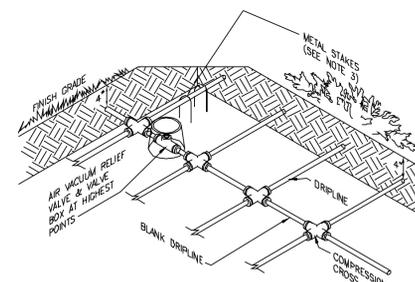
- ASSEMBLE AND INSTALL FILTER, REMOTES CONTROL VALVE AND PRESSURE REGULATING VALVE ASSEMBLIES ACCORDING TO DETAILS.
- ASSEMBLE AND INSTALL SUPPLY HEADERS ACCORDING TO DETAIL. TAPE OR PLUG OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION.
- ASSEMBLE AND INSTALL EXHAUST HEADERS IN ACCORDANCE WITH DETAILS. TAPE OR PLUG OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION.
- INSTALL DRIP LATERALS, TAPE OR PLUG OPEN ENDS WHILE INSTALLING TO PREVENT DEBRIS CONTAMINATION.
- INSTALL AIR VACUUM RELIEF VALVES AT HIGHEST POINTS OF THE IRRIGATION ZONES IN ACCORDANCE WITH DETAILS.
- THOROUGHLY FLUSH DRIPLINE LATERALS AND CONNECT TO EXHAUST HEADERS OR INTERCONNECTING LATERALS WHILE FLUSHING.
- THOROUGHLY FLUSH EXHAUST HEADERS AND INSTALL LINE FLUSHING VALVES ACCORDING TO DETAILS.
- THOROUGH FLUSHING OF EACH INSTALLATION SEGMENT IS NECESSARY TO ENSURE THAT NO DEBRIS CONTAMINATION OCCURS.
- LOCATE AND INSTALL CHECK VALVE(S) AS NEEDED AND AS SHOWN IN INSTALLATION DETAILS.



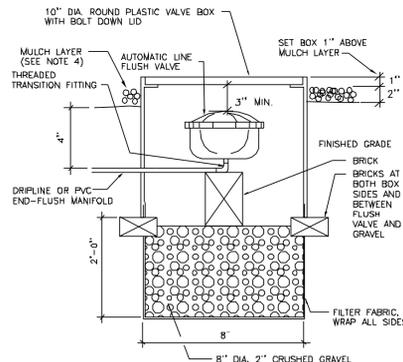
20 TYPICAL DRIPLINE SUBGRADE INSTALLATION
NTS



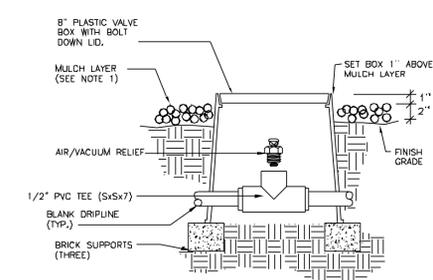
21 DRIPLINE TO PVC HEADER INSTALLATION
NTS



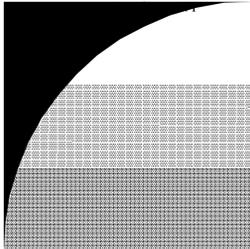
22 AIR VACUUM RELIEF VALVE LOCATION
NTS



23 FLUSH VALVE FOR SUB SURFACE TUBING
NTS



24 AIR/VACUUM RELIEF VALVE
NTS



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ISSUE: DESCRIPTION: DATE:
ISSUE 1 SITE REVIEW 09/29/14

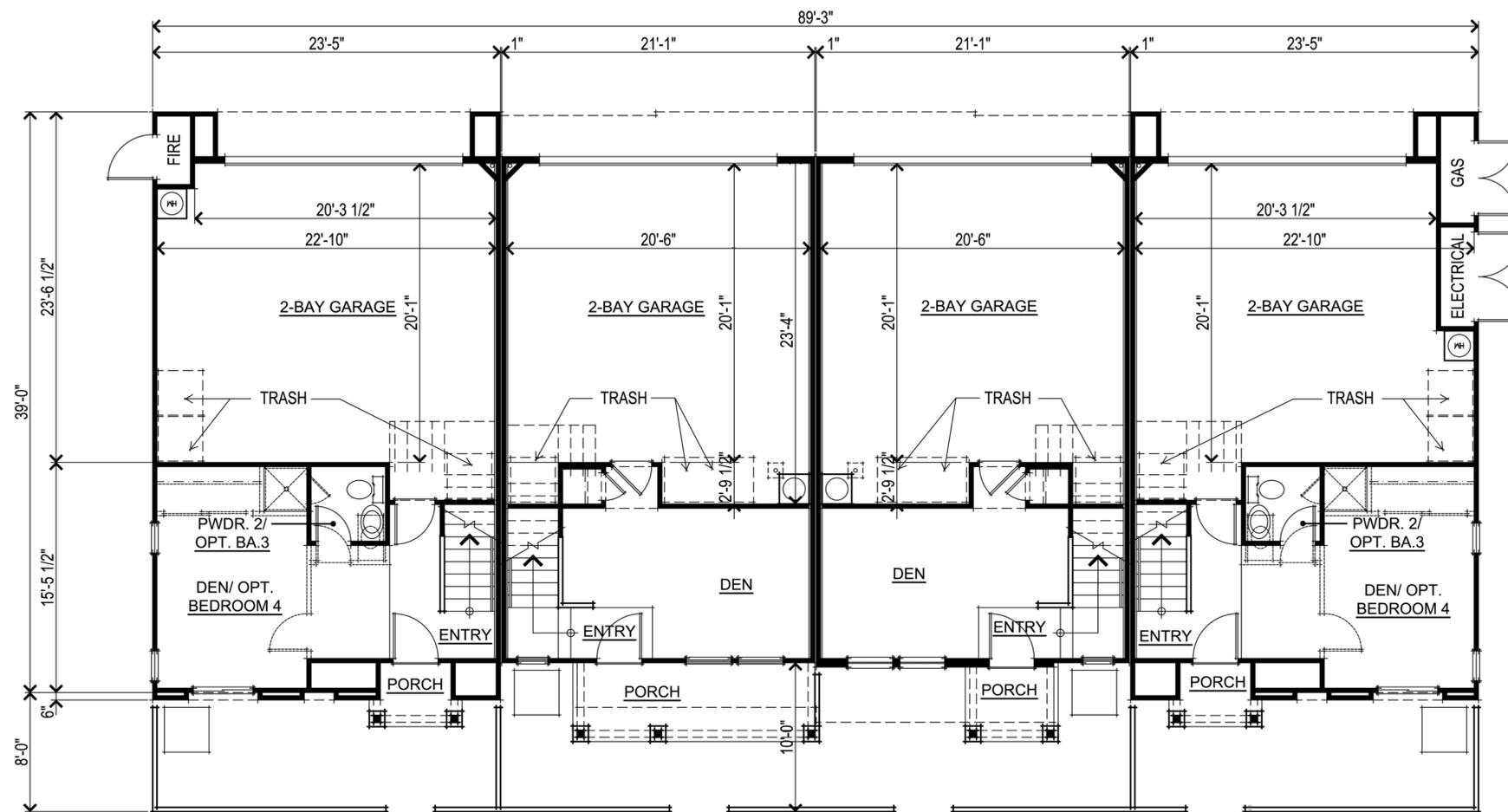


PROJECT NUMBER: P-...
DRAWN: AC
CHECK: MNO
DATE: 04/15/2014
SCALE:



IRRIGATION DETAILS

L-11



FIRST FLOOR PLAN SPANISH 'A'

PLAN 3 REVERSE

SQUARE FOOTAGES

FIRST FLOOR	318 SQ. FT.
SECOND FLOOR	841 SQ. FT.
THIRD FLOOR	739 SQ. FT.
TOTAL LIVING	1898 SQ. FT.
2-CAR GARAGE	499 SQ. FT.

PLAN 2 STANDARD

SQUARE FOOTAGES

FIRST FLOOR	271 SQ. FT.
SECOND FLOOR	806 SQ. FT.
THIRD FLOOR	733 SQ. FT.
TOTAL LIVING	1809 SQ. FT.
2-BAY GARAGE	461 SQ. FT.

PLAN 2 REVERSE

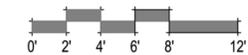
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Dollar Street
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September 30, 2014

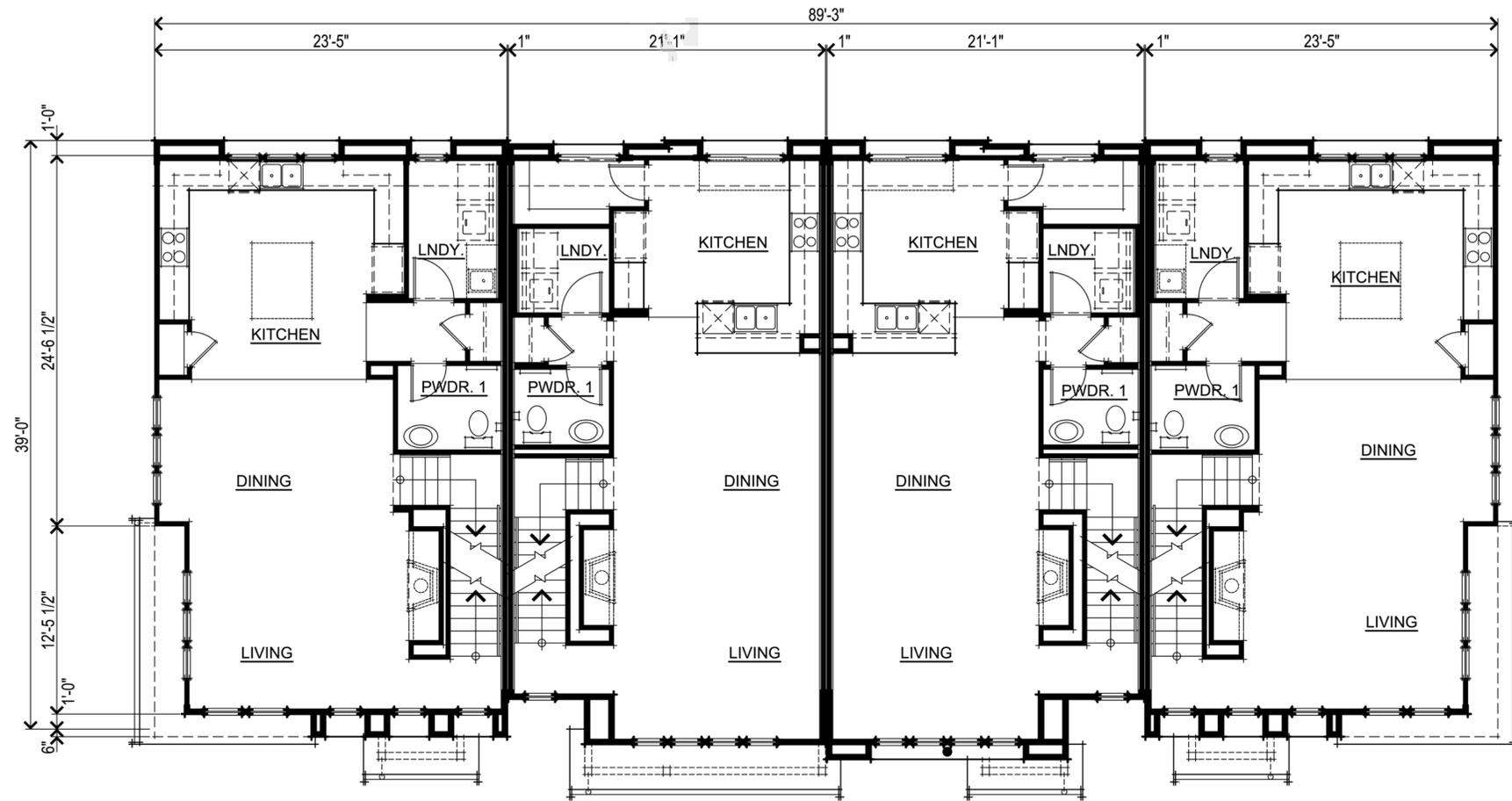
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4-PLEX SPANISH 'A' FIRST FLOOR PLAN 4.1

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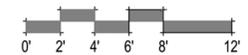


SECOND FLOOR PLAN SPANISH 'A'

- PLAN 3 REVERSE
- PLAN 2 STANDARD
- PLAN 2 REVERSE
- PLAN 3 STANDARD

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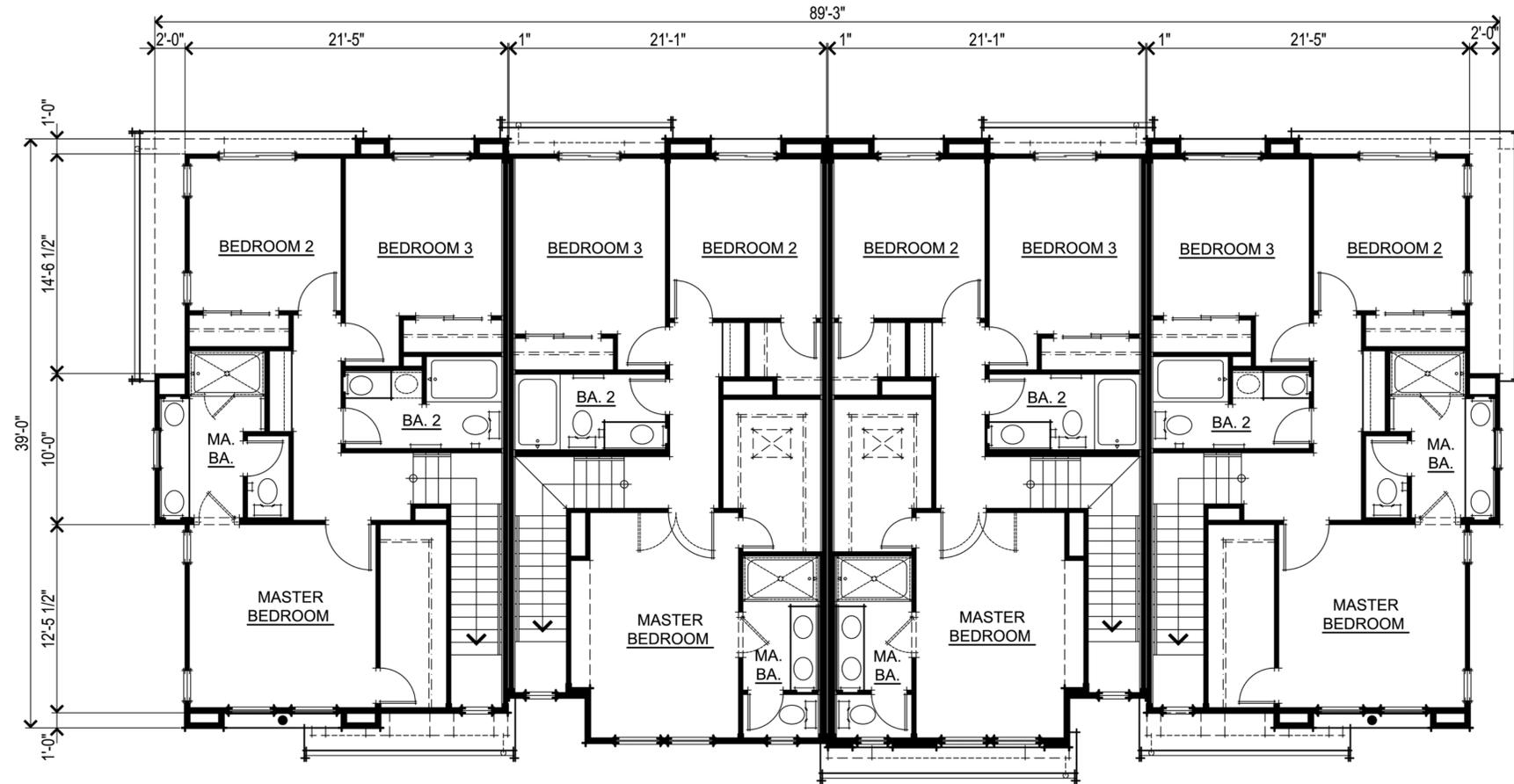


4-PLEX SPANISH 'A' SECOND FLOOR PLAN 4.2

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THIRD FLOOR PLAN SPANISH 'A'

PLAN 3 REVERSE

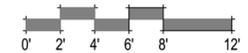
PLAN 2 STANDARD

PLAN 2 REVERSE

PLAN 3 STANDARD

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4-PLEX SPANISH 'A' THIRD FLOOR PLAN 4.3

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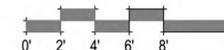
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RIDGE HEIGHT 37'-9"

EAVE HEIGHT 29'-9"



FRONT ELEVATION SPANISH 'A'



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 September 30, 2014

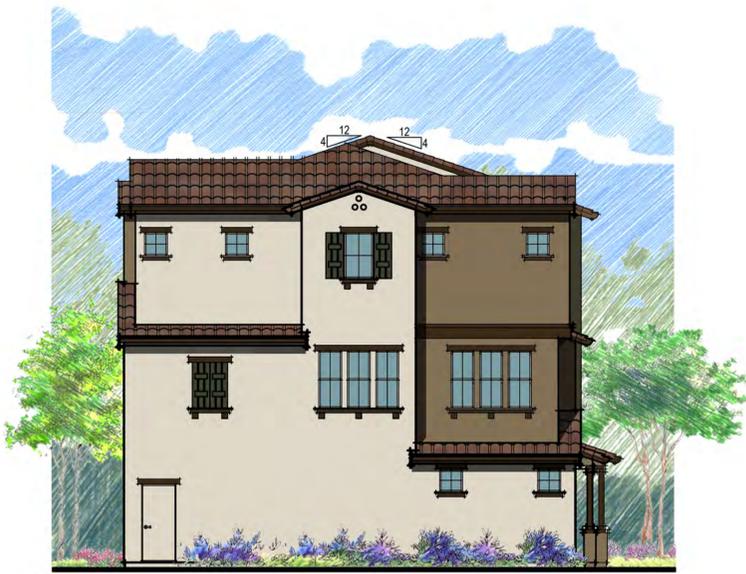
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4-PLEX SPANISH 'A' FRONT ELEVATION 4.4

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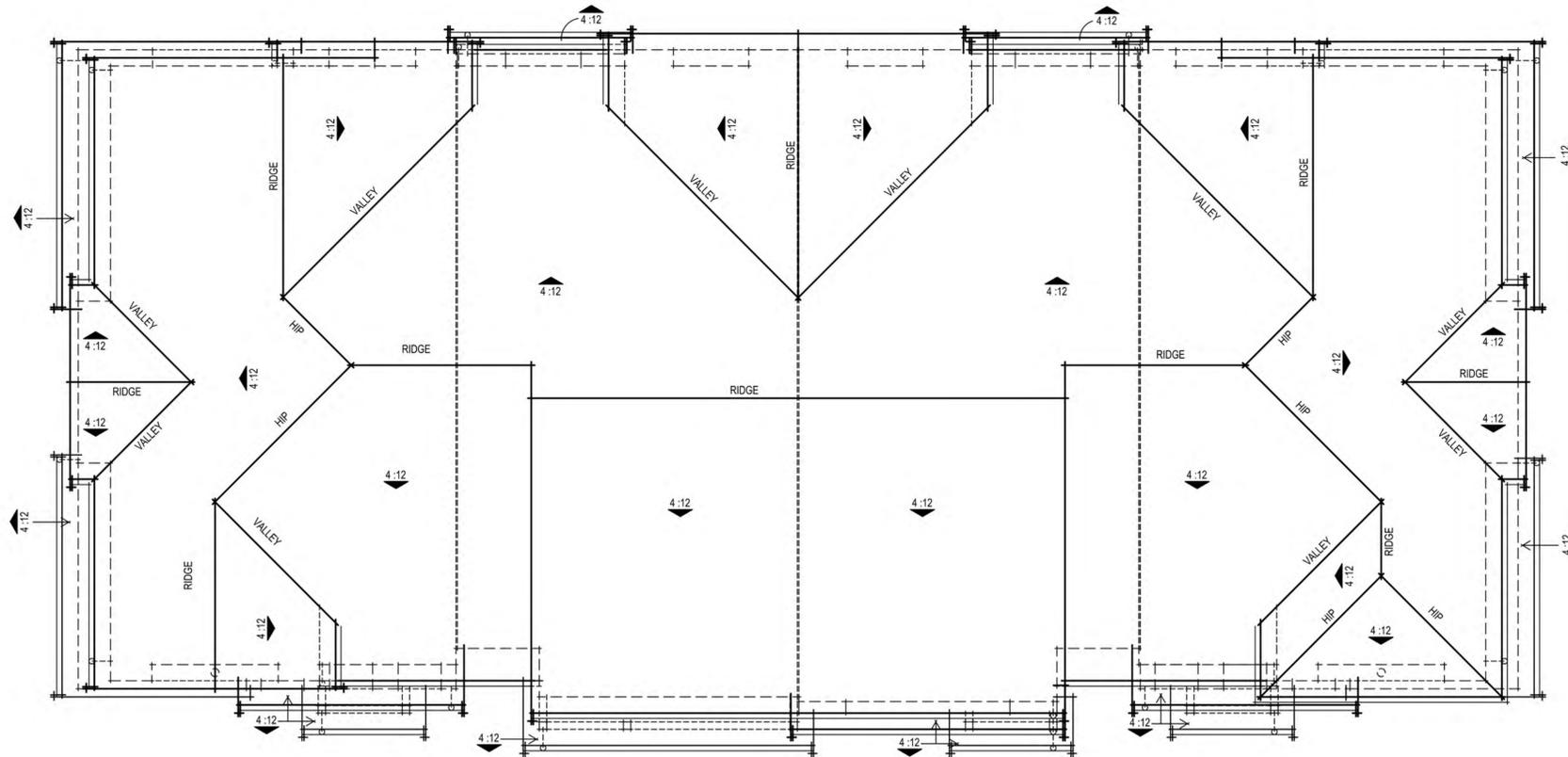
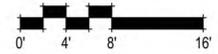
LEFT ELEVATION SPANISH 'A'



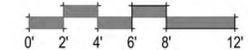
REAR ELEVATION SPANISH 'A'



RIGHT ELEVATION SPANISH 'A'



ROOF PLAN SPANISH 'A'



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Hayward, CA
September 30, 2014

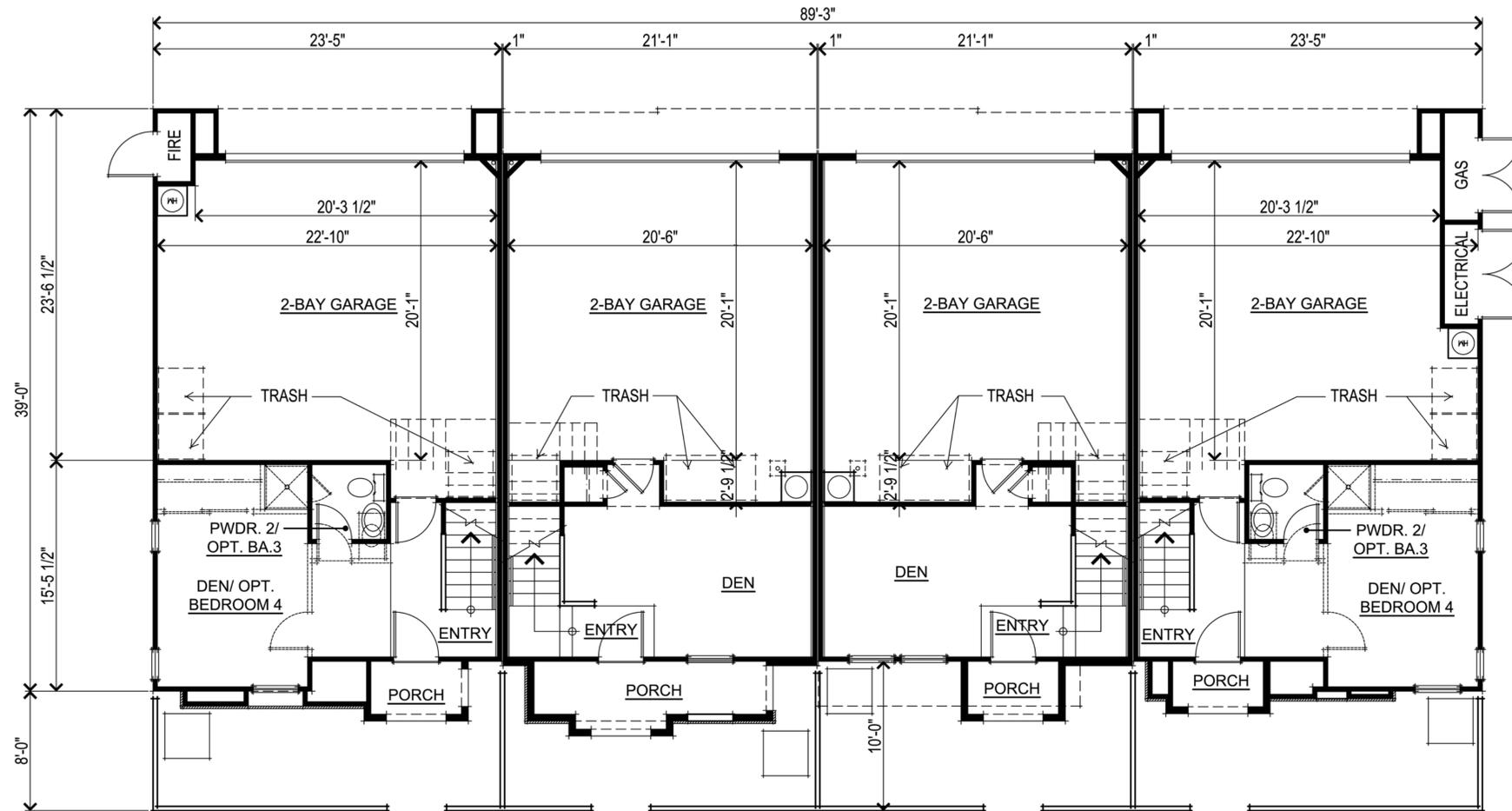
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4-PLEX SPANISH 'A' ROOF PLAN SIDE & REAR ELEVATIONS 4.5

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FIRST FLOOR PLAN ITALIANATE 'C'

PLAN 3 REVERSE

SQUARE FOOTAGES

FIRST FLOOR	318 SQ. FT.
SECOND FLOOR	841 SQ. FT.
THIRD FLOOR	739 SQ. FT.
TOTAL LIVING	1898 SQ. FT.
2-CAR GARAGE	499 SQ. FT.

PLAN 2 STANDARD

SQUARE FOOTAGES

FIRST FLOOR	271 SQ. FT.
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THIRD FLOOR	733 SQ. FT.
TOTAL LIVING	1809 SQ. FT.
2-BAY GARAGE	461 SQ. FT.

PLAN 2 REVERSE

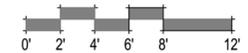
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PLAN 3 STANDARD

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2-CAR GARAGE	499 SQ. FT.



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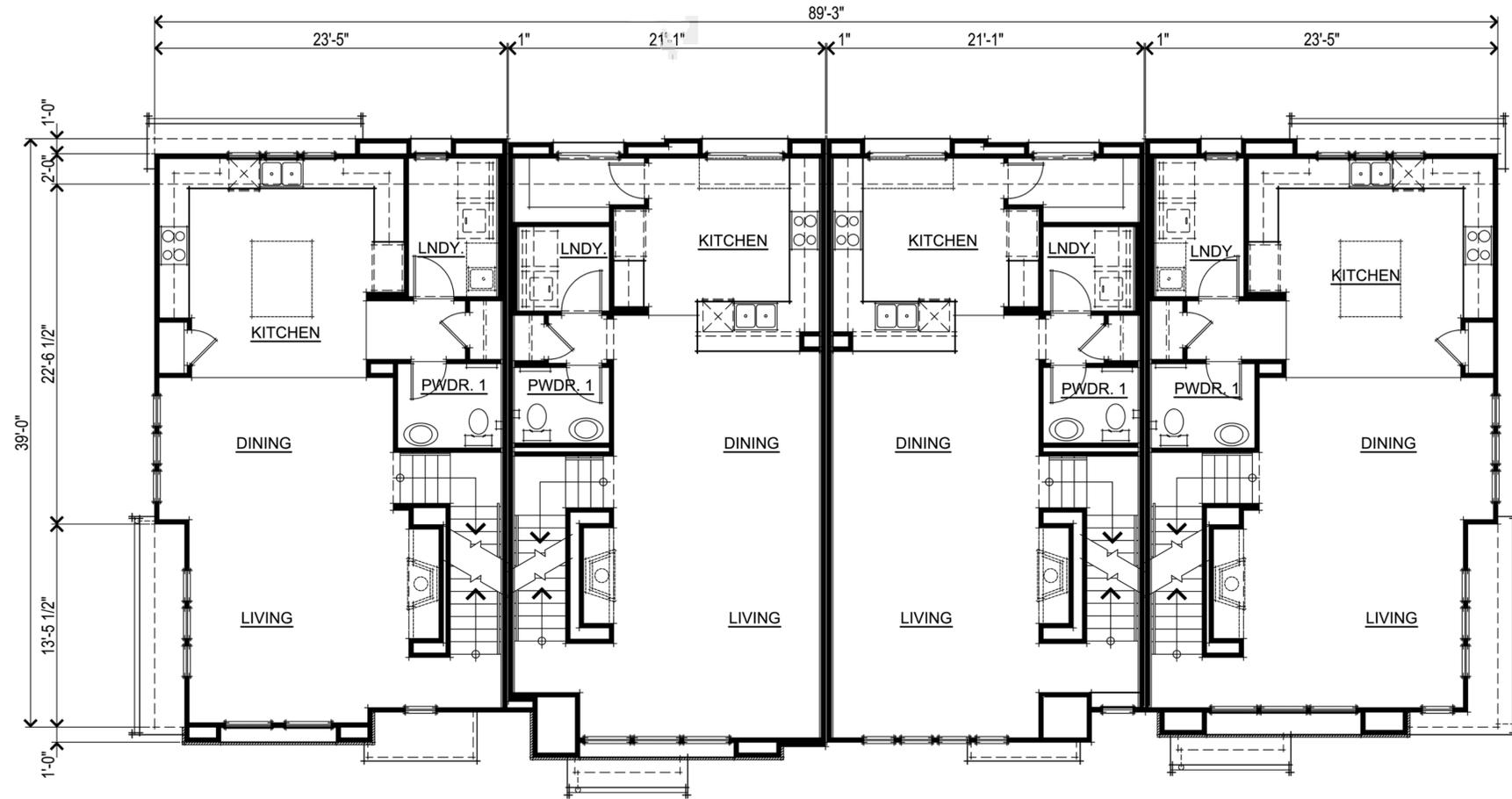
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4-PLEX ITALIANATE 'C' FIRST FLOOR PLAN 4.6

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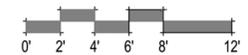


SECOND FLOOR PLAN ITALIANATE 'C'

- PLAN 3 REVERSE
- PLAN 2 STANDARD
- PLAN 2 REVERSE
- PLAN 3 STANDARD

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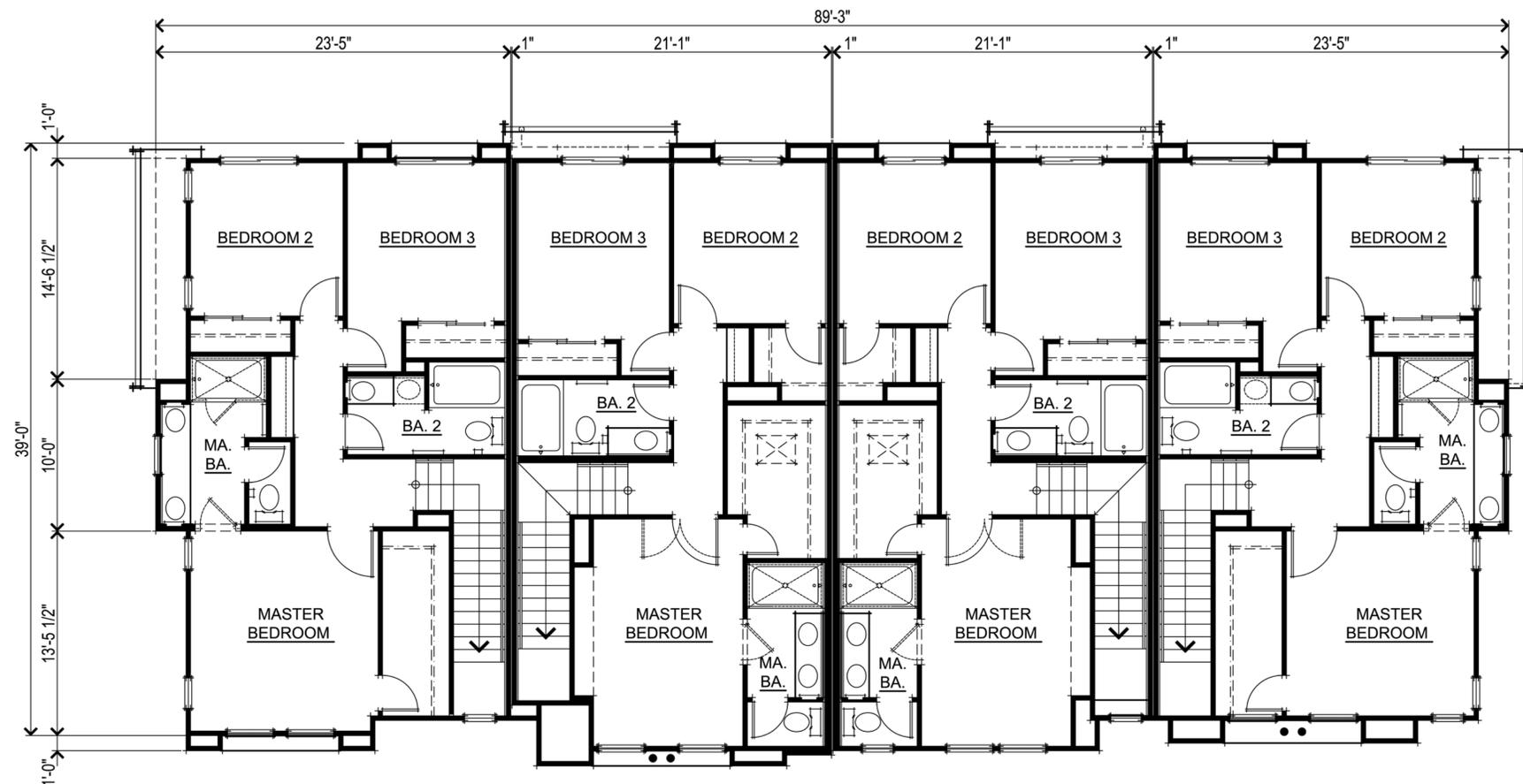


4-PLEX ITALIANATE 'C' SECOND FLOOR PLAN 4.7

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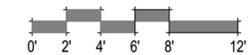


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THIRD FLOOR PLAN ITALIANATE 'C'

- PLAN 3 REVERSE
- PLAN 2 STANDARD
- PLAN 2 REVERSE
- PLAN 3 STANDARD



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4-PLEX ITALIANATE 'C' THIRD FLOOR PLAN **4.8**

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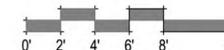
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FRONT ELEVATION ITALIANATE 'C'



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4-PLEX ITALIANATE 'C' FRONT ELEVATION **4.9**

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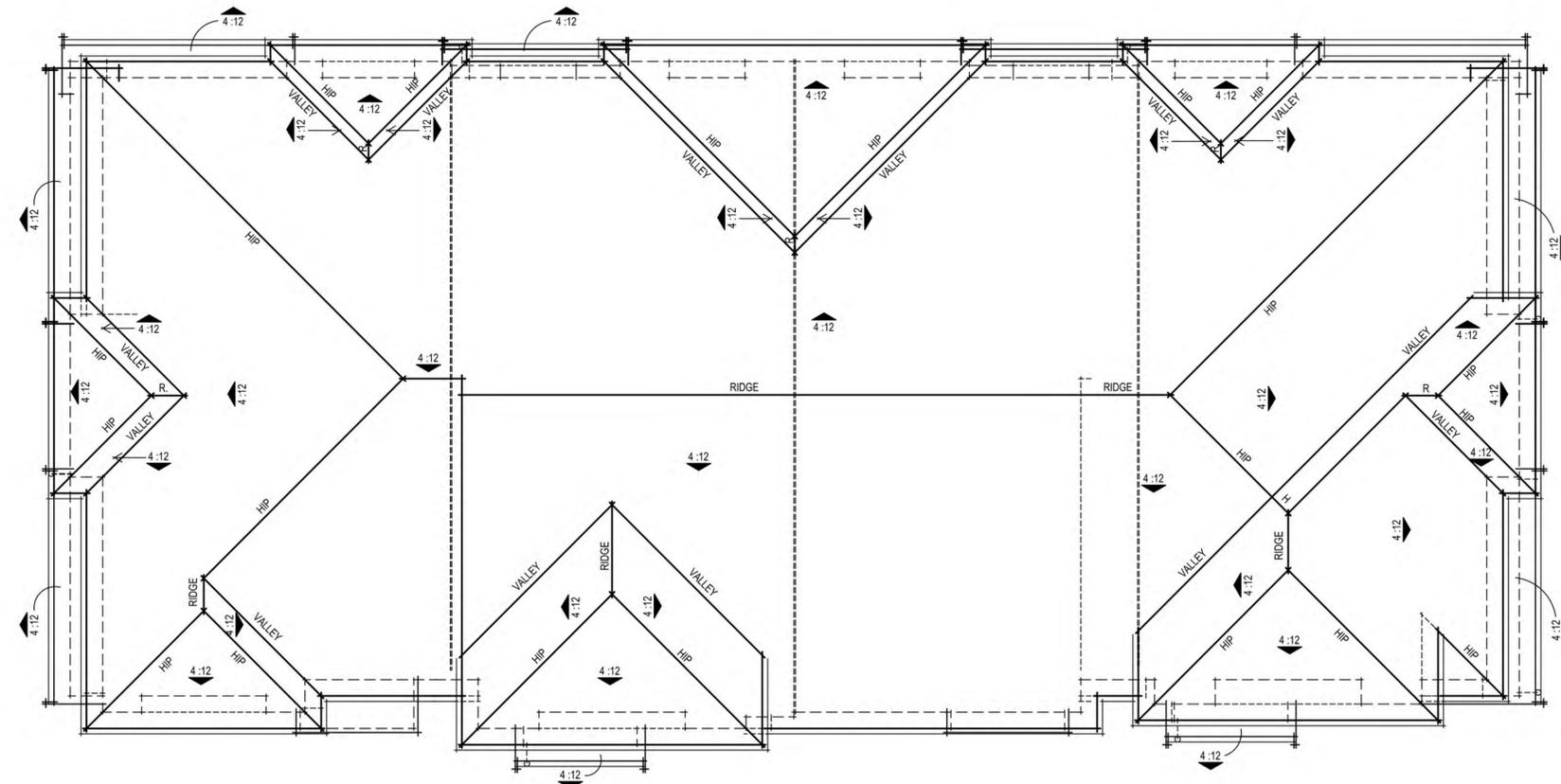
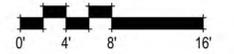
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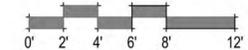
REAR ELEVATION ITALIANATE 'C'



RIGHT ELEVATION ITALIANATE 'C'



ROOF PLAN ITALIANATE 'C'



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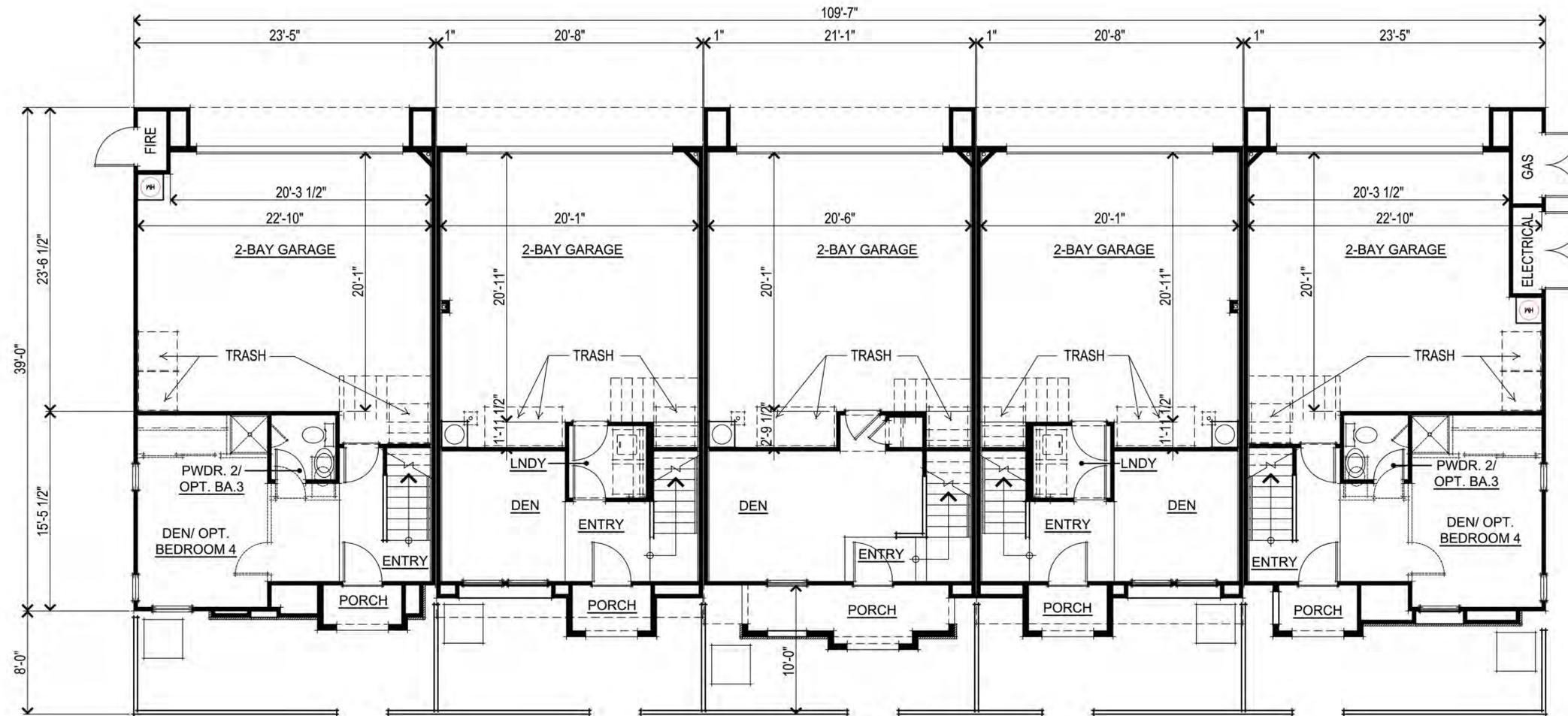
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4-PLEX ITALIANATE 'C' ROOF PLAN, SIDE & REAR ELEVATIONS 4.10

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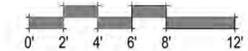


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FIRST FLOOR PLAN ITALIANATE 'C'

PLAN 3 REVERSE	PLAN 1 STANDARD	PLAN 2 REVERSE	PLAN 1 REVERSE	PLAN 3 STANDARD	
SQUARE FOOTAGES FIRST FLOOR 318 SQ. FT. SECOND FLOOR 841 SQ. FT. THIRD FLOOR 739 SQ. FT. TOTAL LIVING 1898 SQ. FT. 2-CAR GARAGE 499 SQ. FT.		SQUARE FOOTAGES FIRST FLOOR 266 SQ. FT. SECOND FLOOR 806 SQ. FT. THIRD FLOOR 733 SQ. FT. TOTAL LIVING 1809 SQ. FT. 2-BAY GARAGE 461 SQ. FT.		SQUARE FOOTAGES FIRST FLOOR 318 SQ. FT. SECOND FLOOR 841 SQ. FT. THIRD FLOOR 739 SQ. FT. TOTAL LIVING 1898 SQ. FT. 2-CAR GARAGE 499 SQ. FT.	



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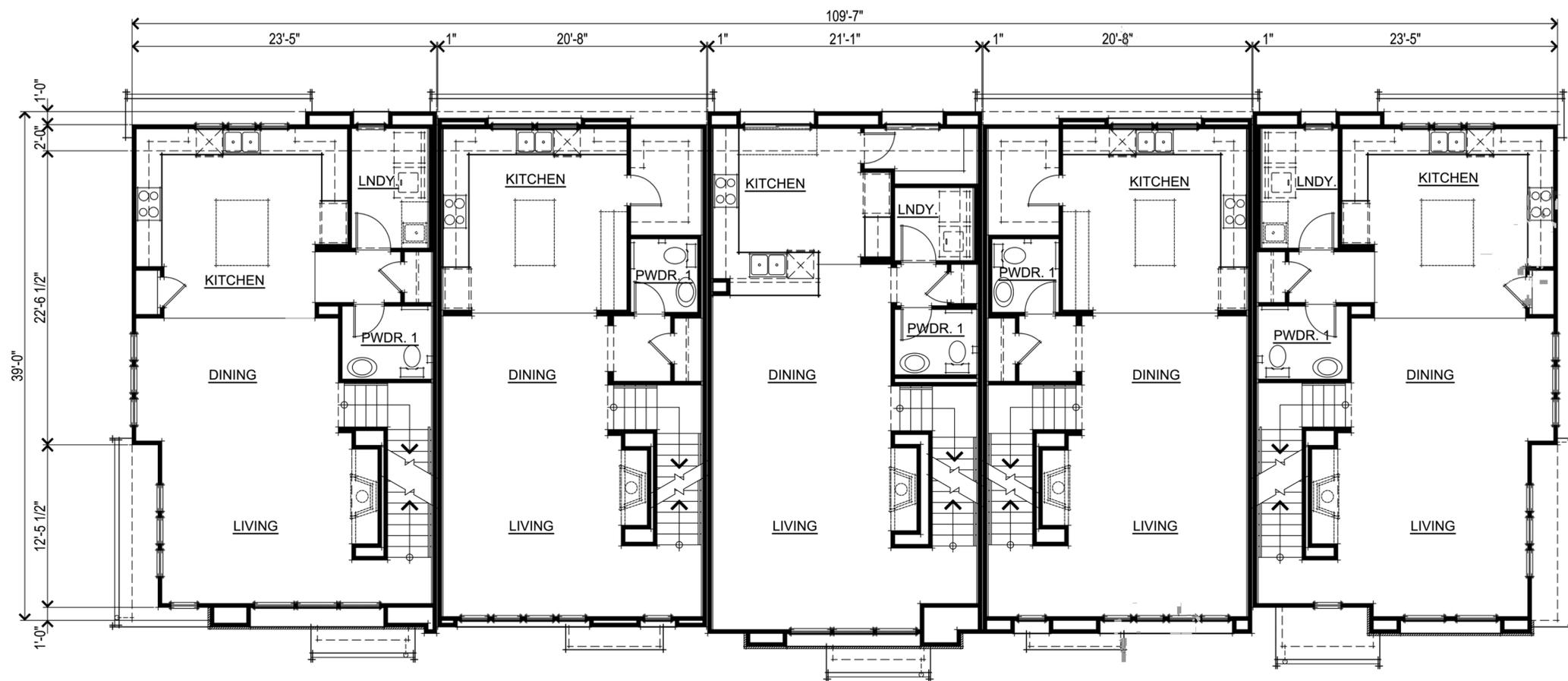
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5-PLEX ITALIANATE 'C' FIRST FLOOR PLAN 5.1

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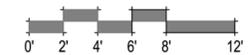


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SECOND FLOOR PLAN ITALIANATE 'C'

- PLAN 3 REVERSE
- PLAN 1 STANDARD
- PLAN 2 REVERSE
- PLAN 1 REVERSE
- PLAN 3 STANDARD



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5-PLEX ITALIANATE 'C' SECOND FLOOR PLAN **5.2**

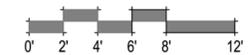
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THIRD FLOOR PLAN ITALIANATE 'C'

- PLAN 3 REVERSE
- PLAN 1 STANDARD
- PLAN 2 REVERSE
- PLAN 1 REVERSE
- PLAN 3 STANDARD



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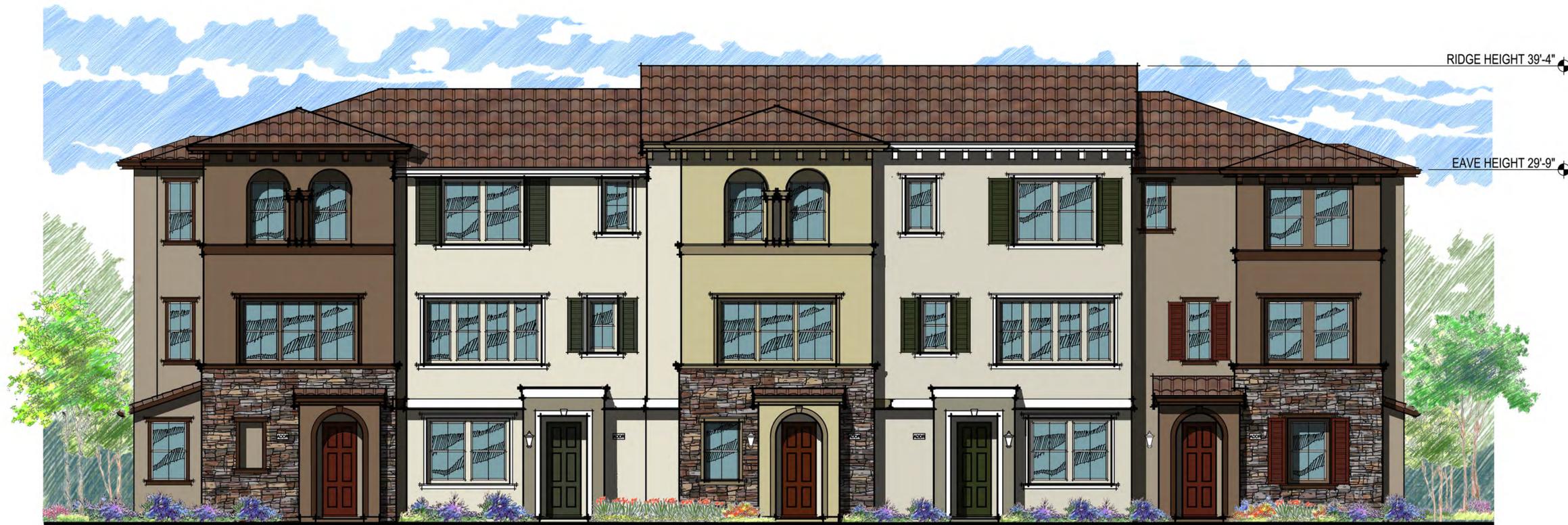
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5-PLEX ITALIANATE 'C' THIRD FLOOR PLAN **5.3**

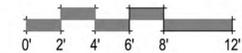
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5-PLEX ITALIANATE 'C' FRONT ELEVATION 5.4

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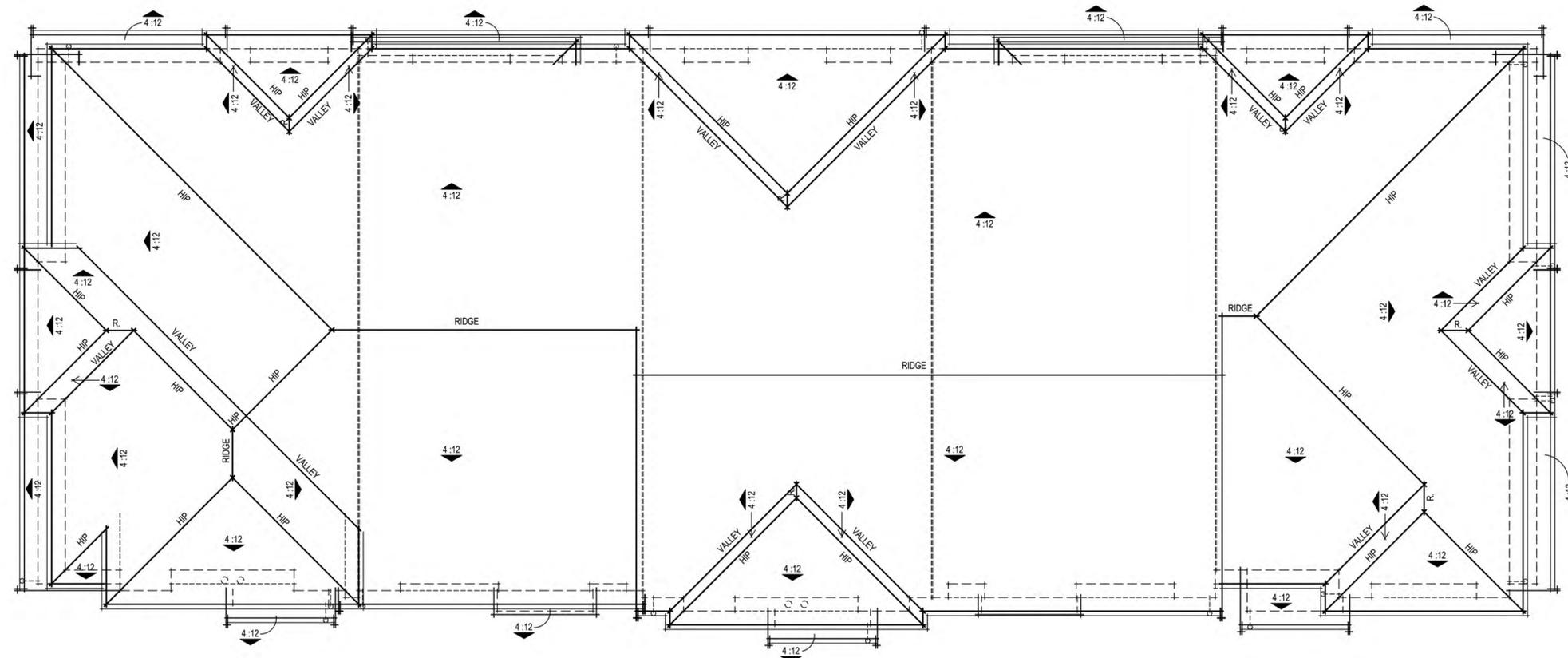
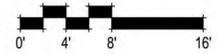
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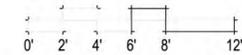
REAR ELEVATION ITALIANATE 'C'



RIGHT ELEVATION ITALIANATE 'C'



ROOF PLAN ITALIANATE 'C'



5-PLEX ITALIANATE 'C' ROOF PLAN, SIDE & REAR ELEVATIONS 5.5

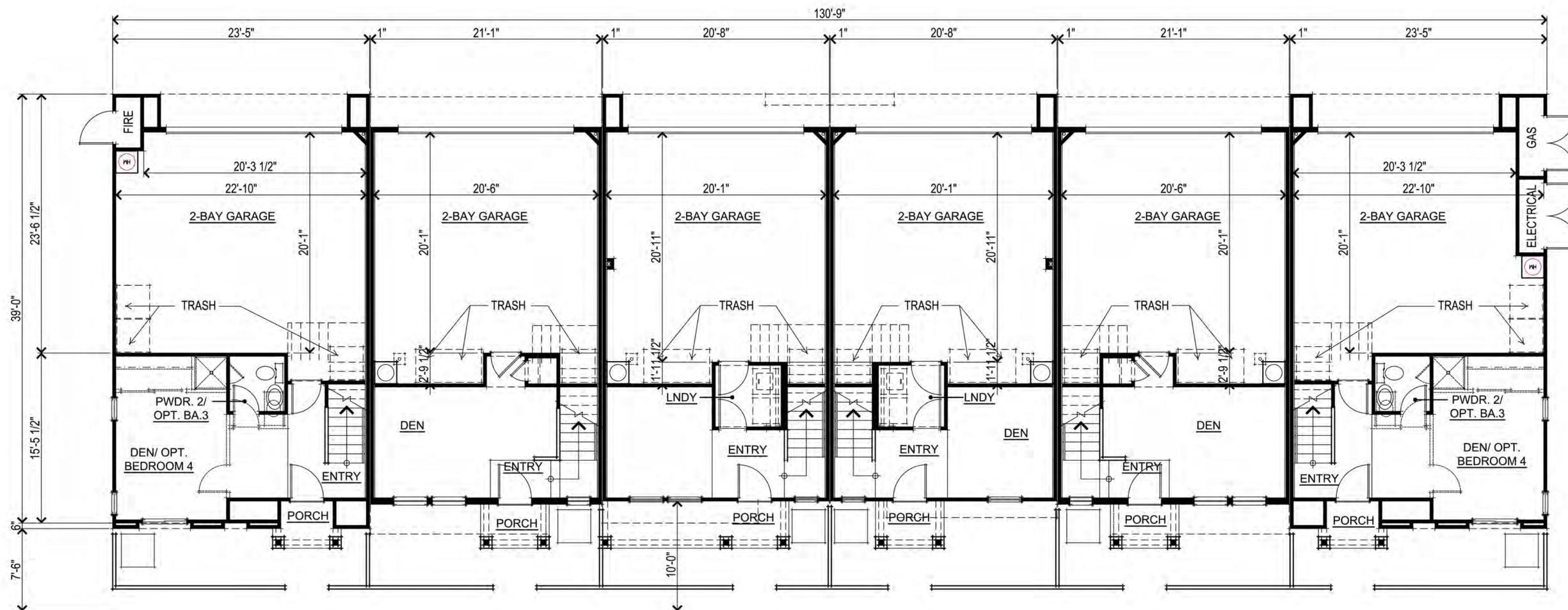
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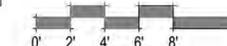


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FIRST FLOOR PLAN SPANISH 'A'

PLAN 3 REVERSE	PLAN 2 REVERSE	PLAN 1 STANDARD	PLAN 1 REVERSE	PLAN 2 STANDARD	PLAN 3 STANDARD																																																																								
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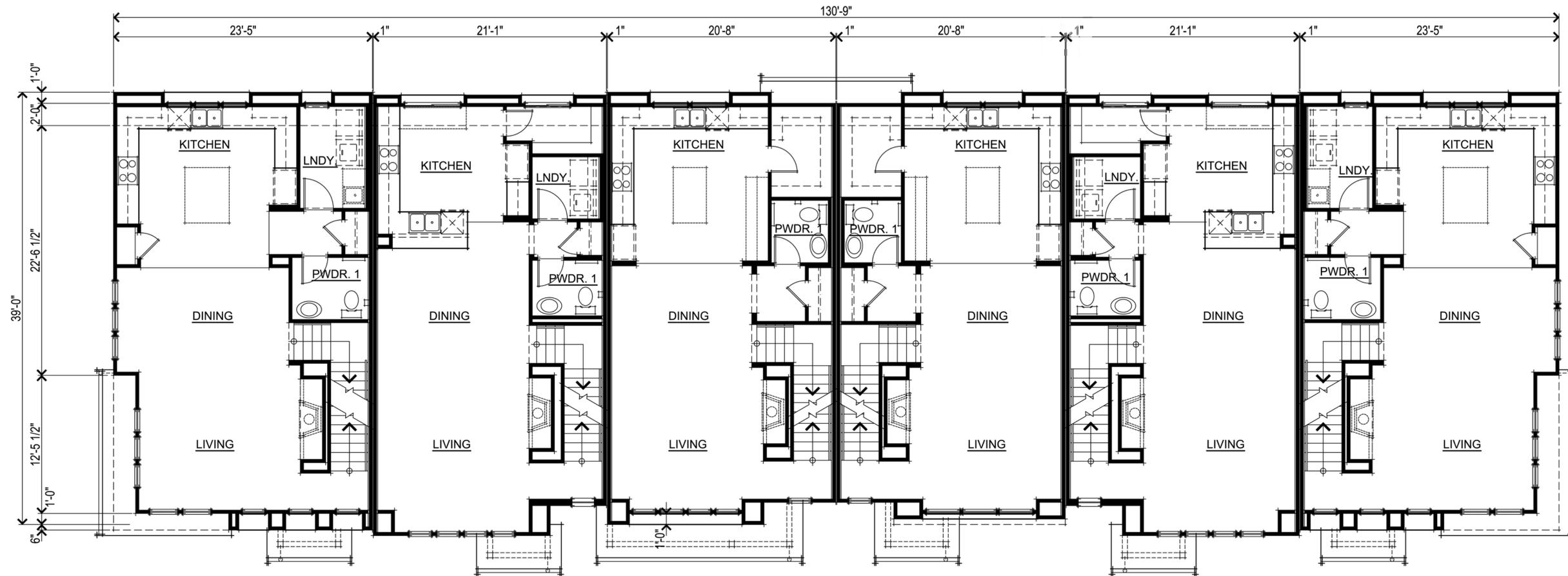
6-PLEX SPANISH 'A' FIRST FLOOR PLAN 6.1

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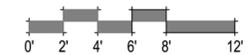


SECOND FLOOR PLAN SPANISH 'A'

- PLAN 3 REVERSE
- PLAN 2 REVERSE
- PLAN 1 STANDARD
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- PLAN 2 STANDARD
- PLAN 3 STANDARD

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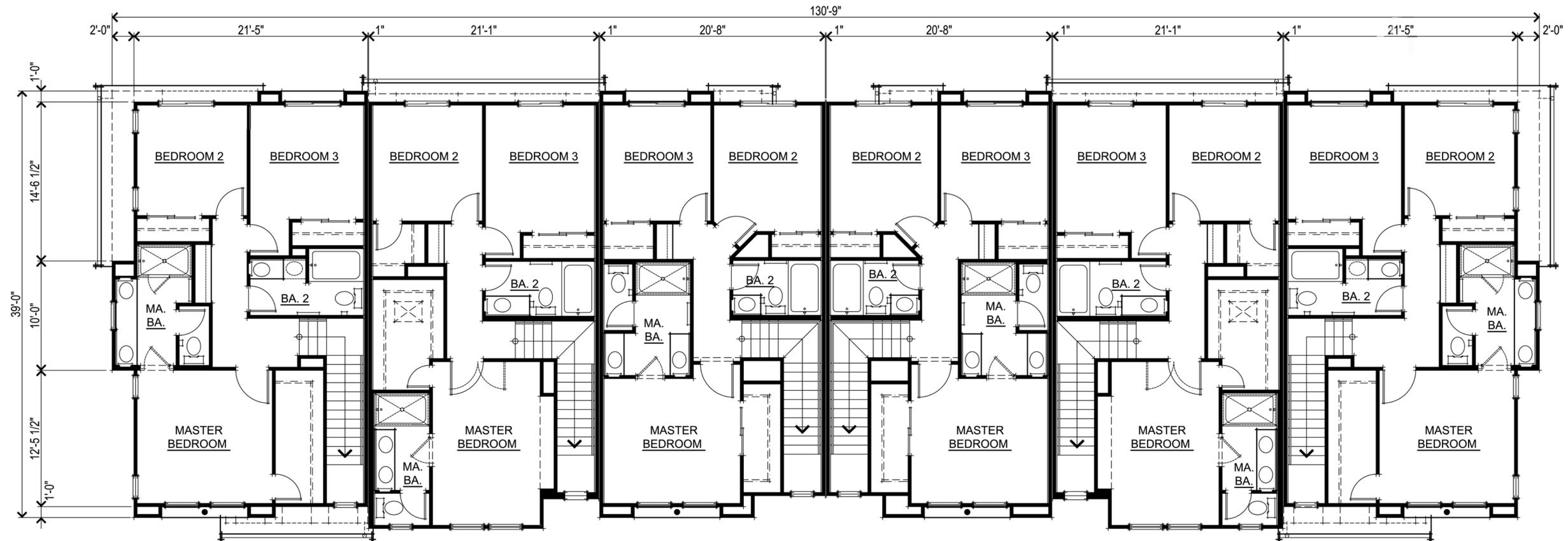
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6-PLEX SPANISH 'A' SECOND FLOOR PLAN **6.2**

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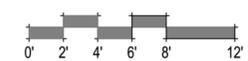


THIRD FLOOR PLAN SPANISH 'A'

- PLAN 3 REVERSE
- PLAN 2 REVERSE
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- PLAN 2 STANDARD
- PLAN 3 STANDARD

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6-PLEX SPANISH 'A' THIRD FLOOR PLAN **6.3**

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6-PLEX SPANISH 'A' FRONT ELEVATION **6.4**

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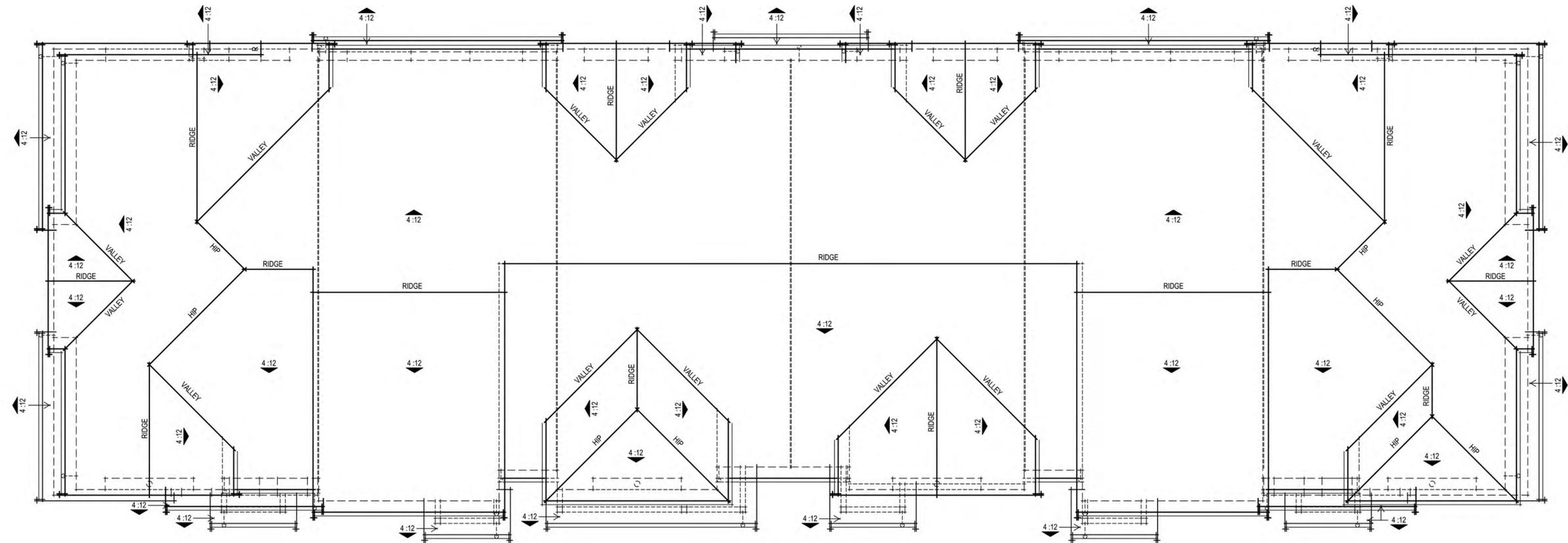
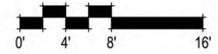
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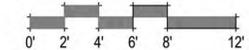
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REAR ELEVATION SPANISH 'A'

RIGHT ELEVATION SPANISH 'A'



ROOF PLAN SPANISH 'A'



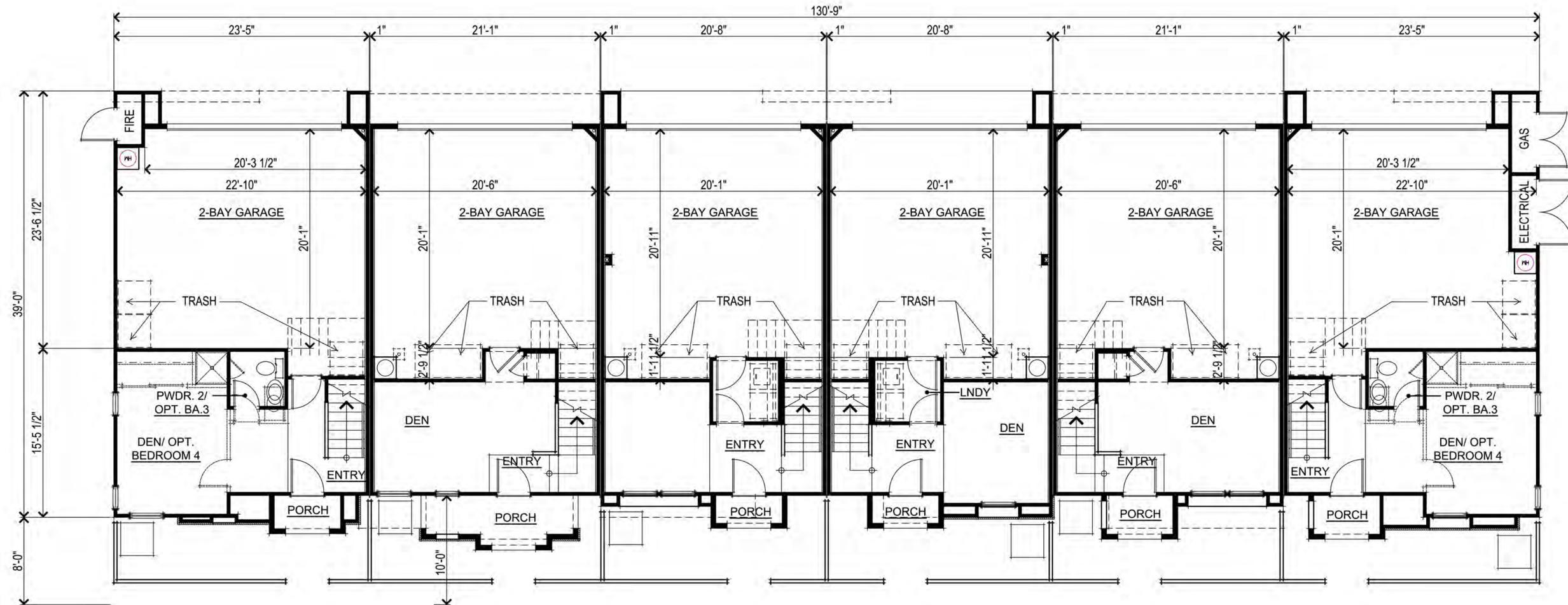
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6-PLEX SPANISH 'A' ROOF PLAN SIDE & REAR ELEVATIONS **6.5**

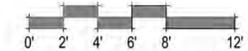
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FIRST FLOOR PLAN ITALIANATE 'C'

PLAN 3 REVERSE	PLAN 2 REVERSE	PLAN 1 STANDARD	PLAN 1 REVERSE	PLAN 2 STANDARD	PLAN 3 STANDARD																																																																								
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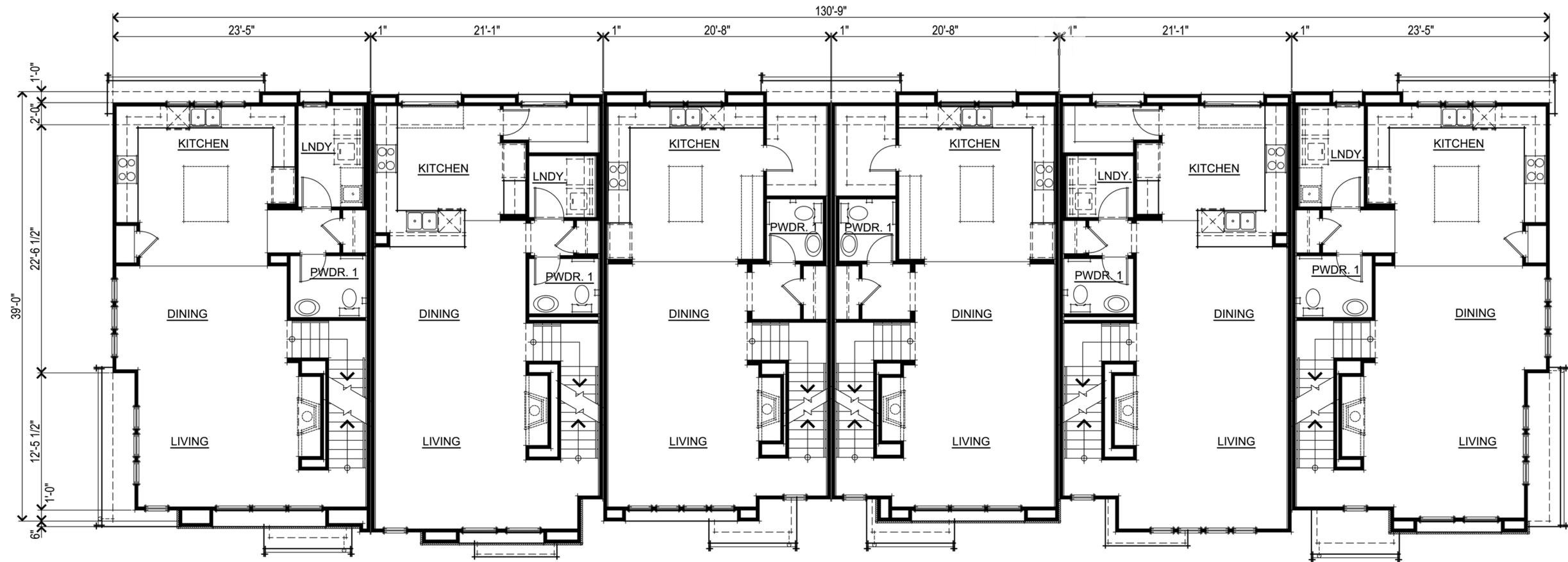
Dollar Street
Hayward, CA
September 30, 2014

6-PLEX ITALIANATE 'C' FIRST FLOOR PLAN 6.6

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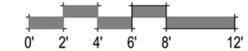


SECOND FLOOR PLAN ITALIANATE 'C'

- PLAN 3 REVERSE
- PLAN 2 REVERSE
- PLAN 1 STANDARD
- PLAN 1 REVERSE
- PLAN 2 STANDARD
- PLAN 3 STANDARD

Dollar Street
Hayward, CA
September 30, 2014

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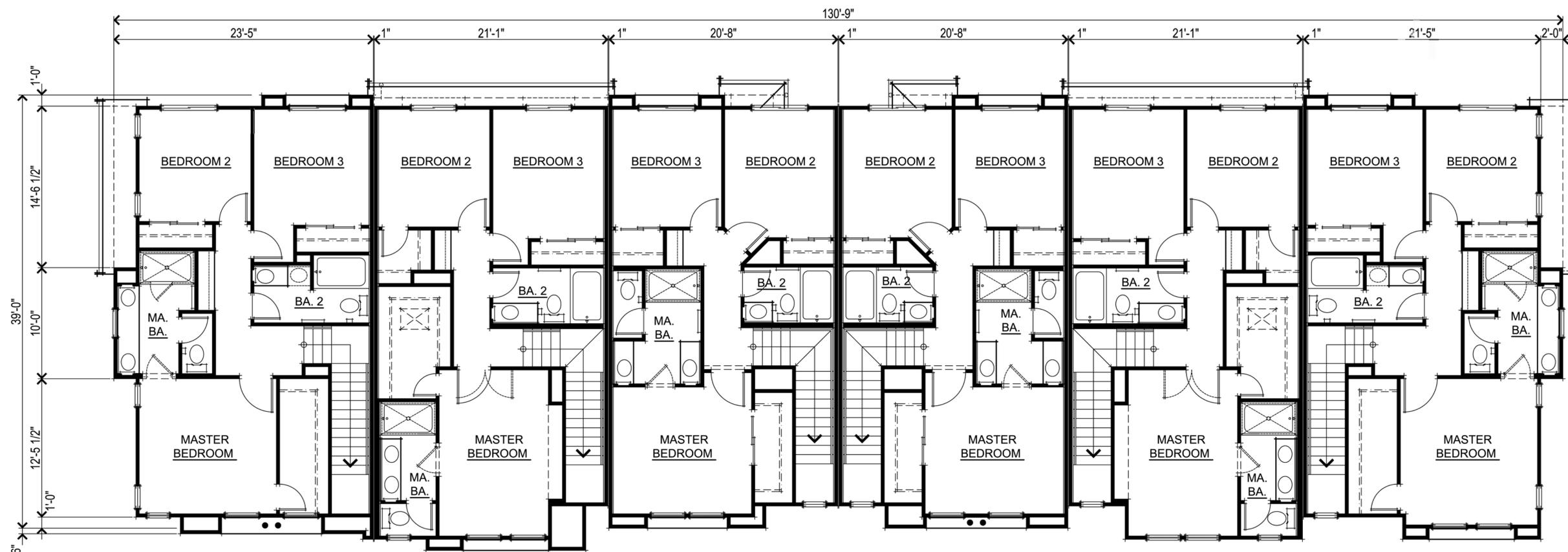


6-PLEX ITALIANATE 'C' SECOND FLOOR PLAN 6.7

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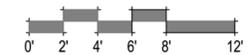


THIRD FLOOR PLAN ITALIANATE 'C'

- PLAN 3 REVERSE
- PLAN 2 REVERSE
- PLAN 1 STANDARD
- PLAN 1 REVERSE
- PLAN 2 STANDARD
- PLAN 3 STANDARD

Dollar Street
 Hayward, CA
 September 30, 2014

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6-PLEX ITALIANATE 'C' THIRD FLOOR PLAN **6.8**

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FRONT ELEVATION ITALIANATE 'C'



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6-PLEX ITALIANATE 'C' FRONT ELEVATION **6.9**

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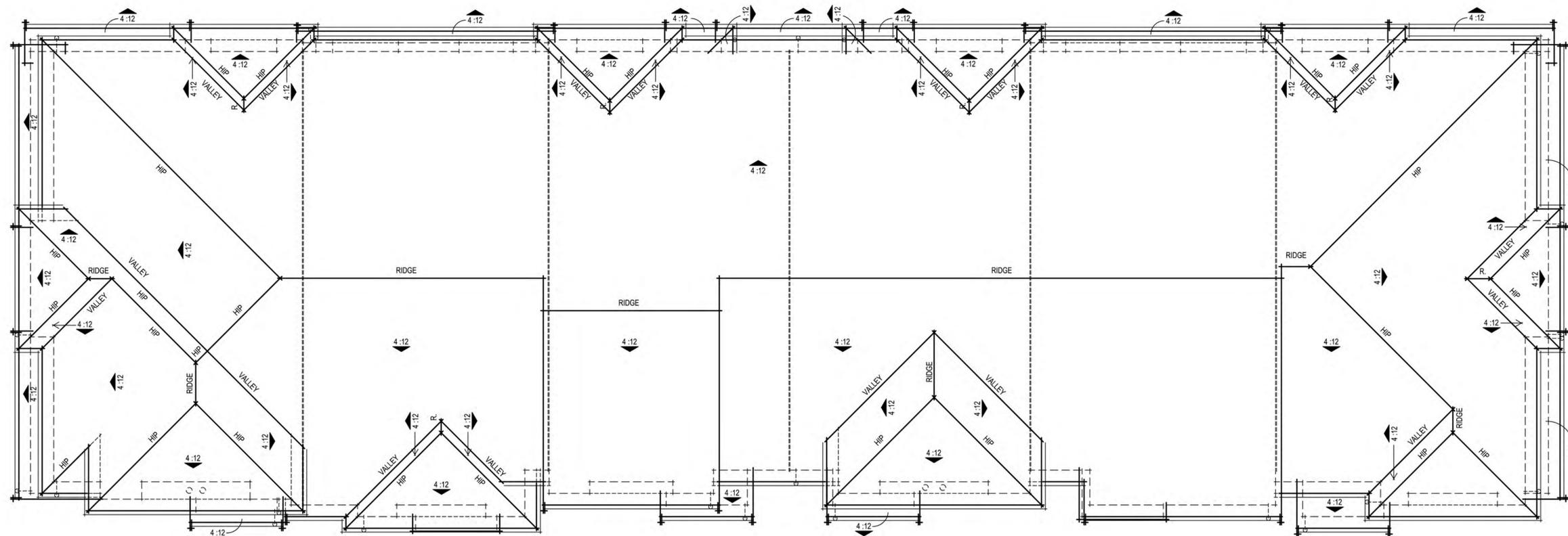
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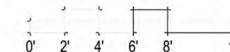
LEFT ELEVATION ITALIANATE 'C'

REAR ELEVATION ITALIANATE 'C'

RIGHT ELEVATION ITALIANATE 'C'



ROOF PLAN ITALIANATE 'C'



Dollar Street
Hayward, CA
September 30, 2014

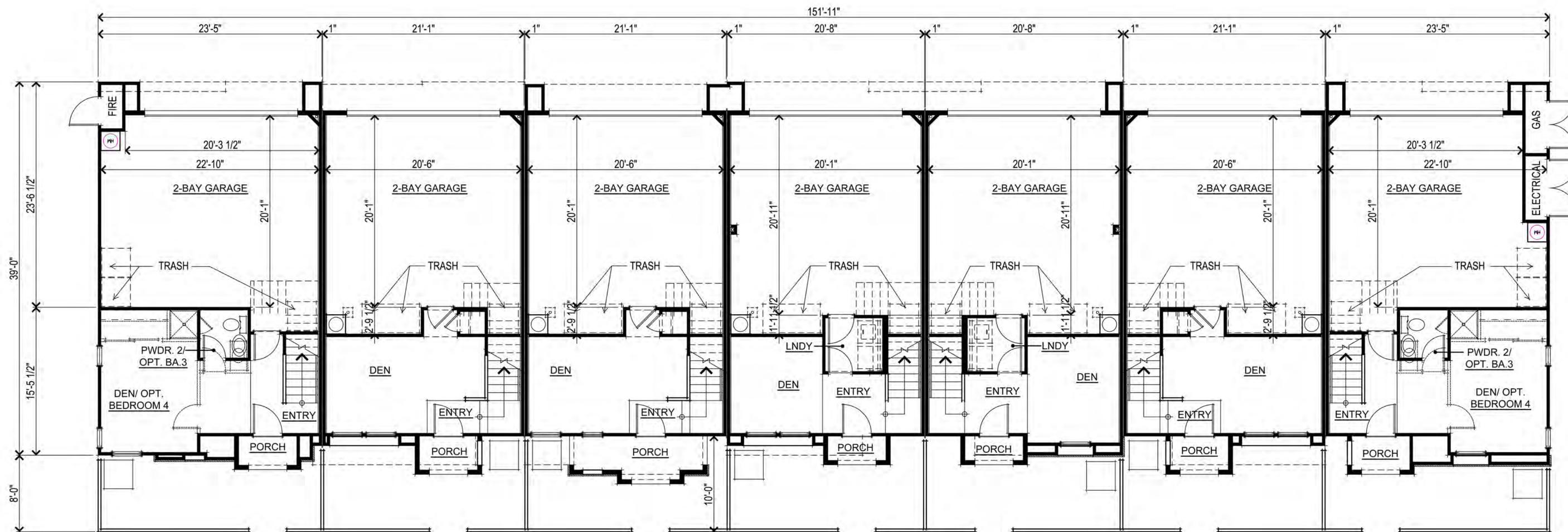
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6-PLEX ITALIANATE 'C' ROOF PLAN, SIDE & REAR ELEVATIONS **6.10**

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FIRST FLOOR PLAN ITALIANATE 'C'

PLAN 3 REVERSE

SQUARE FOOTAGES	
FIRST FLOOR	318 SQ. FT.
SECOND FLOOR	841 SQ. FT.
THIRD FLOOR	739 SQ. FT.
TOTAL LIVING	1898 SQ. FT.
2-CAR GARAGE	499 SQ. FT.

PLAN 2 REVERSE

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PLAN 2 REVERSE

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PLAN 1 STANDARD

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PLAN 2 STANDARD

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PLAN 3 STANDARD

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September 30, 2014

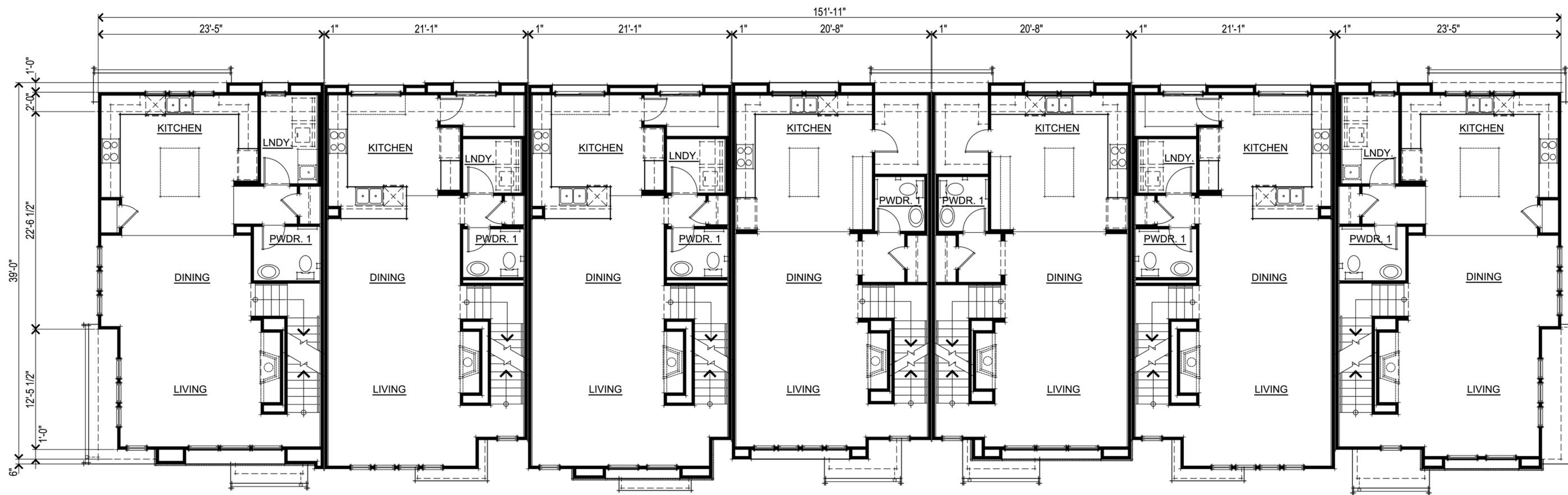
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7-PLEX ITALIANATE 'C' FIRST FLOOR PLAN 7.1

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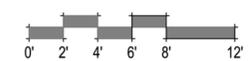


SECOND FLOOR PLAN ITALIANATE 'C'

- PLAN 3 REVERSE
- PLAN 2 REVERSE
- PLAN 2 REVERSE
- PLAN 1 STANDARD
- PLAN 1 REVERSE
- PLAN 2 STANDARD
- PLAN 3 STANDARD

Dollar Street
Hayward, CA
September 30, 2014

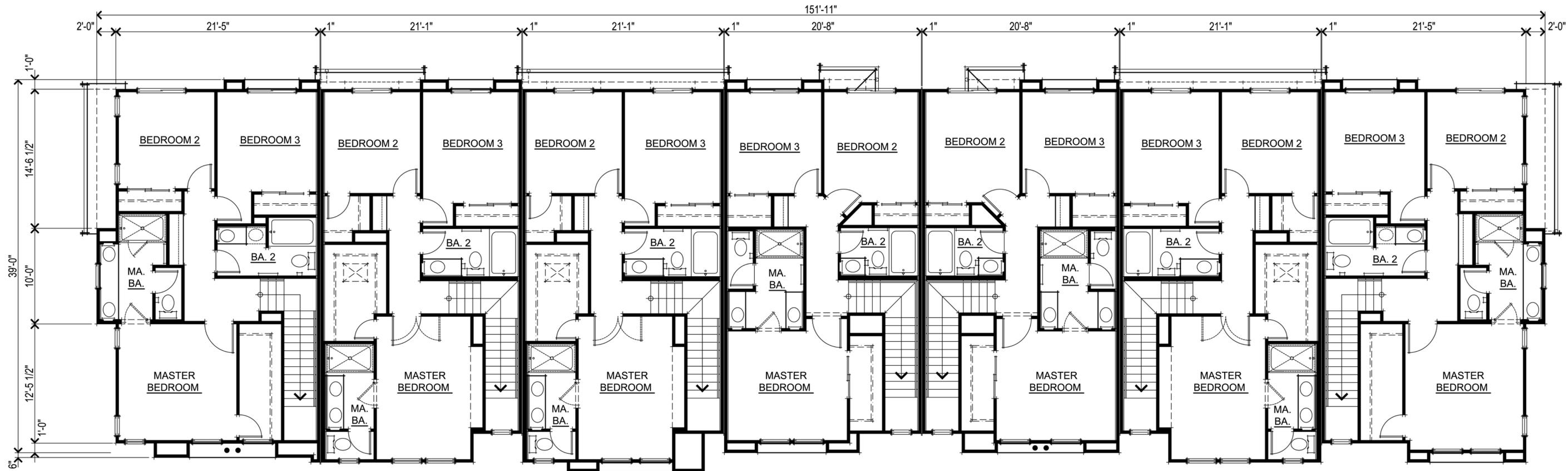
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7-PLEX ITALIANATE 'C' SECOND FLOOR PLAN 7.2

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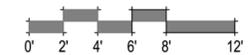


THIRD FLOOR PLAN ITALIANATE 'C'

- PLAN 3 REVERSE
- PLAN 2 REVERSE
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- PLAN 1 STANDARD
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- PLAN 2 STANDARD
- PLAN 3 STANDARD

Dollar Street
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September 30, 2014

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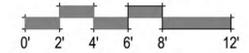
7-PLEX ITALIANATE 'C' THIRD FLOOR PLAN 7.3

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FRONT ELEVATION ITALIANATE 'C'



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7-PLEX ITALIANATE 'C' FRONT ELEVATION 7.4

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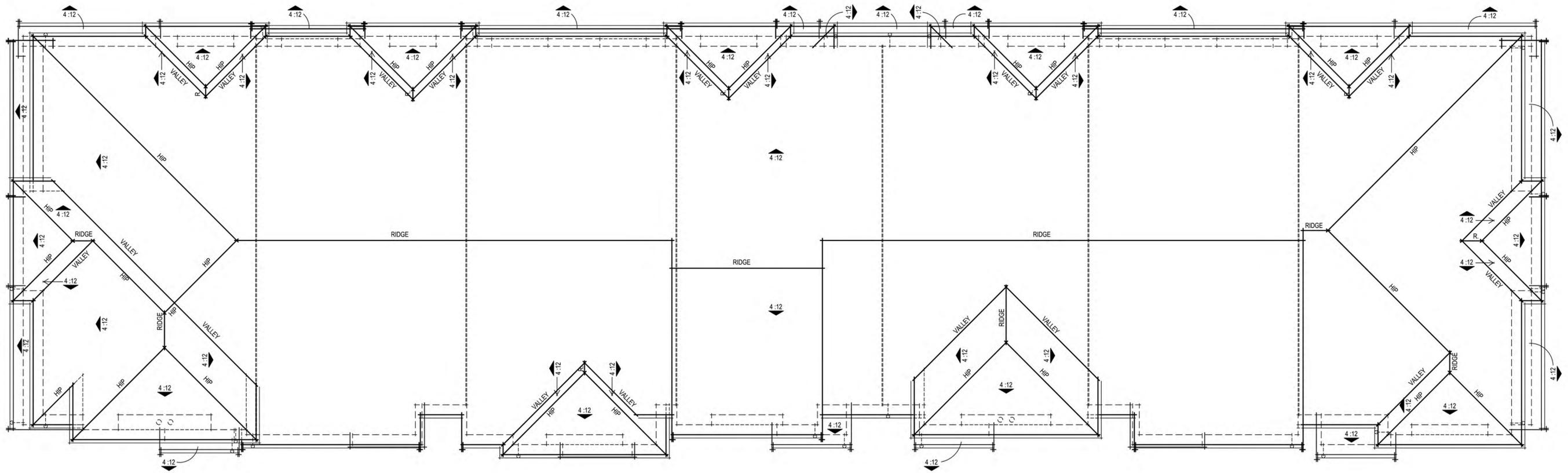
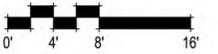
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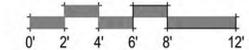
LEFT ELEVATION ITALIANATE 'C'

REAR ELEVATION ITALIANATE 'C'

RIGHT ELEVATION ITALIANATE 'C'



ROOF PLAN ITALIANATE 'C'



Dollar Street
 Hayward, CA
 September 30, 2014

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7-PLEX ITALIANATE 'C' ROOF PLAN, SIDE & REAR ELEVATIONS **7.5**

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**MINUTES OF THE REGULAR MEETING OF THE
CITY OF HAYWARD PLANNING COMMISSION
Council Chambers
Thursday, November 20, 2014, 7:00 p.m.
777 B Street, Hayward, CA94541**

MEETING

A regular meeting of the Hayward Planning Commission was called to order at 7:00 p.m. by Chair McDermott.

ROLL CALL

Present: COMMISSIONERS: Loché, Enders, Faria, Parso
CHAIRPERSON: McDermott
Absent: COMMISSIONER: Trivedi, Lavelle
Commissioner Lavelle arrived at 7:10 p.m.

Chair McDermott announced that Commissioner Trivedi was absent due to an unforeseen family emergency.

Commissioner Enders led in the Pledge of Allegiance.

Staff Members Present: Ajello, Buizer, Koo, Madhukansh-Singh, Nguyen, Rizk

General Public Present: 5

PUBLIC COMMENTS

None

PUBLIC HEARING

1. Request for Adoption of a Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program and approval of a General Plan Amendment from Low Density Residential to Medium Density Residential (Application No. PL-2013-0091), Zone Change (Application No. PL-2013-0092) from Single Family Residential to Planned Development and Vesting Tentative Tract Map 8120 (Application No. PL-2013-0361) associated with the subdivision and construction of 16 single-family detached homes, 8 attached homes and common areas on a 2.26-acre site at 1818 Hill Avenue and 22788 Templeton. Sunny Tong, Westlake Urban, LLC (Applicant/Owner)

Associate Planner Ajello provided a synopsis of the staff report. She noted that the project site is surrounded by existing single family homes that are medium to high density, adding that there was a religious facility located across the street from the proposed development site. Ms. Ajello pointed out that the topography of the site was such that there is a slope and that there were a number of trees located on the site. She indicated that all of the units would have detached two-car garages, with the exception of Unit 1, which would have an attached basement garage; fourteen units would have detached two-car garages immediately behind the home that would be accessible from the



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private drive and nine units would have detached two-car garages located in a common garage at the center rear of the site. She noted that among the ten trees that the applicant was proposing to preserve on the site were a mature Redwood tree and a Canary Island Palm tree. She added that there were some significant street trees along Templeton Street that would be preserved and that the sidewalk would be constructed around these trees. Ms. Ajello stated that units with detached garages that are located behind the home have a bonus space on the upper level of the garage. The applicant has proposed that this optional space be utilized by the homeowner as an office, additional bedroom, den, granny/in-law unit, or that this space be rented out if the City adopts standards in the future permitting short-term rental such as “Air BNB.” Ms. Ajello added that the applicant would like these permissible uses to be added to the HOA. She emphasized that the applicant took great care to work with the existing topography of the site and noted that the development would not be flat.

Associate Planner Ajello proposed the following revisions to the Conditions of Approval (COA): that COA No. 113(r) pertaining to “Homeowners Association” be modified to add language that “The HOA shall include provisions...the extra room over the garage to rent them out as “granny or in-law units” or as short term rentals...” as requested by the applicant; that COA No. 4 be modified to add language that “The subdivider shall assume the defense...arising from the performance and action of this permit excluding any claims for gross negligence or willful misconduct of city or its officers or employees””; that COA No. 16 pertaining to “Mitigation Measure 3” be changed to reflect “Unit 21”; and that COA No. 64 be deleted as this was duplicative of COA No. 117.

In response to Commissioner Loché’s question if a traffic impact study had been conducted, Associate Planner Ajello responded that a traffic impact study had been conducted during the original iteration of the project, which was based upon the development consisting of 29 units. She reported that the outcome of this study was that there would be no negative impacts on traffic in the area resulting from the proposed project. Ms. Ajello shared that she received three phone calls from existing neighbors of the proposed development site and that two of these neighbors were pleased with the project and that one neighbor was concerned that there would be five new residences located adjacent to his property on Hill Avenue.

Associate Planner Ajello clarified for Commissioner Loché that a total of 91 trees had been evaluated in the arborist report, pointing out that seven of these trees were not on the applicant’s property as they were located in the right of way or on adjacent property and that several of these were being preserved. She noted that with the 10 mature trees that were being preserved and the 85 new trees that will be planted, the applicant will exceed the number of existing trees, 91, that were reviewed in the arborist report.

Commissioner Lavelle commented that although the project would be a nice addition to the neighborhood, she was concerned with the deficiency of 18 parking spaces in the development. She was worried that the residents with three or four bedroom homes in the development would not have ample parking and wondered if these residents would have to park their vehicles on Hill Avenue or Templeton Street. Associate Planner Ajello stated that the Pocket Neighborhood design



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concept was focused on de-emphasizing cars and parking. She noted that based on the City's requirement that two additional uncovered parking spaces were required for units that don't front on a public or a private street, that there was a parking deficiency because most of the units in the project front within the development and parking was not permitted on the private street. Ms. Ajello indicated that staff's opinion was that the additional 10 uncovered on-site parking spaces in combination with the additional public and private street parking would provide sufficient parking spaces for the residents.

Commissioner Lavelle mentioned that when she visited the proposed development site, she noticed that there was a lot of activity in the area due to the Sikh religious facility being located next to the site and she expressed concern about the parking capacity for new residents to park in this neighborhood when the religious facility was busy. Associate Planner Ajello replied that she had not received any comments from the Sikh temple and noted that the temple does have a large parking lot. Ms. Ajello confirmed for Commissioner Lavelle that the nearest bus stops were located on B Street.

Commissioner Enders raised concerns that were expressed in the original iteration of the project related to California condors that were possibly located at the development site. Associate Planner Ajello indicated that the developer was required to do a biological assessment for the entire development site for the nesting of birds and the results of this assessment were that there was no traces of nesting found at that time; however, given that nesting may occur during certain times of the year, COA No. 15 requires the developer to conduct a nesting survey two weeks prior to construction and, if nesting is found, then the developer is required to contact the California Department of Fish and Wildlife. Commissioner Enders asked staff if drainage problems expressed by existing residents had been addressed for Templeton Street, as there were no curbs or storm drains currently on either side of the street. Associate Planner Ajello stated that the stormwater treatment measures would be addressed by the Public Works Department; however, she noted that the applicant was proposing to extend the sidewalk along Templeton Street and that this would provide appropriate drainage improvements such as curbs and gutter.

Chair McDermott requested that staff include per unit lot size figures in staff reports for future development projects as this information might be useful to the Planning Commission. She was in agreement with Commissioner Enders' comments about the potential drainage issues at the project site as this might be burdensome to future homeowners having to do repair work for problems caused by the pooling of water resulting from heavy downpour. Chair McDermott commented that based on her experience in having served on the Planning Commission, most developers seemed to opt to pay the in-lieu fees rather than providing for development projects featuring affordable housing units. She was very concerned about the declining availability of Below Market Rate (BMR) properties in Hayward and also sustaining affordable housing in the community, especially for middle class families. In response to Chair McDermott's concern about requiring developers to construct a certain number of BMR units, Associate Planner Ajello responded that the City's Interim Relief Ordinance allows developers to either provide affordable housing units or pay the in-lieu fees. Development Services Director Rizk stated that a revised ordinance will soon be reviewed



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by the City Council and this would include an impact fee assessment. He shared that in-lieu fees that are paid go into a fund which are then used to support affordable housing projects; however, he stated that there was a difference in building stand-alone affordable housing projects with BMR units and having BMR units integrated into market-rate development projects.

Chair McDermott shared concerns expressed by Commissioner Lavelle about parking deficiencies and commented about the inconvenience to residents whose garages would be located in a common garage area. Associate Planner Ajello indicated that the garages do not have a driveway as they front on the private street, adding that parking was not permitted along the private roadway as this was a fire access lane. Ms. Ajello pointed out that guests could park in the ten uncovered parking spaces in the development or park on the public street.

Ms. Gaye Quinn, project applicant with Westlake Urban LLC, shared that the development project featured a Pocket Neighborhood design concept, which was an innovative housing design plan focused on creating community through the use of common area open space. She shared that the design plan was suitable for multigenerational residents and encouraged aging in place. Ms. Quinn described that the design principles included providing multiple spaces for interaction, central courtyards where front doors and porches opened up to open space, real porches with ample space for patio furniture, a common multipurpose room for residents, and de-emphasized parking. She indicated that the preference for the project was to avoid having garages on the front of the homes with the exception of one home that had a basement level attached garage due to the elevation of the property. She noted that a kitchenette would be added to the community room so that it could be used by residents for events and workshops. In regards to connecting the development with the surrounding neighborhood, Ms. Quinn pointed out that among the street improvements that will be provided were traffic calming bulb-outs. Ms. Quinn also stated that the design of the development's driveway was modified to a private U-shaped access road so that adjacent neighbors and traffic would not be impacted. She highlighted that other key design principles of the project were adaptability and resiliency and these were featured in the project through the ground floor bedrooms and bathrooms, above garage space, open floor plans, and connections to outdoor living.

Ms. Quinn confirmed for Commissioner Enders that the above garage space would have plumbing. She stated that further evaluation needed to be done to determine the future sales price of the homes; however, she noted that the development would be expensive to construct and anticipated that the pricing would be 10-20% higher than other comparable new homes in the market. She shared that it was highly probable that Westlake Urban LLC would build the homes. Ms. Quinn indicated that off-site construction would be explored as a way to increase quality of the project and to decrease impacts to the surrounding neighborhood resulting from construction. Commissioner Enders underscored that the design plan had potential to add value to the existing neighborhood.

Commissioner Faria emphasized her concern about the lack of parking as the above garage space could mean that more occupants would be residing within the development. Commissioner Faria shared that the applicant had previously brought projects on other properties forward for approval, but did not move forward with those projects, and that she was therefore concerned whether the



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applicant would build the proposed development. Ms. Quinn responded that the plan was to build the project as early as next year; however, this was dependent upon the conditions of approval placed on the developer. She added that the economic recession brought about many changes and emphasized that there was projected to be an increased housing demand in Hayward due to its central location between San Francisco and the Silicon Valley. Ms. Quinn commented that younger homeowners today have a different perspective on transportation and prefer walking to places and riding a bicycle, and tend to own a single vehicle. She noted that in designing the proposed development, they kept this in mind and had a goal to reduce the number of vehicle miles travelled for future residents.

Mike Pyatok, project architect, shared that presently, communities are developed to accommodate automobiles and highlighted that the Pocket Neighborhood design plan had returned as a new way to do in-fill housing. He stated that there had been a culture shift among 15-18 year olds about reduced auto dependency as 15% of this group was not bothering with obtaining a driver's license. He described that the average home in the U.S. was 2,400 square feet in size and that the proposed project featured smaller homes around 1,500 square feet. Mr. Pyatok mentioned that for the architecture of the development to be consistent with a sociable community, the homes would have cottage style architecture and the color scheme would include light shades. He described that the common areas featured the following: three shared courtyards that included lawn and paved areas; benches allowing for opportunities to have a barbecue; citrus fruit trees; and deck areas. He noted that there would be drainage swales on-site for the treatment of rainwater. Mr. Pyatok underscored that the proposed project met the 2.4 parking spaces per unit parking requirement for the City. He commented that 75% of the households in the nation are either single individuals or couples without children, noting that the residents of the proposed development may have a similar family composition.

In response to Commissioner Lavelle's question regarding to whom the development would be marketed, Ms. Quinn responded that the units would be targeted to all types of individuals, including current Hayward residents, first-time homebuyers, people who commute to the East Bay, and some families. Commissioner Lavelle pointed out that the demographics of Hayward in comparison to other surrounding cities included families with a high proportion of school-aged children and a large immigrant population. Commissioner Lavelle asked if there were schools close to the development and whether they were a walkable distance away. Ms. Quinn stated that she did not have this information available; however, she emphasized that the development was designed to be multigenerational and to be able to adapt different family formations. Ms. Quinn indicated for Commissioner Lavelle that one of the uses of the multipurpose room could be as an exercise room, if desired by the Homeowners Association. Commissioner Lavelle suggested that fruit trees in the development be fenced off to avoid attracting deer to the development.

Commissioner Parso stated that he supported the design concept, especially as he was in favor of walkable neighborhoods. Ms. Quinn confirmed the following for Commissioner Parso: that a meeting was held with surrounding neighbors earlier in the development planning process; that the developer and staff had worked to address questions expressed by neighbors; that there were no



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responses to postcard notifications that were mailed out by City staff; and that the project applicant was in touch with a broker affiliated with the Sikh temple who was communicating the design plans to the occupants of the temple, and that no comments had been expressed thus far.

Commissioner Parso hoped that the proposed project would be adequately integrated with its surrounding neighborhood and that it would not become an isolated community. He stressed that there was still a strong need for automobiles, particularly by people with families, and he was concerned with the lack of sufficient parking in the development. He suggested that the City consider having perpendicular parking on Hill Avenue and Templeton Street to accommodate additional parking spaces. Associate Planner Ajello clarified that the bulb-outs proposed in the project would not eliminate the street parking and that it would assist in creating safer parking scenarios. She noted for Commissioner Parso that the Public Works - Engineering and Transportation Department could explore if perpendicular parking would be feasible for the proposed streets, and that the 2.4 parking spaces per unit ratio was consistent with other recently approved projects in the City such as Camden Place and Eden Pointe.

Associate Planner Ajello also confirmed for Commissioner Parso that the permeable pavers do meet the City's standards. She added that, as part of the Preliminary Development Plan and Precise Development Plan, the Public Works – Engineering and Transportation Department and Fire Department will review the plans and the products used for permeable pavers, noting that the permeable pavers have to be able to sustain the weight of a fire truck. Commissioner Parso commended the applicant for usage of solar panel arrays and supported the units being built close together; however, he wished that the development featured more open space.

Commissioner Enders requested that the developer comply with the following sections of the Mitigated Negative Declaration under Section IV, Biological Resources: section (a) pertaining to birds nesting habitat at the project site; Sections 3, 4 and 5 of the 'Design Recommendations' regarding pathway/wall/patio locations, narrowing the sidewalk for potential trunk expansion of coast redwood #90, and the use of rubber pavers for certain trees. She emphasized that the Mitigated Negative Declaration be adhered and that staff follow-up on this as she was concerned that the language in the declaration such as "evaluate" or "explore" were lenient.

Chair McDermott opened and closed the public hearing at 8:20 p.m.

Commissioner Enders offered a motion to approve the project, seconded by Commissioner Loché. Commissioner Enders appreciated the following features of the proposed development project: the amount of lighting on the outside of the buildings, the variety of native and drought resistant plants proposed to be used and other landscaping choices, and that there was twice the amount of open space than minimally required. She indicated that there would always be concerns about parking limitations; however, she was pleased that the project was moving towards a future that was less dependent on the automobile. She underscored that the project was consistent with the City's General Plan to promote walkable neighborhoods in Hayward.



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Commissioner Lavelle supported the project and highlighted that the quality of the design was outstanding; however, she remained concerned about insufficient parking in the area. She favored Commissioner Parso's creative idea about having perpendicular street parking and requested that staff explore redesigning the on-street parking to see if additional parking spaces could be accommodated. She recommended that potential buyers be informed of the limited parking in the development, especially if any residents plan to rent out the above garage space as a granny or in-law unit. Commissioner Lavelle stated that it was a goal to have transit-oriented development in Hayward, noting that this had been accomplished somewhat successfully. She described that there was a happy medium among residents in the downtown and Cannery developments as some people utilized public transit and some still preferred driving. She added that bus service had been reduced during the recession, commenting that it had not been adequately restored post-recession. Commissioner Lavelle mentioned that more housing alternatives were needed to accommodate the City's growing population; stressing that careful consideration be given to where residents live and where they park. She recommended that the color scheme of the development not include purple or lavender, as was noted in the design plans. Commissioner Lavelle agreed with Commissioner Faria's comment that the proposed development should come to fruition by being built and marketed.

Commissioner Faria was very pleased that the development featured the concept of 'community', which encouraged residents to sit on their front porches and interact with one another. She stated that due to the anticipated higher pricing of the proposed development, it was likely that there would be multigenerational families living there, which would thereby increase the need for additional parking. She hoped that concerns about insufficient parking could be mitigated in some way.

Chair McDermott supported the motion stating that as BART lines further expand throughout the Bay Area, such as in Silicon Valley, people will explore better solutions for commuting. She expressed appreciation that the project promoted aging in place since purchasing a home was a lifetime investment for most people.

Commissioner Loché indicated that he generally did not favor projects that lacked sufficient parking unless they were in close proximity to BART, noting that the proposed development was at least one mile away from BART; however, he stated that this shortfall was made up in the amenities being provided in the project. He said that it was a phenomenal achievement that over 50% of the project was comprised of open space. He appreciated that every unit had a full bathroom and bedroom on the ground floor, that every unit had porches and that the development would have edible gardens. Commissioner Loché added that the diversity of housing sizes would result in a diversity of housing prices. He described the project as being an innovative addition to the City. He agreed with the applicant that the youth today was becoming less dependent on automobiles than prior generations.



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The motion passed with the following vote:

AYES: Commissioners Loché, Enders, Faria, Lavelle, Parso
Chair McDermott
NOES: None
ABSENT: Commissioner Trivedi
ABSTAIN: None

COMMISSION REPORTS

2. Oral Report on Planning and Zoning Matters

Planning Manager Buizer shared that a developer was interested in the former Mervyn's Headquarters Site and that a Preliminary Review of a Proposed Project Concept Plan would be presented at the December 2, 2014 City Council Meeting. Planning Commissioners unanimously agreed to add this as a Work Session item to the December 18, 2014 Planning Commission Agenda.

3. Commissioners' Announcements, Referrals

Commissioner Enders requested that staff indicate in future Planning Commission Agenda Packets if landscaping plans for proposed projects are native and/or bay friendly. Planning Manager Buizer responded that the City has a Bay Friendly Landscape Ordinance outlining minimum standards. She pointed out that the landscaping plans that come before the Planning Commission are usually preliminary plans that get refined through the review process; however, she noted that staff will look into ways to present this information on the project application.

Commissioner Faria requested that Economic Development Manager Micah Finkle attend a Planning Commission meeting for the purposes of informing the body on what to consider while making decisions on proposed projects in order to further the City's Economic Development plan. Planning Manager Buizer responded that she will request Mr. Finkle to attend a Planning Commission meeting towards the beginning of 2015.

APPROVAL OF MINUTES

4. Approval of Minutes of the Planning Commission Meeting on November 6, 2014

It was moved by Commissioner Enders, seconded by Commissioner Parso, and carried unanimously with Commissioner Trivedi absent, to approve the minutes of the Planning Commission Meeting on November 6, 2014.

ADJOURNMENT

Chair McDermott adjourned the meeting at 8:35 p.m.



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APPROVED:

Heather Enders, Secretary
Planning Commission

ATTEST:

Avinta Madhukansh-Singh, Senior Secretary
Office of the City Clerk