



CITY OF  
**HAYWARD**  
HEART OF THE BAY

## **PLANNING COMMISSION**

**APRIL 23, 2015**

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CITY OF HAYWARD  
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LIVE BROADCAST – LOCAL CABLE CHANNEL 15

**AGENDA**  
**HAYWARD PLANNING COMMISSION**  
**THURSDAY, APRIL 23, 2015 , AT 7:00 PM**  
**COUNCIL CHAMBERS**

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**MEMBERS OF THE AUDIENCE WISHING TO ADDRESS THE PLANNING COMMISSION:**

Obtain a speaker's identification card, fill in the requested information, and give the card to the Commission Secretary. The Secretary will give the card to the Commission Chair who will call on you when the item in which you are interested is being considered. When your name is called, walk to the rostrum, state your name and address for the record and proceed with your comments. The Chair may, at the beginning of the hearing, limit testimony to three (3) minutes per individual and five (5) minutes per an individual representing a group of citizens for organization. Speakers are expected to honor the allotted time.

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**ROLL CALL**

**SALUTE TO FLAG**

**PUBLIC COMMENT:** (The PUBLIC COMMENTS section provides an opportunity to address the Planning Commission on items not listed on the agenda. The Commission welcomes your comments and requests that speakers present their remarks in a respectful manner, within established time limits and focus on issues which directly affect the City or are within the jurisdiction of the City. As the Commission is prohibited by State law from discussing items not listed on the agenda, your item will be taken under consideration and may be referred to staff for further action).

**ACTION ITEMS:** (The Commission will permit comment as each item is called for Public Hearing. Please submit a speaker card to the Secretary if you wish to speak on a public hearing item).

**PUBLIC HEARING:** For agenda item No. 1, the decision of the Planning Commission is final unless appealed. The appeal period is 10 days from the date of the decision. If appealed, a public hearing will be scheduled before the City Council for final decision.

1. Proposed New 21st Century Library and Community Learning Center and Heritage Plaza/Arboretum Project at 22693/22695 Mission Boulevard and 822/835 C Street, Requiring Approval of Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, Site Plan Review, and Variance for Setbacks; City of Hayward (Owner/Applicant)

**[Staff Report](#)**

**[Attachment I - Area & Zoning Map](#)**

**[Attachment II- Recommended Conditions of Approval](#)**

**[Attachment III- MM&RP](#)**



Assistance will be provided to persons requiring accommodations for disabilities in compliance with the Americans with Disabilities Act of 1990. Persons needing accommodation should contact Sonja Dal Bianco 48 hours in advance of the meeting at (510) 583-4204, or by using the TDD line for those with speech and hearing disabilities at (510) 247-3340.

[Attachment IV-Plans](#)  
[Attachment V-Public Comments](#)

**COMMISSION REPORTS:**

2. Oral Report on Planning and Zoning Matters

Council's Appointed Officials Handbook

3. Commissioners' Announcements, Referrals

**APPROVAL OF MINUTES**

4. None.

**ADJOURNMENT**

**PLEASE TAKE NOTICE** that if you file a lawsuit challenging any final decision on any public hearing item listed in this agenda, the issues in the lawsuit may be limited to the issues which were raised at the City's public hearing or presented in writing to the City Clerk at or before the public hearing. **PLEASE TAKE FURTHER NOTICE** that the City Council has adopted Resolution No. 87-181 C.S., which imposes the 90 day deadline set forth in Code of Civil Procedure section 1094.6 for filing of any lawsuit challenging final action on an agenda item which is subject to Code of Civil Procedure section 1094.5.

**NOTE:** Materials related to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the Permit Center, first floor at the above address. Copies of staff reports for agenda items are available from the Commission Secretary and on the City's website the Friday before the meeting.

**DATE:** April 23, 2015

**TO:** Planning Commission

**FROM:** Arlynn J. Camire, AICP, Associate Planner

**SUBJECT:** Proposed New 21st Century Library and Community Learning Center and Heritage Plaza/Arboretum Project at 22693/22695 Mission Boulevard and 822/835 C Street, Requiring Approval of Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, Site Plan Review, and Variance for Setbacks; City of Hayward (Owner/Applicant)

## **RECOMMENDATION**

Staff recommends that the Planning Commission adopt the [Initial Study and Mitigated Negative Declaration \(MND\)](#), and the attached Mitigation Monitoring and Reporting Program (MMRP) (Attachment III), and the applications for Site Plan Review and a Variance for setbacks to allow the construction and operation of the 21<sup>st</sup> Century Library and Community Learning Center and Heritage Plaza/Arboretum project, subject to the Findings contained herein and the attached Conditions of Approval (Attachment II).

## **SUMMARY**

Staff supports approval of the Site Plan Review and Variance applications for the proposed 58,200 square-foot 21<sup>st</sup> Century Library and Community Center and restoration of Heritage Plaza/Arboretum Project, because the project has been vetted thoroughly via prior public meetings and City Council work sessions, and is proposed to be LEED Gold or LEED Platinum certified and be a Net Zero Energy building. Also, a library and plaza are allowed as primary uses in the Central City-Residential (new library site) and Central City-Commercial (plaza site) Subdistricts and are consistent with the General Plan designations of Central City-High Density Residential (new library site) and Public/Quasi-Public (plaza site).

The 21st Century Library project is a major downtown revitalization project designed to meet the community's needs for the next 100 years. The overall project includes:

- Construction of a state-of-the-art library and learning center facility;
- Photovoltaic (PV) solar panel array on the new library and Municipal parking structure capable of meeting all new library electricity needs and other sustainable measures to meet a minimum of LEED Gold standard and Zero Net Energy demands;
- Restoration and preservation of the historic Heritage Plaza/Arboretum with a rainwater catchment and storage system capable of saving up to 400,000 gallons of rainwater per year;
- Traffic calming and pedestrian-friendly streetscape improvements to C Street; and
- Accessibility and safety upgrades to the downtown municipal parking structure.

Additional information about the library project can be found at [www.haywardlibrary.org](http://www.haywardlibrary.org).

## BACKGROUND

The current Main Library building has reached the end of its serviceable lifespan, and the prospect of retrofitting or expanding the outdated structure is economically infeasible. Retrofitting and expanding the old library would present significant and costly challenges to bring the structure up to current building, disability access, and seismic safety standards, and still would not provide the amount of space needed to accommodate Hayward's current and future needs. Plus, such approach would result in closure of the Downtown Main Library for several months.

The need for a new library facility in Hayward was identified by City leaders as early as 1998. The construction of the 21<sup>st</sup> Century Library and Community Learning Center and a restored Heritage Plaza/Arboretum has long been identified by City Council and the Hayward community as a critically important capital need. Beginning in 2007 and continuing to present day, extensive data-driven community engagement work involving thousands of Hayward residents, community focus groups, the Library Commission and stakeholders involving multiple opinion surveys and dozens of public meetings have occurred, which helped form the design of the project. In 2007, preliminary design work began with the selection of project architectural firm Noll+Tam. With public input, the project has proceeded through several phases up to and including the completion of the design development phase.

A 2008 [Community Needs Analysis](#) is the foundation document used by the design team to guide the design process. The report concluded that the existing facility cannot accommodate the full spectrum of services needed by Hayward's diverse community. In addition, Hayward's current level of library space of 0.23 square feet per capita is extremely deficient, and recommended that overall library space in Hayward should be increased to at least 0.46 to 0.50 square feet per capita, and ideally to the Bay Area average of 0.75 square feet per capita, which would meet the standard identified in the Education and Life Long Learning Element in the General Plan.

The report found to meet current and projected demands, the main library, at minimum, needs to be replaced by a new 50,000 to 55,000 square foot, multi-level facility, designed to support Hayward residents' library service needs through 2030 and beyond. The facility needs to provide plentiful data, electrical and wireless distribution, flexible public spaces, multiple small group study and tutoring rooms, and space for parents and children as well as spaces for teens and adults, all zoned by activity and noise level.

Other guiding considerations include the City's support and participation in building a more environmentally sustainable "green" community as described in the City Council Priorities, the Climate Action Plan and the General Plan.

Additional background information, including project data, background documents, community engagement and history, can be found in a [November 18, 2014 City Council staff report](#).

## DISCUSSION AND STAFF ANALYSIS

*Project Description* - The new 58,200 square-foot library will be located on the corner of C Street and Mission Boulevard in downtown Hayward between the Post Office and the City parking structure, with frontage on C Street and across the street from the existing Library Plaza. The site is

currently occupied by a municipal parking lot and an unused portion of the Post Office property (see project plans, Attachment IV).

The new facility will not impact the Post Office building or operations in any way. In order to provide additional space for the accommodation of the minimum needed building footprint size, the municipal parking lot would be enlarged by acquiring an adjacent 50-foot wide by 175-foot long, unused parking strip from the Post Office.

The proposed fifty-three foot tall, three-story building is a modern design with an architectural feature of an open central light atrium that contains an interior staircase and has the exterior height of sixty-one feet. The façade would include terracotta tile, steel and glass. The entry signs will be fabricated stainless steel letters with building mounted side lighting. Public art will include an exterior window etched with literary references in a manner that produces the word “COMMUNITY” on the Mission Boulevard façade. The first floor is pedestrian scale and pedestrian friendly. The primary building entrance will be on C Street, including a library entrance plaza and a secondary entrance adjacent to the municipal parking structure. The building will contain one large and two small community meeting rooms (3,631 square feet combined total), a lobby and Friends-of-the-Library marketplace and office (5,410 square feet), a cafe (680 square feet), literacy and computer training rooms, homework/ study areas, children’s story time area and library staff office spaces, as well as dedicated children/family restrooms and maintenance/equipment support areas. Two building projections are proposed into the ten foot setback required along the C Street elevation. These projections are between the second floor and rooftop and extend four feet into the setback area and require a variance. A variance is also required for the two entry canopies that extend nine feet into the required ten-foot side yard setbacks , where only a two-foot encroachment is normally allowed.

To the side of the building, next to the post office, will be a children’s garden with a living green wall and sculptural furniture. A six foot high metal fence will be installed along the parking garage and post office boundary with pedestrian gates on Mission Boulevard, at the parking garage and on C Street. A vehicle gate would be provided across the post office easement.

Parking-Required off-street parking in the Central Parking District is one space per 315 square feet. A fifteen percent reduction is allowed, since the project site is within 500 feet of a bus stop and 1,000 feet of the BART station. Additional parking space reduction is provided via twenty-four bicycle and four motorcycle spaces, requiring a total of 149 parking spaces. The twenty-four bicycle parking spaces are located along Mission Boulevard and C Street. The adjacent public parking structure has 450 spaces. Currently during peak hours, approximately two thirds of the available spaces are filled, leaving 150 spaces open, even during peak hours.

On October 21, 2014, in response to the implementation of fees at the nearby BART parking garage, Council authorized the implementation of time limit enforcement in this municipal public parking structure and on downtown streets. Enforcement of the posted time limits will assure availability of parking spaces, including motorcycle spaces, meeting the minimum parking requirements for the project. To enhance convenience and safety for visitors to the library and downtown, the parking structure will be modified with lighting, library pedestrian access and disabled access with the installation of an elevator at the southeast corner of the parking structure. Lighting, landscaping and hardscape will create a safe and welcoming library entrance “promenade” in the transition space between the two structures.

Green Building Components – Consistent with the goals of the General Plan, the new library is designed to meet Leadership in Energy & Environmental Design (LEED) Gold Certification standards at a minimum, and if possible, to LEED Platinum standards, the highest level of energy-efficient certification. The project features multiple “green” design elements. The mechanical, electrical and plumbing fixtures will minimize electrical power and potable water use. An array of rooftop solar photovoltaic (PV) panels on the new library and top level of the adjacent parking structure will generate enough energy to offset 100% of the new library’s annual energy consumption, resulting in a Net Zero Energy rated structure, which will save millions in energy costs while significantly reducing the City’s carbon footprint. As a Net Zero Energy facility, the project is expected to achieve LEED Gold standards.

To achieve LEED Platinum, additional “points” for water use and conservation are required. To achieve this goal, the basement of the existing Main Library is proposed to be retained to house a large rainwater catchment storage system, potentially saving up to 400,000 gallons of water each year and offsetting water consumption needs during the dry summer months.

Traffic and Right-of-Way Improvements on Mission Boulevard and C Street - The width of one block of C Street between Mission Boulevard and Watkins Street will be reduced, but will preserve two vehicle travel lanes as well as parking on both sides of the street. A new mid-block decorative paving pedestrian crossing and other modifications such as landscaping, new lighting and new decorative paved sidewalks on Mission Boulevard and C Street also will be installed to promote safe pedestrian activity and better connect the library building with the plaza. As a result of narrowing C Street, an additional 1,200 square feet will be added to the library site’s buildable footprint. The increased footprint will allow for more two- and three-story interior spaces within the new library building, which will provide the opportunity to capture more natural light and convey a greater feeling of openness to the building’s interior.

Heritage Plaza/Arboretum - The 21st Century Library and Community Learning Center project presents the opportunity to restore the Library Plaza grounds to their historic roots as Hayward’s central plaza and arboretum with century-old and heritage trees. The Heritage Plaza/Arboretum will be a multi-purpose learning, event and recreation space designed to accommodate open-air public activities such as community festivals, farmers markets, civic observances, music and cultural events, interpretive nature exhibits, historic exhibits, a children’s garden, outdoor classrooms and other events and features appropriate to a “civic green” space. Restoring the open community space will significantly improve sightlines and visibility into and through the plaza and arboretum, greatly enhancing public safety and creating a more welcoming, family-friendly plaza environment. It will also facilitate the installation of the rainwater catchment and storage system, including an underground storage cistern capable of saving and reusing 400,000 gallons of rainwater per year.

Findings for the Variance –Pursuant to Section 10-1.3325, in order for a variance to be approved, the Planning Commission must make three findings to allow a four-foot building projection into the ten foot setback along C Street, and to allow two entry canopies that extend nine feet into the required ten-foot side yard setbacks, where only a two-foot encroachment is normally allowed. Staff’s responses to the findings are below.

**(1) There are special circumstances applicable to the property including size, shape, topography, location, or surroundings, or other physical constraints.**

The entry canopy projections of seven feet beyond the allowed two-foot side yard encroachment are not out of scale for the building. The main entry canopy on C Street is an essential architectural element of the library entrance plaza and across the street from the AC Transit bus stop. The Hayward Design Guidelines state “Projections in all downtown buildings should be oriented for ease of pedestrian and transit access to allow more intensive use overtime; pedestrian amenity and continuity of development are essential.”

The Design Guidelines also state “Entries function as a transition from the street or sidewalk to the building and are indicated by distinctive features. A change in grade or paving materials is frequently used along with a change of architectural scale. Overhead elements such as canopies can also be used to create “gateways.” The design of the two canopies do create gateways into the 21<sup>st</sup> Century Library and Community Learning Center and out to the pedestrian friendly street and beyond to the Heritage Plaza/Arboretum.

The second and third floors project into the required ten-foot side yard setback on C Street. The Hayward Design Guidelines state “Taller buildings are appropriate for corner properties or significant public buildings.” In addition the Guidelines say, “Give special attention to the architectural interest in pedestrian areas by using an articulated façade, sheltering pedestrian corridors and human scale detailing.” The projections into the setback create interesting and distinctive features. Furthermore, side yards do not act as physical impediments to pedestrians, but are inviting architectural features that emphasize the ground floor that is designed at pedestrian scale. The encroachments into the setbacks still fulfill the purpose of providing the air, light and sense of openness that the 10-foot side setback would normally provide; therefore, no detrimental impacts would result.

**(2) Strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity under the same zoning classification.**

Historically, buildings in the Downtown were built to the property line to encourage pedestrian traffic. Several of the buildings along C Street are built to the property line or have a less than ten-foot setback. An example is the residential development at C and Watkins Streets that has a side yard setback of less than 10 feet. In addition, downtown commercial buildings have historically been built to the property line. As an example, the buildings across Mission Boulevard on C Street are built to the property line. Therefore, the proposed encroachment is in line with surrounding existing development while still providing pedestrian orientation for the main library entrance.

**(3) The variance does not constitute a grant of a special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated.**

The amenities that are provided offset the encroachments into the side yard by the entry canopies and the second and third floor architectural projections. The Hayward Design Guidelines encourage prominent entry features and interesting architectural design.

*Findings for the Site Plan Review* – Pursuant to Section 10-1.3025, in order for a site plan review to be approved, the Planning Commission must make findings. Staff’s responses to the findings are indicated below.

**(1) The development is compatible with on-site and surrounding structures and uses and is an attractive addition to the City.**

The new main library will be compatible with adjacent public buildings and municipal structures such as the Post Office, Old City Hall and the municipal parking garage and will be a community focal point for this area of downtown. It will be an attractive addition to the City's Downtown in that it is designed with state of the art architecture incorporating, at a minimum, LEED Gold and Zero Net Energy standards, including the installation of solar panels. The project also includes traffic-calming measures and pedestrian- friendly streetscape improvements to C Street and decorative paving transitions to the restored civic plaza known as the Library Plaza and Arboretum.

**(2) The development takes into consideration physical and environmental constraints.**

The proposed new main library and plaza complies with the intent of City development policies and regulation in that the Zoning Ordinance allows for public agency facilities, such as a library and park, as permitted primary uses. In addition , the project will comply with the intent of City development policies and regulations through compatibility with the context and conformity to contextual constraints of the site, surrounding uses and existing traffic patterns. Furthermore, the project will provide additional elevator access to the adjacent municipal parking structure and library.

The new library was designed to be at a human scale at the ground floor with distinct and welcoming entries. Over forty varieties of rare and mature trees will be preserved in the Heritage Plaza/Arboretum. The 21st Century Library project presents the unparalleled opportunity to restore these grounds to their historic roots as Hayward's central plaza and arboretum. A Mitigated Negative Declaration and Initial Study were prepared that examined the temporary impacts during construction and the benefits of design that includes incorporating a minimum of LEED Gold standard and Zero Net Energy demands with the installation of solar panels. Lastly, pedestrian friendly and traffic calming street improvements will be made. Required off-street parking is provided in the adjacent Municipal parking structure, considered one contiguous property by ownership.

**(3) The development complies with the intent of City development policies and regulations;**

The Core Area Plan, a component of the Downtown Hayward Design Plan, recognizes that the library may relocate and become the Focal Point of the Core Area. The proposed location in that Plan is the west side of B Street, which was developed with the current City Hall that has become the Focal Point in Downtown, requiring finding a new location for the Library. In conformance to the Core Plan, Library Square will function as a park and will be "equipped with amenities necessary to make it suited for strolling, resting, and play." A play area will be provided for children as required by the Core Plan.

The Education and Life Long Learning Element of the General Plan includes the following policies, with which the project is consistent:

- EDL-1.2 Library Programs: The City shall maintain, enhance, and promote early childhood development programs offered through local libraries, such as story time, arts and crafts, and learn-and-play groups.
- EDL-2.5 Library Tutoring Programs: The City shall maintain and further develop the library after-school tutoring programs by increasing the number of community partnerships, expanding the volunteer support network, and striving to expand library tutoring programs so that they are offered at each public school.
- EDL-5.3 Learning Outside of the Classroom: The City shall encourage learning beyond the classrooms by promoting lectures, learning circles, self-directed discussion groups, and other educational opportunities at local libraries, historical societies, museums, community centers, senior centers, regional parks, art studios, and science and nature centers.
- EDL-5.4 Library Programs: The City shall maintain and develop library programs and services that contribute to the personal education of adults (of all ages) pursuing lifelong learning opportunities.
- Goal EDL-6: Enhance and expand Hayward’s library facilities to meet the evolving educational and life-long learning needs of the community. With the following policies that will further reach this goal with the construction and operation of the new 21<sup>st</sup> Century Library and Community Learning Center and the Heritage Plaza/Arboretum:
  - EDL-6.1 Standard for Library Space: The City shall strive to expand library space within the community to meet and maintain a minimum standard of 0.75 square feet of space per 1,000 residents (excluding school and college libraries).
  - EDL-6.2 Main Library: The City shall continue to seek funding for the construction of a new and expanded Main Library in Downtown Hayward.
  - EDL-6.4 Library Facility Maintenance and Renovations: The City shall consider library facility renovations and expansions based on changing demographics and customer needs.
  - EDL-6.6 Design Principles: The City shall consider the following principles when designing new library facilities and library renovation projects:
    - Libraries should be flexible and provide spaces that can support a variety of uses, such as personal study, group interaction, creative and innovative collaboration, art exhibits, computer research, presentations and lectures, and community events.
    - Facility systems should support a technology-rich environment and wireless networking.
    - Interior spaces should be zoned by acoustical and activity levels to allow simultaneous use by all types of people.
    - The exterior and the interior of the building should be easy to navigate and designed with a sense of openness.

- Libraries should incorporate sustainable design practices to reduce energy and water consumption and related utility expenses.
  - Libraries should incorporate sustainable design practices to reduce energy and water consumption and related utility expenses.
  - Libraries should have high-quality interior spaces and furniture that attract people and encourage them to stay for long periods of time (similar to coffee shops or book stores).
- EDL-6.9 Library Park: The City shall maintain Library Park (the home of the current Downtown Library) as a public space if and when the library is relocated to a new facility. Future improvements to Library Park should strive to preserve mature trees, promote the history and heritage of Hayward, and create attractive spaces for outdoor festivals, musical performances, cultural events, and farmer's markets.

The project is also consistent with the following Health and Quality of Life Element General Plan Policies that promote the design of the Heritage Plaza/Arboretum:

- HQL-5.2 Safe Public Spaces: The City shall develop public spaces that provide safe, convenient, and pleasant gathering places for neighbors to meet and congregate.
- HQL-8.3 Trees of Significance: The City shall require the retention of trees of significance (such as heritage trees) by promoting stewardship and ensuring that project design provides for the retention of these trees wherever possible. Where tree removal cannot be avoided, the City shall require tree replacement or suitable mitigation.
- HQL-12.1 Recreation Activities for All People: The City shall encourage the provision of recreational activities for all people, consistent with the changing demographic composition of Hayward.

**(4) The development will be operated in a manner determined to be acceptable and compatible with surrounding development.**

The 21<sup>st</sup> Century Library and Community Learning Center and restored Heritage Plaza/Arboretum will be operated in a manner acceptable and compatible with surrounding development in that the project uses will be compatible with the purpose of the CC-R and CC-C Subdistricts. Specifically, the new main library is a complementary use to the downtown residents and businesses in that it will provide a state of the art library and community learning center while establishing a prominent civic identity, which will draw visitors to Downtown. The restored plaza will be an ideal location for community festivals, music performances, cultural events, farmer's markets, and other civic events which will enhance the economic vitality of the downtown area while benefiting the entire Hayward community. The Heritage Plaza/Arboretum will provide an additional multi-purpose space to host events. Restoring the open community space and installing lighting will significantly improve sightlines and visibility into and through the plaza and arboretum, greatly enhancing public safety and creating a more welcoming, family-friendly plaza environment.

The project will meet current landscape, development and Hayward Design Guideline standards. The project design responds to the downtown civic center environments by optimizing available pedestrian, transit and vehicular access. A Mitigated Negative Declaration has been prepared and concluded that the impacts would be less than significant with the implementation of the required mitigation measures.

## **ENVIRONMENTAL REVIEW**

The City's environmental consultant for the project, *Placemakers*, prepared a draft [Initial Study and Mitigated Negative Declaration](#) and the attached Mitigation Monitoring and Report Program for the project. Staff reviewed and revised such documents, which indicate that there will be no significant environmental impacts resulting from the project, provided mitigation measures are incorporated into the project.

The draft environmental document was made available for public review from March 24 through April 23, 2015. One comment was received from the United States Postal Service Real Estate Specialist (see Attachment V) requesting clarification of the following mitigation measure:

NOISE-2 The Post Office's exterior façade and interior wall closest to the new library site shall be inspected and the condition noted to serve as a baseline for determining the nature and extent of needed repairs should Project construction vibration cause any damage. Any damage attributable to Project construction shall be repaired at City expense.

He requested that the mitigation measure indicate that any repairs to the Post Office building follow the Secretary of the Interior's Standards for the Treatment of Historic Properties and repairs must be approved by the Postal Service Federal Preservation Officer before repairs are performed. The mitigation measure has been modified and includes these requirements in the recommended conditions of approval.

## **FISCAL AND ECONOMIC IMPACTS**

As stated previously, a new state-of-the-art library and learning center, along with an active plaza, will help bring visitors and business customers to Downtown, assisting existing businesses.

Initial funding for land acquisition and the preliminary design work was identified in 2006 using developer contributions related to the South of Route 92 project. In 2011, the donation of \$10 million from Calpine helped fund the development of the project and favorably positioned the City to pursue alternate funding for project costs. In 2013, the Council Budget and Finance Committee reviewed potential financing mechanisms for the City's critical facility needs, including a new main library. Then Council directed staff to define next steps regarding a revenue measure, which ultimately resulted in the placement of Measure C on the June 2014 ballot. On Election Day, June 4, 2014, Hayward voters approved Measure C by a 2-to-1 margin, ensuring the funding for a mix of critical City services and facilities, including the new library and plaza project. For more information about Measure C, a fact sheet is online here: [haywardlibrary.org/tagged/measure-c](http://haywardlibrary.org/tagged/measure-c).

## **PUBLIC CONTACT**

An overview of the extensive public outreach undertaken for this project can be found in the “Background” section of the [November 18, 2014 City Council report](#) . In summary, scores of community focus groups, multiple opinion surveys, and dozens of public meetings have been undertaken with participation and input of Hayward community members, experts, and stakeholders.

Notice of availability of the Draft Mitigated Negative Declaration was posted on the City’s website, at the Alameda County Clerk’s Office, and at the State Clearinghouse on March 24. Also, Notice of availability of the Draft Mitigated Negative Declaration and of this public hearing was sent to all property owners and residents within a 300-foot radius of the project and published in *The Daily Review* on April 9, 2015.

At the time of the writing of this report, staff received one public comment from a local commercial property owner (Attachment V). Mr. Shah, the local property owner, expressed his support of the project, but expressed concerns regarding the Alcoholic Beverage Ordinance distance requirement between restaurants serving alcoholic beverages and brewpubs and the new library. Staff explained to him that since his property is on B Street with in the Downtown Entertainment District, the distance requirement does not apply. Any comments that are received before the Planning Commission meeting will be forwarded to the Commission for consideration.

## **NEXT STEPS**

On May 26, staff will bring to City Council the Planning Commission decision and the project plans and specifications for review and authorization, in order to put the project out to construction bid.

Prepared by: Arlyne J. Camire, AICP, Associate Planner

Recommended by:



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Sara Buizer, AICP  
Planning Manager

Approved by:



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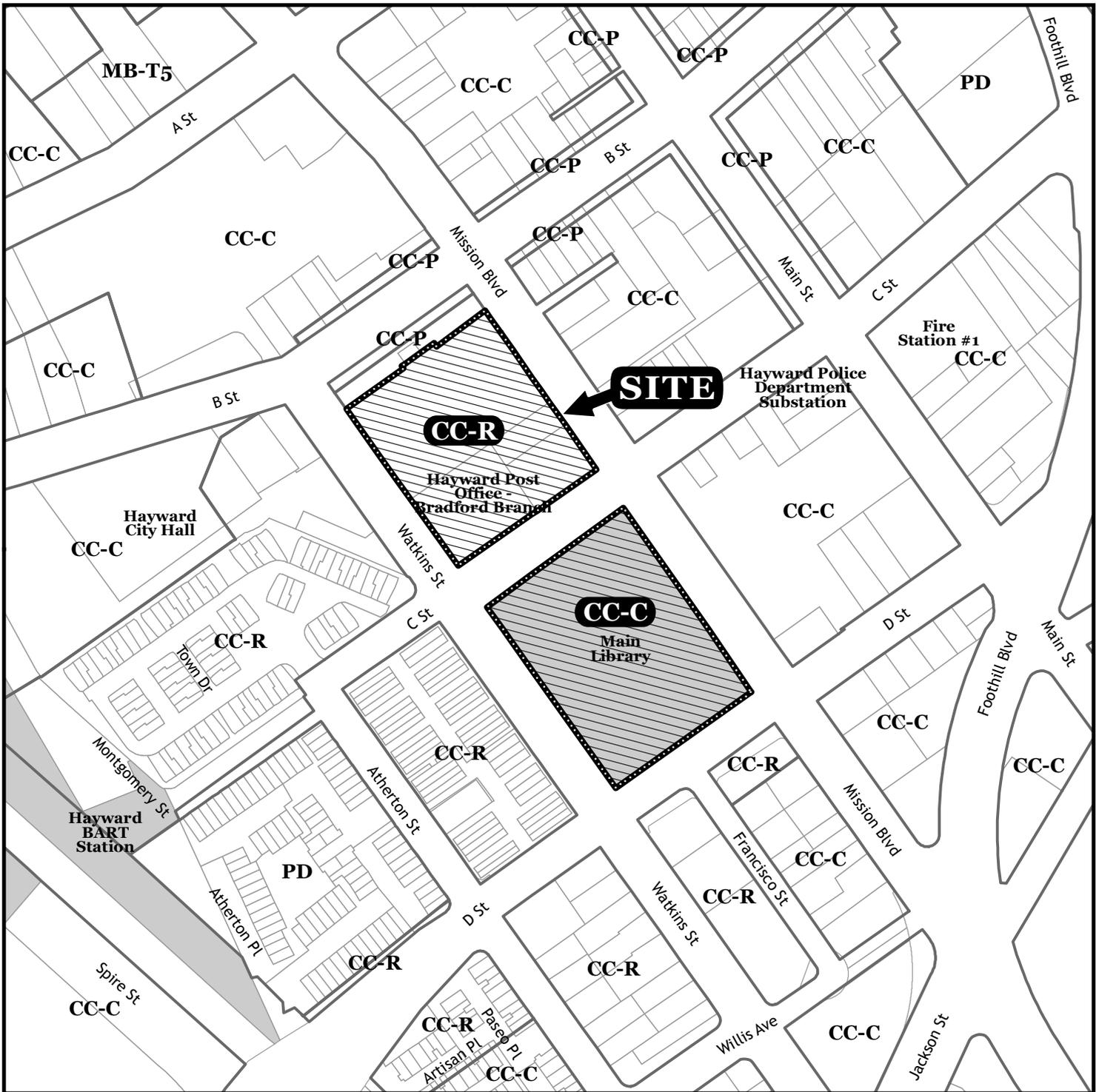
David Rizk, AICP  
Development Services Director

Attachments:

- Attachment I: Area and Zoning Map
- Attachment II: Recommended Conditions of Approval
- Attachment III: Mitigation Monitoring and Reporting Program
- Attachment IV: Plans
- Attachment V: Public Comments



# Area & Zoning Map



**201501354**

Address:  
**Mission Blvd (22695, 22639, 22655) &  
 C St (822 & 835) (835 C St = CC-C)**

Applicant:  
**Kevin Briggs/City of Hayward**

Owner:  
**City of Hayward**

**Zoning Classifications**

**CENTRAL CITY**

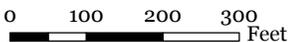
- CC-C Central City - Commercial
- CC-P Central City - Plaza
- CC-R Central City - Residential

**MISSION BLVD FORM-BASED CODE**

- MB-CS Civic Space Zone
- MB-T4-1-COMM 2 Urban General Zone, 17.5 to 35 units/net acre, Commercial Overlay 2
- MB-T4-1-HEIGHT Urban General Zone, 17.5 to 35 units/net acre, Height Overlay
- MB-T5 Urban Center Zone, 35 to 55 units/net acres

**OTHER**

- PD Planned Development



**CITY OF HAYWARD  
PLANNING DIVISION  
SITE PLAN REVIEW AND VARIANCE**

**21<sup>st</sup> Century Library & Community Learning Center Project  
City of Hayward (Owner/Applicant)**

**CONDITIONS OF APPROVAL**

General

1. Site Plan Review and Variance No. 201501345 allowing the construction of the 21<sup>st</sup> Century Library & Community Learning Center Project and related municipal parking structure and C Street improvements is approved subject to the plans labeled “Exhibit A.” The project shall operate according to these conditions of approval. This approval is void three years after the effective date of approval unless a building permit application has been submitted and accepted for processing by the Building Official. Any modification to this permit shall require review and approval by the Planning Director. Unless a new permit is issued within 180 days of permit expiration, revocation or abandonment, all improvements installed, including their foundation shall be removed from the property and the site restored to its natural pre-construction state. Violation of these conditions or requirements may result in the City of Hayward instituting a revocation hearing before the Planning Commission.
2. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
3. Any proposal for alterations to the proposed site plan and/or design, which does not require a variance to any zoning code, must be approved by the Planning Director prior to implementation. Any proposal which does require an exception must be approved by the Planning Commission prior to implementation.
4. Prior to operating the café, an Alameda County Department of Environmental Health clearance is required. In addition, a City of Hayward Business License is required.
5. Prior to issuance of building permit, detailed landscape and irrigation plans shall be reviewed and approved by the City Landscape Architect. The plans shall be prepared by a licensed landscape architect on an accurately surveyed base plan and shall comply with the City’s Bay-Friendly Water Efficient Landscape Ordinance, Hayward Environmentally Friendly Landscape Guidelines and Checklist for the landscape professional, and Municipal Codes. Dripline of the existing trees to be saved shall be shown on the plan.

6. Trees shall be preserved in accordance with the Tree Preservation Ordinance and project arborist report. Prior to the commencement of clearing and grading operations, all trees to be preserved or removed shall be indicated on the grading, site and landscape plans, and trees to remain in place shall be noted and provided with tree protection measures in compliance with City codes.
7. Landscaping shall be maintained in a healthy, weed-free condition at all times and shall be designed with efficient irrigation practices to reduce runoff, promote surface filtration, and minimize the use of fertilizers and pesticides, which can contribute to runoff pollution. The owner's representative shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over 30% dieback) shall be replaced within ten days of the inspection. Three inches deep mulch should be maintained in all planting areas. Mulch should be organic recycled chipped wood in the shades of Dark Brown Color. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected by, and size determined by the City Landscape Architect, within the timeframe established by the City and pursuant to the Municipal Code. Irrigation system shall be tested periodically to maintain uniform distribution of irrigation water; irrigation controller shall be programmed seasonally; irrigation system should be shut-off during winter season; and the whole irrigation system should be flushed and cleaned when the system gets turn on in the spring.

#### Public Works, Solid Waste

8. City of Hayward regulations require that applicants for all construction, demolition, and/or renovation projects in excess of \$75,000 recycle all asphalt and concrete and at least half of all other materials generated from the project. With the building permit application, applicants must complete the City's Construction & Demolition Debris Recycling Statement and obtain signature approval from the City's Solid Waste Manager.
9. The applicant shall submit a completed Debris Recycling Summary Report, along with all weigh tags, at the conclusion of the project. Weigh tags must indicate actual quantities recycled and disposed for each facility to which materials were delivered for processing and/or disposal pursuant to Hayward Municipal Code, Chapter 5, Article 10.
10. The applicant shall comply with the City's Franchise Agreement with WMAC, therefore, the construction and demolition debris shall be removed from the project site by an authorized hauler and brought to an authorized processing facility. For more information, please contact the Public Works Department at (520) 583-4700.
11. Contactors are required to separate the materials as "clean" loads (e.g., wood, or metals), and hauls the loads to a facility that accepts the materials for processing. For

a booklet listing these facilities, please contact the Public Works Department at (510) 583-4700.

12. Contractors may hire an authorized hauler or deliver the collected materials to a recycling facility other than WMAC only if the collected materials. For more details, please contact the Public Works Department at (510) 583-4700.
13. The applicant shall comply with the requirement for Source Separated Recyclable Materials which means Recyclable Materials, segregated by the generator, at the site of generation and taken to be recycled at a recycling facility that holds all applicable permits, provided that: (1) loads which consist of mixed paper contain no more than 10 percent by weight of non-recyclables; and (2) loads which consist of commingled recyclable materials other than mixed paper contain no more than five percent by weight of non-recyclable material.
14. If any load(s) of construction and demolition debris does not comply with City of Hayward provisions, then all such debris must be removed by WMAC. For questions regarding these requirements, contact: Vera Dahle-Lacaze, Solid Waste Manager, at (510) 583-4725 or by e-mail at [vera.dahle-lacaze@hayward-ca.gov](mailto:vera.dahle-lacaze@hayward-ca.gov).

#### Mitigation Measures

15. *Implement Enhanced Exhaust Emissions Reduction Measures for Project Construction Equipment.* The construction contractor shall implement the following measures to further reduce construction-related exhaust emissions:
  - a. All off-road equipment greater than 25 horsepower (hp) and operating for more than 20 total hours over the entire duration of construction activities shall meet the following requirements:
    - i. Engines that meet or exceed USEPA/CARB Tier 3 off-road emission standards; or
    - ii. Engines that are retrofitted with a CARB Level 2 Verified Diesel Emissions Control Strategy (VDECS) device.
16. As required under Article 15 Tree Preservation of the Hayward Municipal Code, the City shall replace all protected trees scheduled for removal. The landscape plan prepared for the project shall account for the replacement trees as follows:
  - a. Replacement trees shall be of like-size, like-kind or an equal value tree or trees as determined by the City Landscape Architect. However, in coordination with the City Landscape Architect, flexibility shall be allowed to install replacement trees that are not like-kind but are more suitable for the replacement location and overall project landscape plan.
  - b. If the required number of replacement trees cannot be reasonably accommodated on site, in coordination with the City Landscape Architect, the surplus number of required replacement trees shall be installed on other City capital improvement program projects.

- c. Trees to remain on site during construction activities shall be protected with a substantial construction fence that is placed around the protected zone of each tree. Such protection shall be in place prior to any construction equipment or materials being on site and shall be done under the consulting arborist's supervision. Fencing shall remain in place until construction equipment, materials and debris have been removed from the site and approval granted by the City Landscape Architect.
  - d. Trees shall receive routine maintenance as directed by the consulting arborist during the entire construction process.
17. The City shall undertake a staged program of subsurface testing based on the construction drawings prepared for the Project. The purpose of the testing program is to locate and evaluate historical period cultural resources to determine their significance based on applicable California Register of Historical Resources criteria. The staged program shall include the following:
  - a. At the new library construction site, monitoring and testing shall be conducted during and immediately following the removal of paving, and prior to grading.
  - b. At the existing library construction site, testing shall occur on unpaved areas adjacent to the library building before the start of demolition and in unpaved areas of the library grounds prior to the removal of paving and ground disturbance activities.
  - c. Recommendations for mitigation of impacts to eligible resources found within the Project site shall be developed as part of the testing program report. Mitigation may include, but not be limited to, additional monitoring activities in archaeologically sensitive areas and recording and/or removal for analysis of significant archaeological remains and information.
18. The City shall implement the design recommendations included in the *Geotechnical Investigation Library & Community Learning Center City of Hayward, Hayward, California* prepared by Langan Treadwell Rollo.
19. The City shall retain a qualified environmental consultant to conduct a subsurface investigation at the following locations:
  - a. Collect shallow soil gas samples within the proposed new library building footprint to evaluate potential indoor air vapor intrusion concerns from the 1) historical gas station previously located at the southeast portion of the new library site; 2) post office grouted-in-place underground storage tank located off-site and to the west of the new library site; and 3) off-site upgradient sources.
  - b. Collect soil, groundwater and soil gas samples within the 7,500 square feet of the post office site to be acquired by the City.
  - c. Collect groundwater samples on the eastern portion of the existing library site.
  - d. Collect groundwater samples on the City parking lot site.

20. The City and their contractors shall implement Best Management Practices (BMPs) to control erosion and sedimentation and prevent pollutants from entering the stormwater runoff during construction. BMPs may include, but are not limited to:
- a. Conduct grading during dry months (April – September);
  - b. Cover disturbed areas with soil stabilizers, mulch, fiber rolls, or temporary vegetation;
  - c. Locate construction-related equipment or processes that contain or generate pollutants in secure areas, away from storm drains and gutters;
  - d. Prevent or contain potential leakage or spilling from sanitary facilities by surrounding them with a berm, and do not allow a direct connection to the storm drainage system;
  - e. Park, fuel, and clean all vehicles and equipment in one designated, contained area;
  - f. Designate concrete washout areas;
  - g. Provide inlet protection, such as filters; and
  - h. Monitor site during rainy season to replace or adjust BMPs as needed.

21. To assure that average interior noise levels within the new Library reading and community rooms achieve the WHO-recommended indoor noise exposure standard of 35 dBA  $L_{eq}$  during its operating hours, the new Project structure shall have sound-rated walls, windows and exterior doors with a composite Sound Transmission Class (STC) rating of at least 35. Additionally, the Project building shall be provided with mechanical ventilation systems to allow all windows facing Mission Boulevard and C Street to remain closed and still provide a comfortable interior environment for Library users.

The adequacy of the STC specifications in this mitigation measure to achieve WHO noise standards shall be verified by a Project building-specific acoustical analysis by its engineers/architects during the final Project design phase. The results of the analysis, including the description of the necessary noise control features to attain the standard, will be submitted to the City along with the final building plans and approved prior to issuance of a building permit.

22. The Post Office's exterior façade and interior wall closest to the new library site shall be inspected and the condition noted to serve as a baseline for determining the nature and extent of needed repairs should Project construction vibration cause any damage. Any damage attributable to Project construction shall be repaired at City expense. . Any repairs to the Post Office must comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties (36 CFR Part 68). In addition, proposed repairs must be approved by the Postal Service Federal Preservation Officer before the repairs are performed.
23. The following Best Management Practices shall be incorporated into the construction documents to be implemented by the Project contractor:
- a. Provide enclosures and noise mufflers for stationary equipment, shrouding or shielding for impact tools, and barriers around particularly noisy activity areas on the site.

- b. Use quietest type of construction equipment whenever possible, particularly air compressors.
  - c. Provide sound-control devices on equipment no less effective than those provided by the manufacturer.
  - d. Locate stationary equipment, material stockpiles, and vehicle staging areas as far as practicable from sensitive receptors.
  - e. Prohibit unnecessary idling of internal combustion engines. Require applicable construction-related vehicles and equipment to use designated truck routes when entering/leaving the site.
  - f. Designate a noise (and vibration) disturbance coordinator at the Lead Agency who shall be responsible for responding to complaints about noise (and vibration) during construction. The telephone number of the noise disturbance coordinator shall be conspicuously posted at the construction site. Copies of the project purpose, description and construction schedule shall also be distributed to the surrounding residences.
  - g. Limit project construction activity to the hours of 7:00 a.m. to 7:00 p.m. Monday through Saturday, and 10:00 a.m. to 6:00 p.m. on Sunday and holidays per *General Plan Policy HAZ-8.21*.
24. A temporary sound wall shall be provided along the southwest boundary of the new Library site adjacent to the Hayward Post Office to protect workers from high sound levels expected during the early stages of Project excavation, foundation preparation and steel frame erection. The sound wall shall cover the entire length and height of the section of the Post Office wall containing the facing windows and shall be constructed of material with a mass of at least four pounds per square foot (similar to that of double-thickness, 3/4-inch plywood). The sound wall may consist of modular sections, but the sections shall be joined with no gaps, and there shall be no gap between the wall and the ground.

**MITIGATION MONITORING AND REPORTING PROGRAM  
HAYWARD 21<sup>ST</sup> CENTURY LIBRARY &  
COMMUNITY LEARNING CENTER PROJECT**

Prepared for  
City of Hayward

Prepared by  
**PLACEMAKERS**  
1500 Park Avenue – Loft #310  
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April 1, 2015

**MITIGATION MONITORING AND REPORTING PROGRAM  
HAYWARD 21<sup>ST</sup> CENTURY LIBRARY &  
COMMUNITY LEARNING CENTER PROJECT**

## 1.0 INTRODUCTION

Public Resources Code section 21081.6(a) requires all public agencies to adopt monitoring or reporting programs when they approve projects subject to Environmental Impact Reports (EIRs) and Mitigated Negative Declarations (MNDs) that identify significant impacts. The reporting and monitoring program must be adopted when a public agency makes its findings for EIRs or MNDs so that the program can be made a condition of project approval in order to mitigate significant effects on the environment. The program must be designed to ensure compliance with implementation of all mitigation measures identified to mitigate or avoid significant environmental effects.

## 2.0 MITIGATION MONITORING PROGRAM

This Mitigation Monitoring and Reporting Program (MMRP) is designed to serve as a tool for the evaluation of Project compliance with mitigation measures identified in the *Mitigated Negative Declaration/Initial Study for the Hayward 21st Century Library & Community Learning Center Project* (MND/IS). The MMRP will be used by the City of Hayward (City) to verify inclusion of required project design features and implementation of mitigation measures. The MMRP serves as a checklist so the City, other public agencies and the community can easily determine compliance regarding implementation of all mitigation measures.

The City should implement the MMRP as follows:

- The City's Engineering & Transportation Division is responsible for coordination of the MMRP.
- Each responsible individual or agency will be responsible for determining whether the mitigation measures contained within the MMRP and identified as their responsibility have been implemented in compliance with the MND/IS. Once all mitigation measures have been implemented, the responsible individual or agency should submit a completed checklist to the City of Hayward Director of Public Works.

**HAYWARD 21<sup>ST</sup> CENTURY LIBRARY & COMMUNITY LEARNING CENTER PROJECT  
MITIGATION MONITORING AND REPORTING PROGRAM CHECKLIST**

MITIGATION MEASURE	One-time or On-going	Responsible for Implementation	Responsible for Verification	Form of Verification	Comments/ Special instructions	Initials	Date
<b>Prior to Final Design/Preparation of Construction Drawings</b>							
GEO-1: The City shall implement the design recommendations included in the <i>Geotechnical Investigation Library &amp; Community Learning Center City of Hayward, Hayward, California</i> prepared by Langan Treadwell Rollo.	One-time	Project Civil Engineer Project Architect	City of Hayward	Final site and building construction drawings.			
NOISE-1: To assure that average interior noise levels within the new library reading and community rooms achieve the WHO-recommended indoor noise exposure standard of 35 dBA Leq (footnote size font) during its operating hours, the new Project structure shall have sound-rated walls, windows and exterior doors with a composite Sound Transmission Class (STC) rating of at least 35. Additionally, the Project building shall be provided with mechanical ventilation systems to allow all windows facing Mission Boulevard and C Street to remain closed and still provide a comfortable interior environment for Library users.  The adequacy of the STC specifications in this mitigation measure to achieve WHO noise standards shall be verified by a Project building-specific acoustical analysis by its engineers/architects during the final Project design phase. The results of the analysis, including the description of the necessary noise control features to attain the standard, will be submitted to the City along with the final building plans and approved prior to issuance of a building permit.	One-time	Project Architect	City of Hayward	Final building construction drawings.			

**HAYWARD 21<sup>ST</sup> CENTURY LIBRARY & COMMUNITY LEARNING CENTER PROJECT  
MITIGATION MONITORING AND REPORTING PROGRAM CHECKLIST**

MITIGATION MEASURE	One-time or On-going	Responsible for Implementation	Responsible for Verification	Form of Verification	Comments/ Special instructions	Initials	Date
<b>Prior to Demolition</b>							
NOISE-2: The Post Office's exterior façade and interior wall closest to the new library site shall be inspected and the condition noted to serve as a baseline for determining the nature and extent of needed repairs should Project construction vibration cause any damage. Any damage attributable to Project construction shall be repaired at City expense. Any repairs to the Post Office must comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties (36 CFR Part 68). In addition, proposed repairs must be approved by the Postal Service Federal Preservation Officer before the repairs are performed.	One-time	Project Structural Engineer Project Architect	City of Hayward US Postal Service	Pre-Construction and Post-Construction Inspection Reports.			
<b>During Demolition and Construction</b>							
AIR-1: <i>Implement Enhanced Exhaust Emissions Reduction Measures for Project Construction Equipment.</i> The construction contractor shall implement the following measures to further reduce construction-related exhaust emissions: <ul style="list-style-type: none"> <li>All off-road equipment greater than 25 horsepower (hp) and operating for more than 20 total hours over the entire duration of construction activities shall meet the following requirements: <ul style="list-style-type: none"> <li>Engines that meet or exceed USEPA/CARB Tier 3 off-road emission standards; or</li> <li>Engines that are retrofitted with a CARB Level 2 Verified Diesel Emissions Control Strategy (VDECS) device.</li> </ul> </li> </ul>	On-going during Project demolition and construction activities.	Project General Contractor	City's Construction Manager	Weekly site visits to confirm specified equipment is in use.  Posted signs that identify the City's Construction Manager as the contact (including name and telephone number) to report problems with dust and soil material on adjacent streets.	Specified Enhanced Exhaust Emissions Reduction Measures shall be included in the construction bid documents.		
BIO-1: As required under Article 15 Tree Preservation of the Hayward Municipal Code, the	On-going during Project	Project Landscape Architect	City of Hayward Landscape	Weekly site visits to confirm construction			

**HAYWARD 21<sup>ST</sup> CENTURY LIBRARY & COMMUNITY LEARNING CENTER PROJECT  
MITIGATION MONITORING AND REPORTING PROGRAM CHECKLIST**

MITIGATION MEASURE	One-time or On-going	Responsible for Implementation	Responsible for Verification	Form of Verification	Comments/ Special instructions	Initials	Date
<p>City shall replace all protected trees scheduled for removal. The landscape plan prepared for the project shall account for the replacement trees as follows:</p> <ul style="list-style-type: none"> <li>Replacement trees shall be of like-size, like-kind or an equal value tree or trees as determined by the City Landscape Architect. However, in coordination with the City Landscape Architect, flexibility shall be allowed to install replacement trees that are not like-kind but are more suitable for the replacement location and overall project landscape plan.</li> </ul>	<p>demolition and construction activities.</p>	<p>Project General Contractor  Project Construction Manager</p>	<p>Architect  City's Consulting Arborist</p>	<p>fencing is in place and trees adequately maintained.</p>			
<b>During Demolition and Construction (continued)</b>							
<ul style="list-style-type: none"> <li>If the required number of replacement trees cannot be reasonably accommodated on site, in coordination with the City Landscape Architect, the surplus number of required replacement trees shall be installed on other City capital improvement program projects.</li> <li>Trees to remain on site during construction activities shall be protected with a substantial construction fence that is placed around the protected zone of each tree. Such protection shall be in place prior to any construction equipment or materials being on site and shall be done under the consulting arborist's supervision. Fencing shall remain in place until construction equipment, materials and debris have been removed from the site and approval granted by the City Landscape Architect.</li> <li>Trees shall receive routine maintenance as directed by the consulting arborist during the entire construction process.</li> </ul>							

**HAYWARD 21<sup>ST</sup> CENTURY LIBRARY & COMMUNITY LEARNING CENTER PROJECT  
MITIGATION MONITORING AND REPORTING PROGRAM CHECKLIST**

MITIGATION MEASURE	One-time or On-going	Responsible for Implementation	Responsible for Verification	Form of Verification	Comments/ Special instructions	Initials	Date
<p>CUL-1: The City shall undertake a staged program of subsurface testing based on the construction drawings prepared for the Project. The purpose of the testing program is to locate and evaluate historical period cultural resources to determine their significance based on applicable California Register of Historical Resources criteria. The staged program shall include the following:</p> <ul style="list-style-type: none"> <li>At the new library construction site, monitoring and testing shall be conducted during and immediately following the removal of paving, and prior to grading.</li> </ul>	On-going during demolition activities and prior to grading activities.	Holman & Associates	City of Hayward	Testing Program Report			
<b>During Demolition and Construction (continued)</b>							
<ul style="list-style-type: none"> <li>At the existing library construction site, testing shall occur on unpaved areas adjacent to the library building before the start of demolition and in unpaved areas of the library grounds prior to the removal of paving and ground disturbance activities.</li> <li>Recommendations for mitigation of impacts to eligible resources found within the Project site shall be developed as part of the testing program report. Mitigation may include, but not be limited to, additional monitoring activities in archaeologically sensitive areas and recording and/or removal for analysis of significant archaeological remains and information.</li> </ul>							
<p>HAZ-MAT-1: The City shall retain a qualified environmental consultant to conduct a subsurface investigation at the following locations:</p> <ul style="list-style-type: none"> <li>Collect shallow soil gas samples within the proposed new library building footprint to evaluate potential indoor air vapor intrusion</li> </ul>	On- going during Project demolition activities.	Terraphase Engineering, Inc.	City of Hayward, Fire Department, Hazardous Materials Office	Phase II Investigation Report			

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MITIGATION MONITORING AND REPORTING PROGRAM CHECKLIST**

MITIGATION MEASURE	One-time or On-going	Responsible for Implementation	Responsible for Verification	Form of Verification	Comments/ Special instructions	Initials	Date
<p>concerns from the 1) historical gas station previously located at the southeast portion of the new library site; 2) post office grouted-in-place underground storage tank located off-site and to the west of the new library site; and 3) off-site upgradient sources.</p> <ul style="list-style-type: none"> <li>Collect soil, groundwater and soil gas samples within the 7,500 square feet of the post office site to be acquired by the City.</li> <li>Collect groundwater samples on the eastern portion of the existing library site.</li> </ul>							
<b>During Demolition and Construction (continued)</b>							
<ul style="list-style-type: none"> <li>Collect groundwater samples on the City parking lot site.</li> </ul> <p>The results of the subsurface investigation shall be presented in a Phase II Investigation Report and will include recommendations for further environmental investigations or remedial activities, if the results of the subsurface investigation indicate further activities are necessary.</p>							
<p>HYDRO-1: The City and their contractors shall implement Best Management Practices (BMPs) to control erosion and sedimentation and prevent pollutants from entering the stormwater runoff during construction. BMPs may include, but are not limited to:</p> <ul style="list-style-type: none"> <li>Conduct grading during dry months (April – September);</li> <li>Cover disturbed areas with soil stabilizers, mulch, fiber rolls, or temporary vegetation;</li> <li>Locate construction-related equipment or processes that contain or generate pollutants in</li> </ul>	On-going during Project demolition and construction activities.	Project General Contractor	SFBRWQCB (Spell out)	SWPPP (Spell out)			

**HAYWARD 21<sup>ST</sup> CENTURY LIBRARY & COMMUNITY LEARNING CENTER PROJECT  
MITIGATION MONITORING AND REPORTING PROGRAM CHECKLIST**

MITIGATION MEASURE	One-time or On-going	Responsible for Implementation	Responsible for Verification	Form of Verification	Comments/ Special instructions	Initials	Date
secure areas, away from storm drains and gutters; <ul style="list-style-type: none"> <li>• Prevent or contain potential leakage or spilling from sanitary facilities by surrounding them with a berm, and do not allow a direct connection to the storm drainage system;</li> <li>• Park, fuel, and clean all vehicles and equipment in one designated, contained area;</li> <li>• Designate concrete washout areas;</li> <li>• Provide inlet protection, such as filters; and</li> <li>• Monitor site during rainy season to replace or adjust BMPs as needed.</li> </ul>							
<b>During Demolition and Construction (continued)</b>							
NOISE-3: The following Best Management Practices shall be incorporated into the construction documents to be implemented by the Project contractor: <ul style="list-style-type: none"> <li>• Provide enclosures and noise mufflers for stationary equipment, shrouding or shielding for impact tools, and barriers around particularly noisy activity areas on the site.</li> <li>• Use quietest type of construction equipment whenever possible, particularly air compressors.</li> <li>• Provide sound-control devices on equipment no less effective than those provided by the manufacturer.</li> <li>• Locate stationary equipment, material stockpiles, and vehicle staging areas as far as practicable from sensitive receptors.</li> <li>• Prohibit unnecessary idling of internal combustion engines.</li> <li>• Require applicable construction-related vehicles and equipment to use designated truck routes when entering/leaving the site.</li> <li>• Designate a noise (and vibration) disturbance</li> </ul>	On-going during Project demolition and construction activities.	Project General Contractor	City's Construction Manager	Weekly site visits to confirm specified equipment is in use.  Posted signs that identify the City's Construction Manager as the contact (including name and telephone number) to report noise and vibration problems.	Specified noise control measures shall be included in the construction bid documents.		

**HAYWARD 21<sup>ST</sup> CENTURY LIBRARY & COMMUNITY LEARNING CENTER PROJECT  
MITIGATION MONITORING AND REPORTING PROGRAM CHECKLIST**

MITIGATION MEASURE	One-time or On-going	Responsible for Implementation	Responsible for Verification	Form of Verification	Comments/ Special instructions	Initials	Date
<p>coordinator at the Lead Agency who shall be responsible for responding to complaints about noise (and vibration) during construction. The telephone number of the noise disturbance coordinator shall be conspicuously posted at the construction site. Copies of the project purpose, description and construction schedule shall also be distributed to the surrounding residences.</p> <ul style="list-style-type: none"> <li>Limit project construction activity to the hours of 7 a.m. to 7 p.m. Monday through Saturday, and 10 a.m. to 6 p.m. on Sunday and holidays per <i>General Plan</i> Policy HAZ-8.21.</li> </ul>							
<b>During Demolition and Construction (continued)</b>							
<p>NOISE-4: A temporary sound wall shall be provided along the southwest boundary of the new Library site adjacent to the Hayward Post Office to protect workers from high sound levels expected during the early stages of Project excavation, foundation preparation and steel frame erection. The sound wall shall cover the entire length and height of the section of the Post Office wall containing the facing windows and shall be constructed of material with a mass of at least four pounds per square foot (similar to that of double-thickness, 3/4-inch plywood). The sound wall may consist of modular sections, but the sections shall be joined with no gaps, and there shall be no gap between the wall and the ground.</p>	On-going during demolition and construction activities	Project General Contractor	City's Construction Manager	<p>Inspection and approval of temporary sound wall prior to start of demolition activities.</p> <p>Posted signs that identify the City's Construction Manager as the contact (including name and telephone number) to report noise problems.</p>	Sound wall specifications shall be included in the construction bid documents.		

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architects and planners

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# 21ST CENTURY LIBRARY & COMMUNITY LEARNING CENTER FOR HAYWARD

22695 MISSION BLVD  
HAYWARD CA 94541  
PERMIT ISSUE - 3/17/2015



PROJECT TITLE

**CITY OF HAYWARD  
21ST CENTURY LIBRARY &  
COMMUNITY LEARNING  
CENTER FOR HAYWARD**

22695 MISSION BLVD  
HAYWARD CA 94541

APPROVALS

ARCHITECTS SEAL



ISSUE TITLE

**PERMIT ISSUE**

ISSUE DATE 3/17/2015

NOLL & TAM JOB NUMBER 21235.10

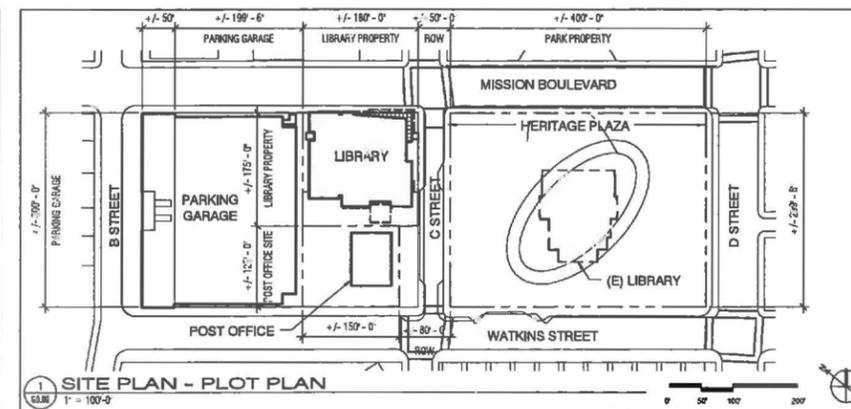
REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE  
**PROJECT MAPS, PLOT  
PLAN & PROJECT TEAM**

SHEET NUMBER

**GO.00**



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**Structural Engineer**  
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**Client**  
City of Hayward  
777 B Street  
Hayward, CA 94541  
Tel: 510.583.4000

3/17/2015 3:55:58 PM



PROJECT TITLE

**CITY OF HAYWARD  
21ST CENTURY LIBRARY &  
COMMUNITY LEARNING  
CENTER FOR HAYWARD**

22665 MISSION BLVD  
HAYWARD CA 94541

APPROVALS

ARCHITECT'S SEAL



ISSUE TITLE

**PERMIT ISSUE**

ISSUE DATE 9/17/2015

NOLL & TAM JOB NUMBER 21224.10

REVISIONS:

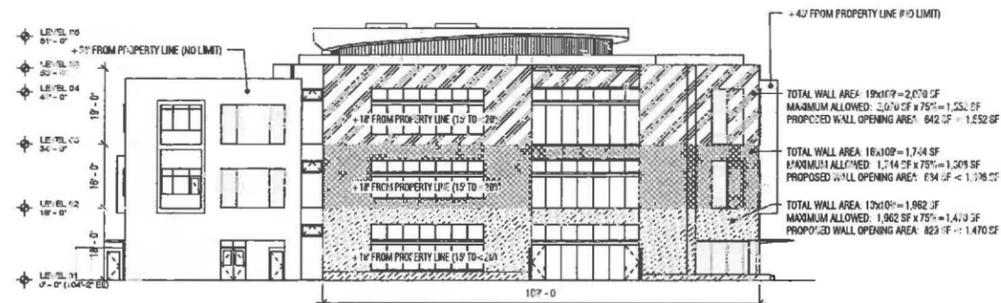
NO.	DATE	DESCRIPTION

SHEET TITLE

**BUILDING DIAGRAM &  
ELEVATION DIAGRAMS**

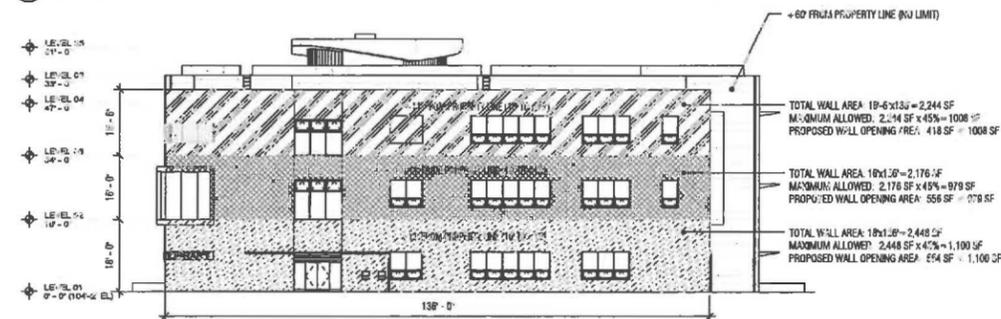
SHEET NUMBER

**G1.01**



3 CODE DIAGRAM - SOUTH ELEVATION

1/16" = 1'-0"

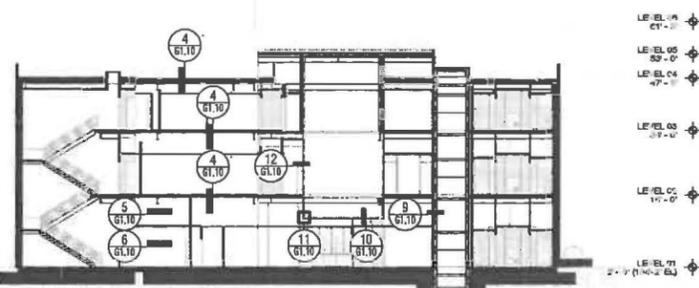


1 CODE DIAGRAM - WEST ELEVATION

1/16" = 1'-0"

LEVEL 00 - 1-HR RATED WALL AREA    LEVEL 02 - 1-HR RATED WALL AREA    LEVEL 01 - 1-HR RATED WALL AREA

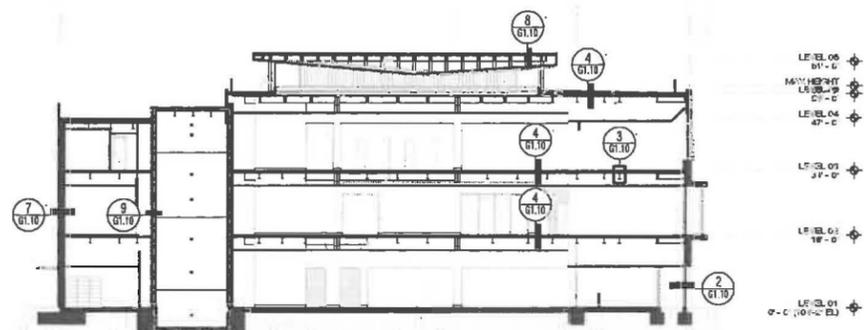
G F E D C B A A.1



5 SECTION - NS1 CODE

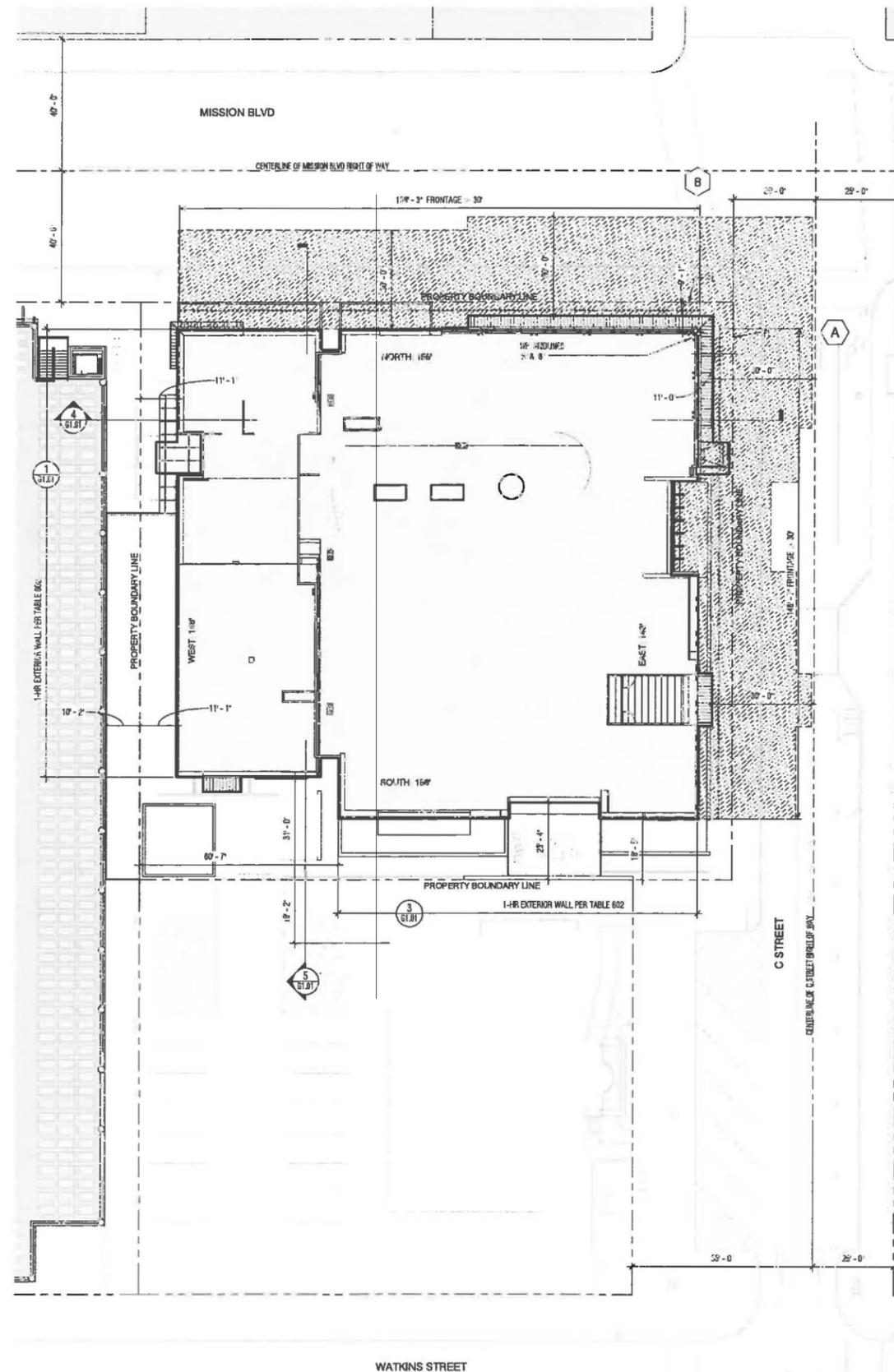
1/16" = 1'-0"

1 2 3 3.1 4 5 6 7 8.1



4 SECTION - EW CODE1

1/16" = 1'-0"



2 SITE PLAN - BUILDING LOCATION PLAN

1/16" = 1'-0"

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 architects and planners

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**CITY OF HAYWARD**  
**21ST CENTURY LIBRARY & COMMUNITY LEARNING CENTER FOR HAYWARD**

22695 MISSION BLVD  
 HAYWARD CA 94541

APPROVALS  
 ARCHITECT: SEAL

ISSUE TITLE  
**PERMIT ISSUE**

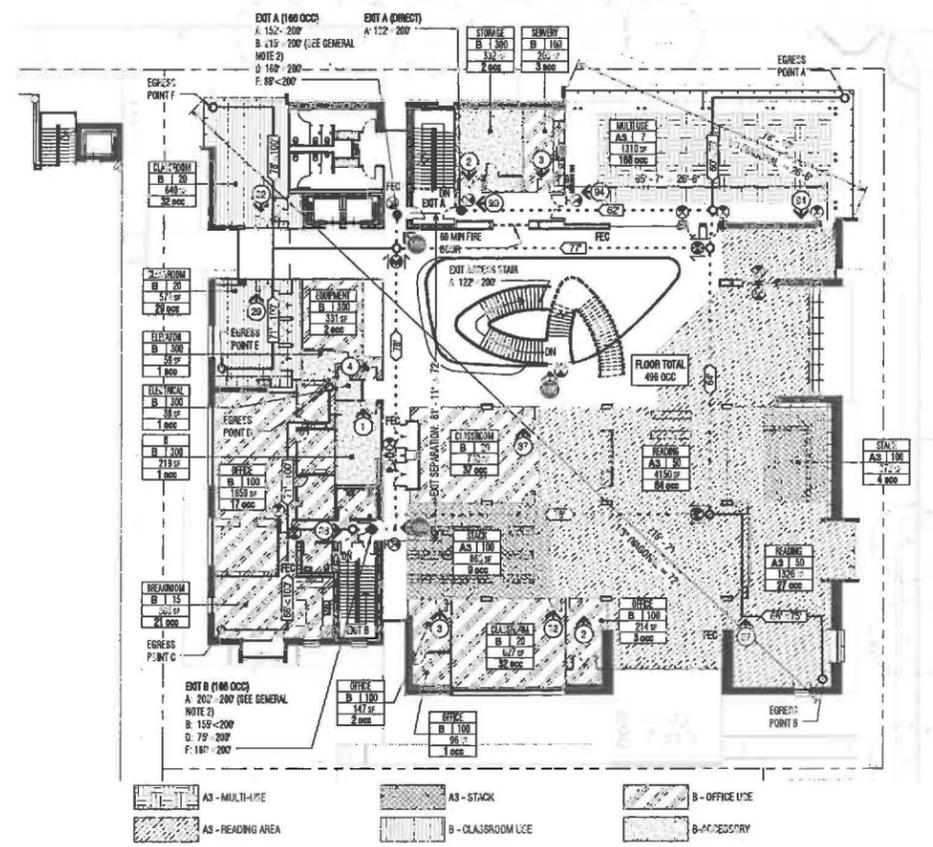
ISSUE DATE: 2/17/2015  
 NOLL & TAM JOB NUMBER: 2129L10

REMISSONS  
 NO. DATE DESCRIPTION

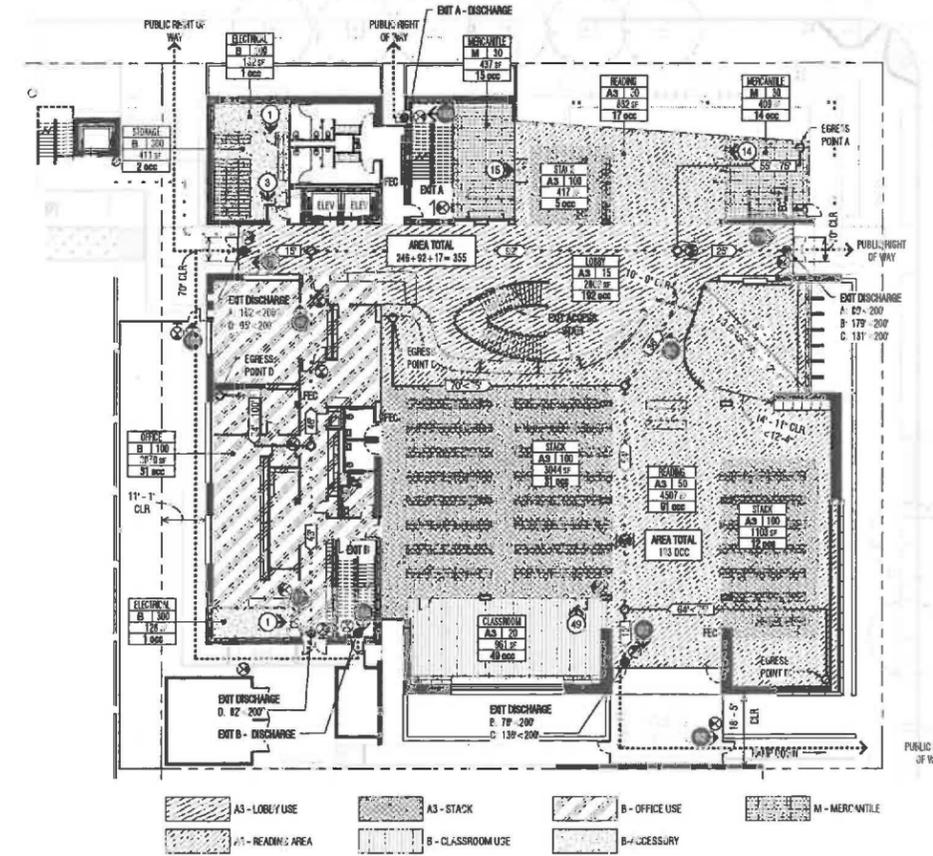
SHEET TITLE  
**OCCUPANCY EGRESS PLANS & AREA SCHEDULE**

SHEET NUMBER  
**G1.02**

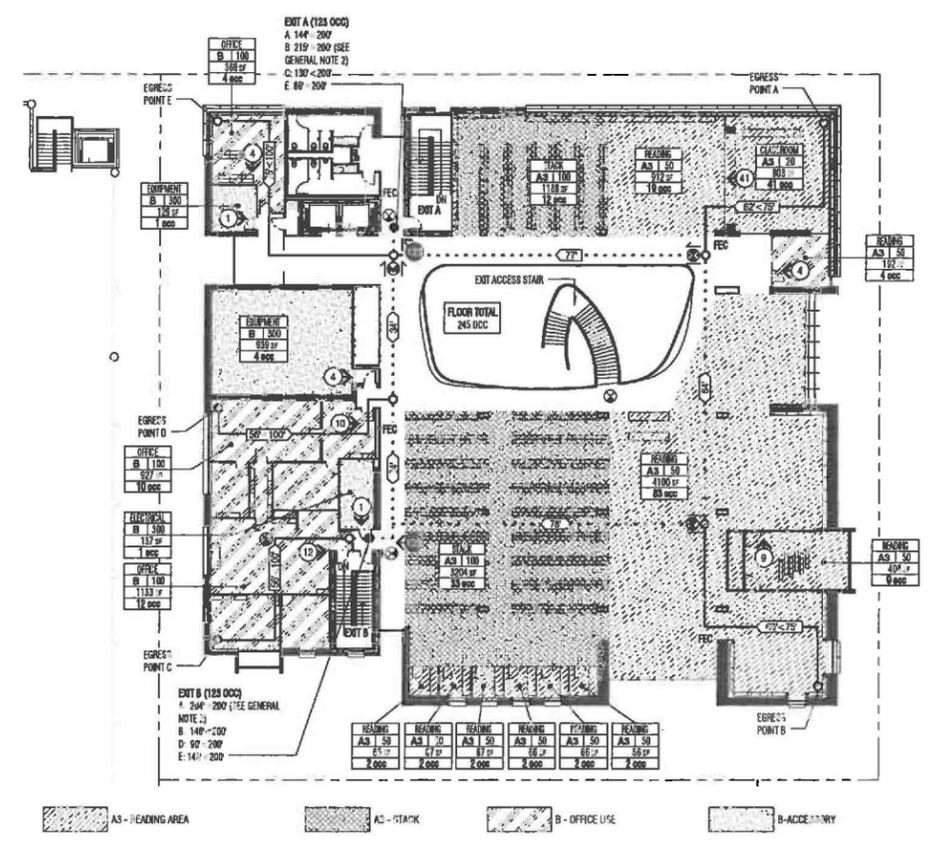
AREA SCHEDULE - OCCUPANT LOAD			
Code Group	Code Description	Area	Code Table Ref.
A1	100 SF	100 SF	1
A2	100 SF	100 SF	1
A3	50 SF	450 SF	17
A3	30 SF	630 SF	17
A3	15 SF	2600 SF	192
A3	100 SF	417 SF	5
A3	20 SF	961 SF	19
B	100 SF	9970 SF	31
B	100 SF	411 SF	1
B	100 SF	132 SF	1
B	100 SF	124 SF	1
B	10 SF	437 SF	15
B	10 SF	409 SF	14
LE VEL 01	1 SF	12918 SF	461
A3	50 SF	1350 SF	188
A3	100 SF	861 SF	1
A3	50 SF	4150 SF	14
A3	100 SF	872 SF	4
B	20 SF	474 SF	19
B	10 SF	331 SF	2
B	20 SF	627 SF	32
B	10 SF	750 SF	17
B	100 SF	205 SF	1
B	20 SF	640 SF	12
B	100 SF	1678 SF	17
B	100 SF	219 SF	1
B	100 SF	312 SF	2
B	100 SF	114 SF	3
B	100 SF	36 SF	1
B	100 SF	147 SF	2
B	15 SF	705 SF	11
B	100 SF	70 SF	1
B	100 SF	70 SF	1
LE VEL 02	1 SF	14201 SF	478
A3	100 SF	1188 SF	12
A3	100 SF	204 SF	1
A3	30 SF	182 SF	4
A3	20 SF	112 SF	19
A3	50 SF	4100 SF	93
A3	30 SF	408 SF	1
A3	20 SF	903 SF	11
A3	60 SF	85 SF	2
A3	50 SF	47 SF	2
A3	40 SF	47 SF	2
A3	50 SF	36 SF	2
A3	50 SF	66 SF	2
A3	50 SF	36 SF	2
A3	100 SF	1173 SF	12
B	100 SF	388 SF	1
B	100 SF	128 SF	1
B	100 SF	438 SF	4
B	100 SF	137 SF	10
B	100 SF	137 SF	1
B	100 SF	1462 SF	145



**2 LEVEL 02 - OCCUPANT LOAD / EXITING**  
 1/16" = 1'-0"



**1 LEVEL 01 - OCCUPANT LOAD / EXITING**  
 1/16" = 1'-0"



**3 LEVEL 03 - OCCUPANT LOAD / EXITING**  
 1/16" = 1'-0"

**EXIT/ACCESS STAIR WIDTH CALCULATIONS**  
 SEE ENLARGED STAIR PLANS FOR DIMENSIONS, RISER AND TREAD INFORMATION  
 LEVEL 1 - TOTAL OCCUPANCY: 245 OCC. EGRESS CAPACITY FACTOR 0.2 INCH/OCC. TWO(2) ENCLOSED EATS STAIRS  
 245 OCC / 2 STAIRS = 122 OCC/STAIR  
 125 X 0.2 = 25 INCHES REQUIRED WIDTH AT EACH STAIR  
 52 INCHES MINIMUM WIDTH PROVIDED AT EACH STAIR  
 LEVEL 2 - TOTAL OCCUPANCY: 498 OCC. EGRESS CAPACITY FACTOR 0.2 INCH/OCC. TWO(2) ENCLOSED EATS STAIRS AND ONE(1) EGRESS ACCESS STAIR  
 498 OCC / 3 STAIRS = 166 OCC/STAIR  
 166 X 0.2 = 34 INCHES REQUIRED WIDTH AT EACH STAIR  
 52 INCHES MINIMUM WIDTH PROVIDED AT EACH STAIR

**GENERAL NOTES - CODE PLANS**  
 1. ALL INTERIOR DOORS TO BE A MINIMUM 36" X 80", UNLESS OTHERWISE NOTED, SEE DOOR SCHEDULE FOR HARDWARE REQUIREMENTS  
 2. ALL AREAS OF FLOOR MEET THE MAXIMUM TRAVEL DISTANCE TO "AN" EXIT THROUGH AN ATRIUM OR 200' PER SECTION 101.3, TRAVEL DISTANCE IS SHOWN FOR ALL EGRESS POINTS ON PLAN  
 3. AFTER HOURS USE FOR PUBLIC TO BE LIMITED TO LEVEL 01 ENTRY LOBBY/TAR AND LEVEL 02 CONFERENCE ROOMS AND MEETING ROOMS. SEE ACCESS CONTROL DOORS.  
 4. SEE SMOKE CONTROL REPORT AND EXTERIOR BUILDING ELEVATIONS FOR ATRIUM WINDOW LOCATIONS

**OCCUPANCY / EGRESS LEGEND**  
 OCCUPANCY TYPE  
 ROOM/AREA DESCRIPTION  
 OCCUPANT LOAD FACTOR  
 TOTAL ROOM AREA IN SQUARE FEET  
 TOTAL PLANNED OCCUPANCY  
 ROOM / AREA OCCUPANCY EXIT LOAD  
 FLOOR EXIT LOAD - PORTION OF FLOOR LOAD CONTRIBUTING ROOMS / AREAS  
 COMMON PATH OF EGRESS TRAVEL PER CBC SECTION 1014.3  
 EXIT ACCESS TRAVEL DISTANCE PER CBC SECTION 1016.1  
 EXTERIOR EXIT PATH TO PUBLIC RIGHT OF WAY OR SAFE DISPERSAL AREA  
 ILLUMINATED FACE: PENDANT MOUNTED EXIT SIGN WITH DIRECTIONAL ARROW  
 ILLUMINATED FACE: WALL MOUNTED EXIT SIGN WITH DIRECTIONAL ARROW  
 PENDANT MOUNTED EXIT SIGN WITH DIRECTIONAL ARROW  
 REQUIRED CODE CLEARANCE  
 POSTED MAXIMUM OCCUPANCY SIGN  
 1-HR FIRE RESISTANT CONSTRUCTION PER CBC TABLE #601  
 FIRE EXTINGUISHER CABINET LOCATION

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PROJECT TITLE

CITY OF HAYWARD  
21ST CENTURY LIBRARY &  
COMMUNITY LEARNING  
CENTER FOR HAYWARD

22895 MISSION BLVD  
HAYWARD CA 94541

APPROVALS

ARCHITECTS SEAL



ISSUE TITLE

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ISSUE DATE

3/17/2015

NOLL & TAM JOB NUMBER 21235.18

NO. DATE DESCRIPTION

SHEET TITLE

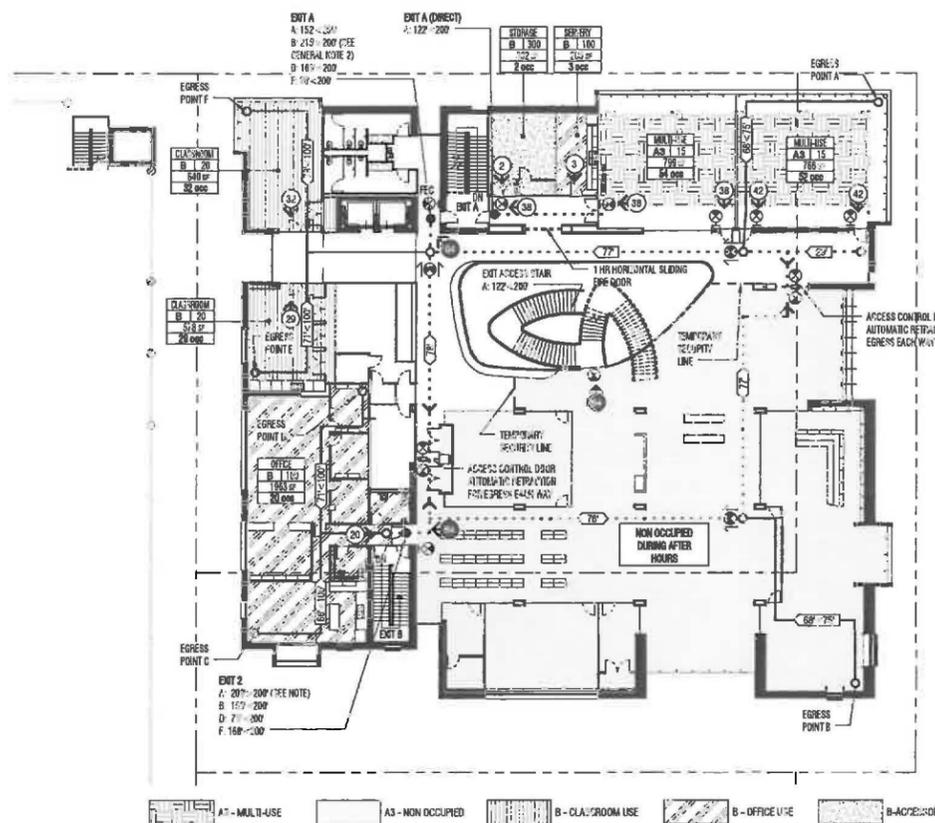
OCCUPANCY / EGRESS  
PLANS AFTER HOURS USE

SHEET NUMBER

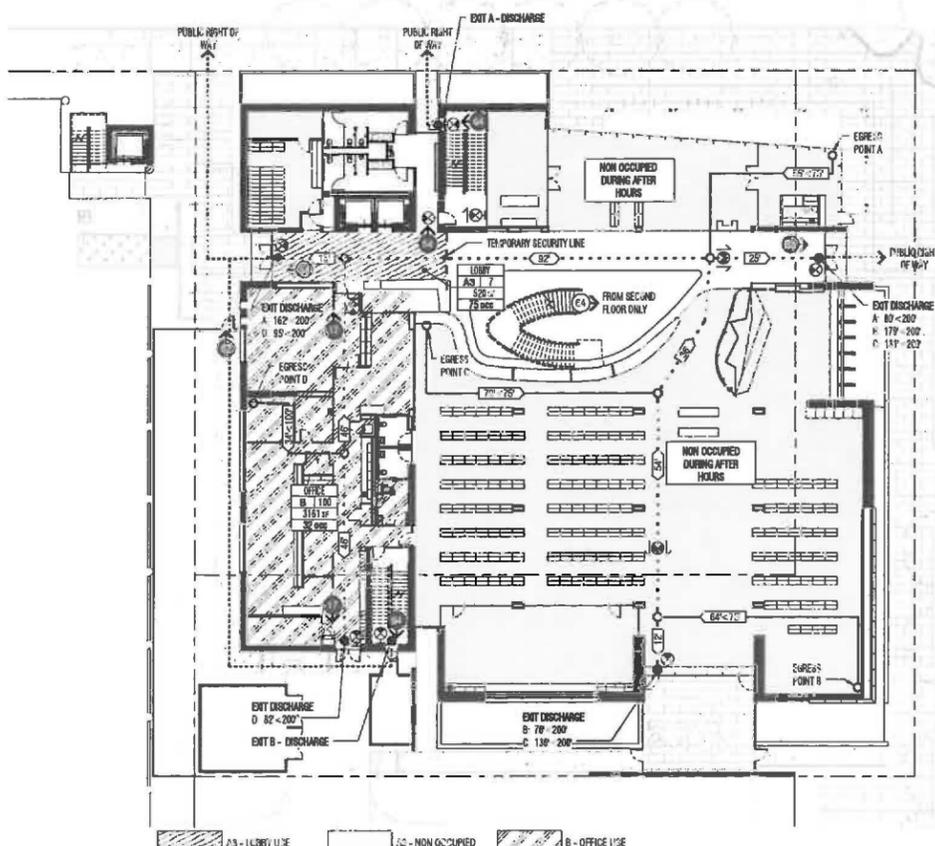
G1.03

AREA SCHEDULE - OCCUPANT LOAD-ALTERNATE

OCC Group	OCC Load Factor	Area	OCC Total Occ
B	1.00 SF	1161 SF	1161
AS	1.50 SF	220 SF	330
LEVEL 01			1491
AS	1.50 SF	1,99 SF	298
AS	1.50 SF	114 SF	171
B	1.00 SF	640 SF	640
B	1.00 SF	178 SF	178
B	1.00 SF	207 SF	207
B	1.00 SF	322 SF	322
B	1.00 SF	199 SF	199
LEVEL 02			196



1 LEVEL 02 - OCCUPANT LOAD / EXITING - AFTER HOURS  
G1.03 1/16 = 1'-0"



2 LEVEL 01 - OCCUPANT LOAD / EXITING - AFTER HOURS  
G1.03 1/16 = 1'-0"

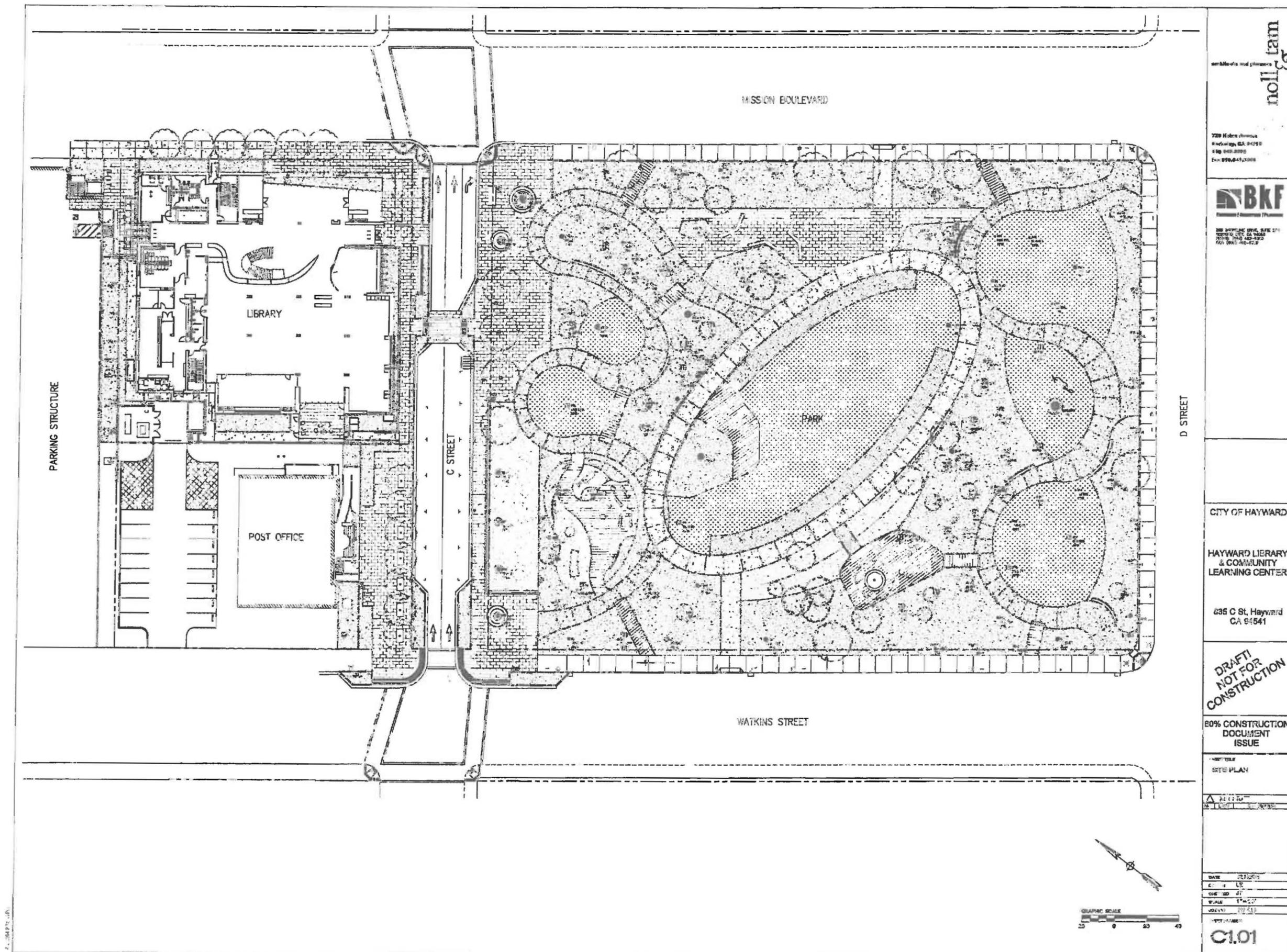
GENERAL NOTES - CODE PLANS

- ALL INTERIOR DOORS TO BE MINIMUM 36"W X 80"H, UNLESS OTHERWISE NOTED, SEE DOOR SCHEDULE FOR HARDWARE REQUIREMENTS
- ALL AREAS OF FLOOR MUST MEET THE MAXIMUM TRAVEL DISTANCE TO "A" EXIT THROUGH AN ATMOSPHERE OF 200' PER SECTION 101.4. TRAVEL DISTANCE IS SHOWN FOR ALL EGRESS POINTS IN PLAN
- AFTER HOURS USE FOR PUBLIC TO BE LIMITED TO LEVEL 01 ENTRY LOBBY, STAIR AND LEVEL 02 CONFERENCE ROOMS AND MEETING ROOMS, SEE ACCESS CONTROL DOOR
- SEE SMOKE CONTROL REPORT AND ELEVATOR BUILDING ELEVATIONS FOR ACTIVATED WIND WALL LOCATION

OCCUPANCY / EGRESS LEGEND

- OCCUPANCY TYPE
- AREA DESCRIPTION
- OCCUPANT LOAD FACTOR
- TOTAL ROOM AREA IN SQUARE FEET
- TOTAL ROOM OCCUPANCY
- ROOM / AREA OCCUPANCY EXIT LOAD
- FLOOR EXIT LOAD - PORTION OF FLOOR LOAD + CONTRIBUTING ROOMS / AREAS
- COMMON PATH OF EGRESS TRAVEL PER CBC SECTION 1014.1
- EXIT ACCESS TRAVEL DISTANCE PER CBC SECTION 1014.1
- EXTERIOR EXIT PATH TO PUBLIC RIGHT OF WAY OR SAFE DISPERSED AREA
- ILLUMINATED FACE, PEND / MT MOUNTED EXIT SIGN WITH DIRECTIONAL ARROW
- ILLUMINATED FACE, WALL MOUNTED EXIT SIGN WITH DIRECTIONAL ARROW
- PEND / MT MOUNTED EXIT SIGN WITH DIRECTIONAL ARROWS
- REQUIRED CODE CLEARANCE
- POSTED MAXIMUM OCCUPANCY / SIGN
- 1-1/2" RLY FIRE RESISTANT CONSTRUCTION PER CBC TABLE #801
- FIRE EXTINGUISHER CABINET LOCATION

3/17/2015 2:36:18 PM



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**BKF**  
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3000 SHIPMAN DRIVE, SUITE 200  
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TEL: 415.885.8800

CITY OF HAYWARD

HAYWARD LIBRARY & COMMUNITY LEARNING CENTER

835 C St, Hayward CA 94541

**DRAFT!  
NOT FOR  
CONSTRUCTION**

80% CONSTRUCTION DOCUMENT ISSUE

SITE PLAN

DATE: 07/15/09

BY: [Signature]

SCALE: 1"=20'

PROJECT: 09-010

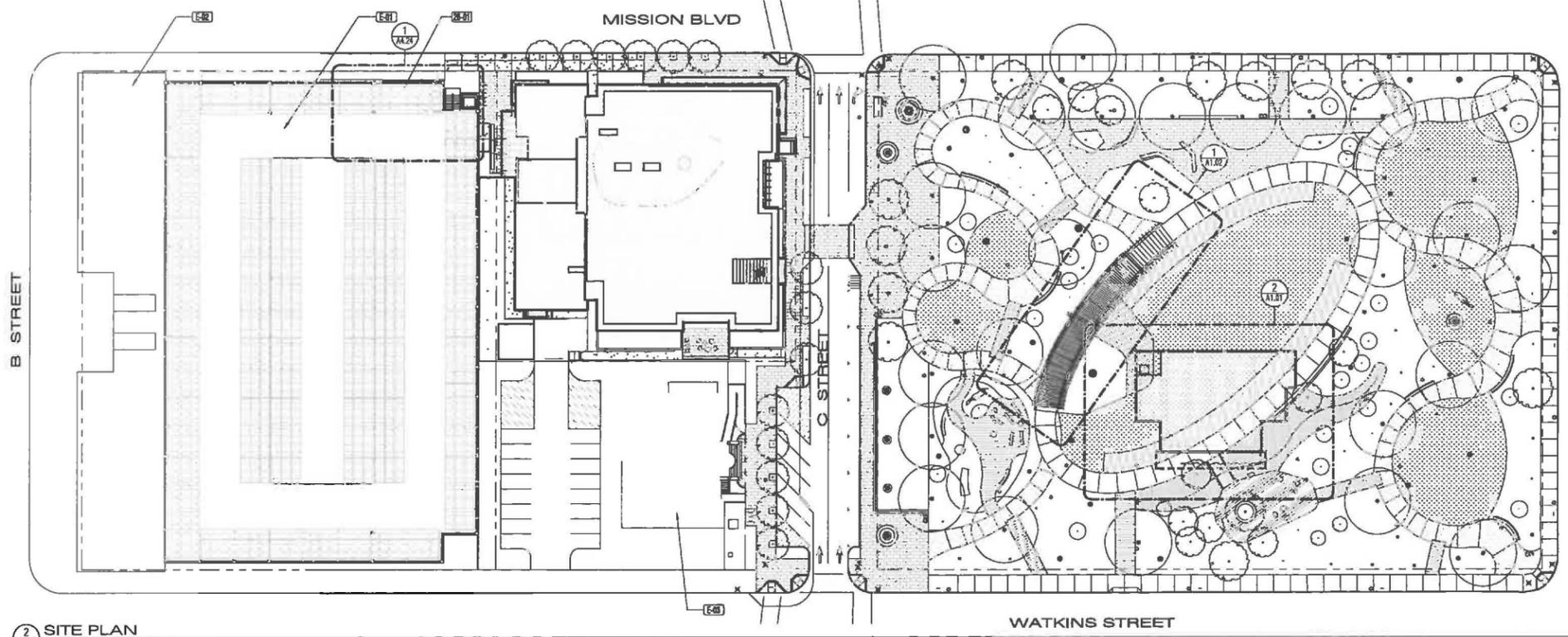
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BY: [Signature]

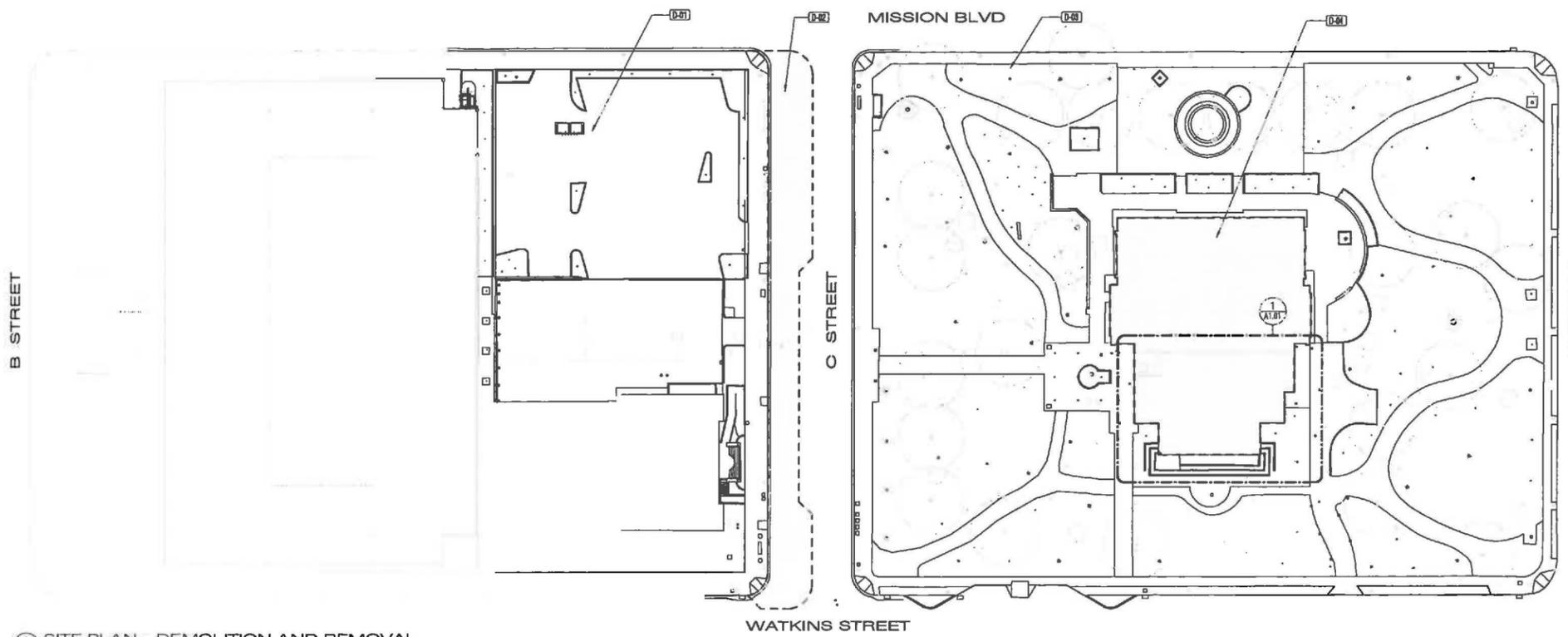
SCALE: 1"=20'

PROJECT: 09-010

**C1.01**



2 SITE PLAN  
1/2" = 1'-0"



1 SITE PLAN - DEMOLITION AND REMOVAL  
1/2" = 1'-0"

KEY NOTES

Key/Value	Keynote Text
D-01	PHOTO: ULTRAPANELS ON CANTONIES OVER EXISTING TOP LEGS OF PARKING GARAGE. SEE
D-02	DEMOLITION OF PARALLEL LOT & PARKING GARAGE. SEE
D-03	DEMOLITION OF PORTION OF C STREET. SEE
D-04	OLD SCULPTURE PARK SITE DEMOLITION AND TREE REMOVAL
D-05	2 LIBRARY TO BE DEMOLISHED. SEE
E-01	R1 3 LEVEL PARKING GARAGE
E-02	R2 RETAIL BUILDING
E-03	R3 POST OFFICE BUILDING

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PROJECT TITLE  
**CITY OF HAYWARD  
21ST CENTURY LIBRARY &  
COMMUNITY LEARNING  
CENTER FOR HAYWARD**

22605 MISSION BLVD  
HAYWARD CA 94541

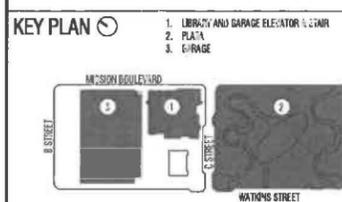


ISSUE TITLE  
**PERMIT ISSUE**

ISSUE DATE 2/17/2016  
NOLL & TAM JOB NUMBER 21236.10

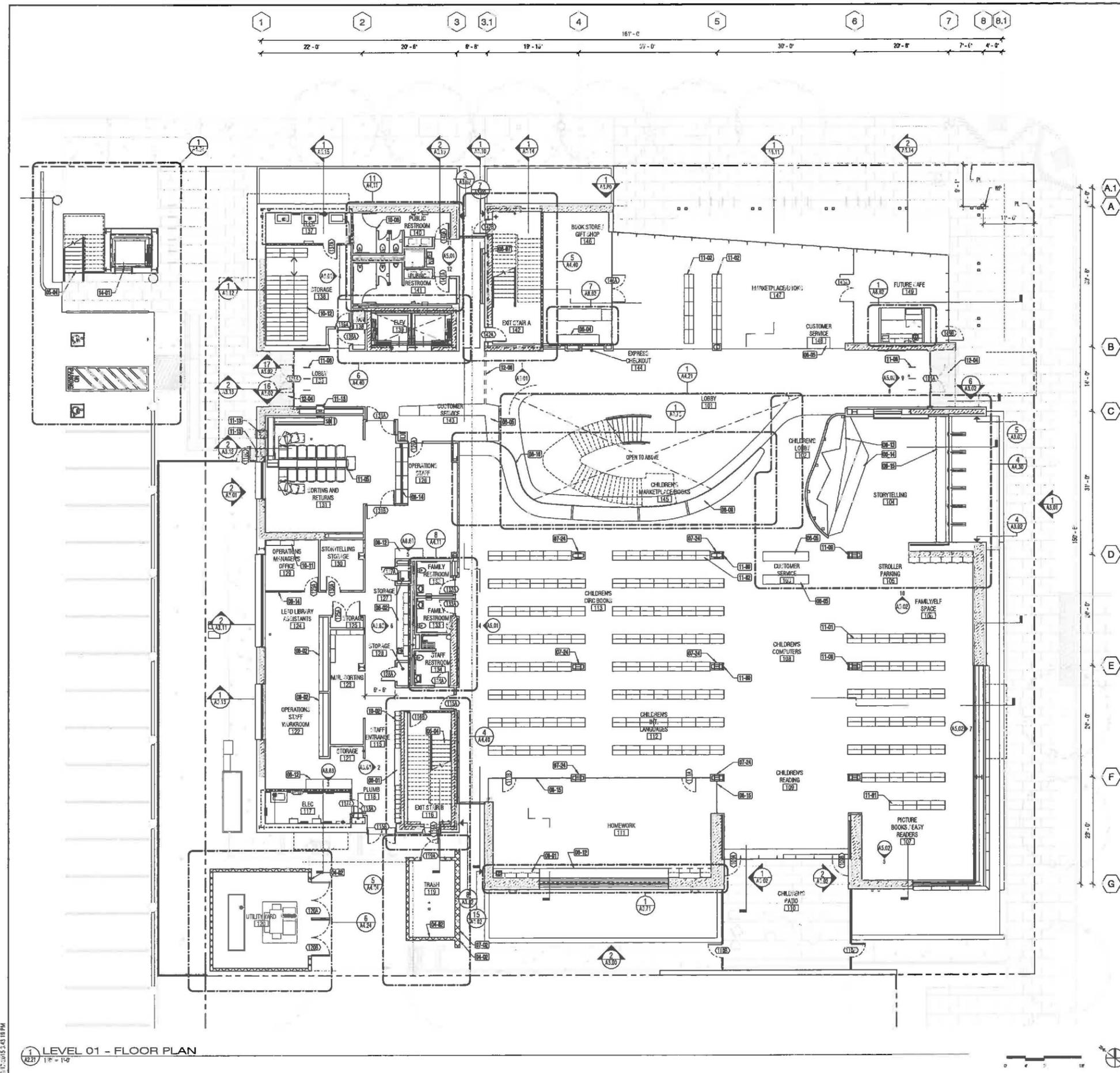
REVISIONS

NO.	DATE	DESCRIPTION



SHEET TITLE  
**SITE PLAN**

SHEET NUMBER  
**A1.00**



**GENERAL NOTES**

- ALL INTERIOR PARTITIONS FTD ON MTL STUD U/W
- SEE ELEVATIONS FOR EXTERIOR WALL & GLAZING TYPES
- RECESSED WOOD BASE ALL PUBLIC AREAS U/W
- ALL DOORS IN CLASS PARTITION ARE GLASS DOORS BY PARTITION MANUFACTURER

**KEYNOTES**

Key Value	Key Note Text
04-02	CONCRETE MASONRY WALL, SEE SPEC SECTION 04 22 00
03-04	METAL HAN STAIR, PREFABRICATED STAIR, W/ CONCRETE FILL TREADS AND LANDINGS, PRIME AND P-INT FINISH, SEE SPEC SECTION 05 51 13
05-01	WOODWORK INSTITUTE CUSTOM GRADE LOWER CABINETS - QUARTZ COUNTERTOP & PLAM CABINET
05-02	WOODWORK INSTITUTE CUSTOM GRADE LOWER & UPPER CABINETS - QUARTZ COUNTERTOP & PLAM CABINET
05-04	WOODWORK INSTITUTE PREMIUM GRADE LOWER & UPPER CABINETS - QUARTZ COUNTERTOP & WOOD VENEER CABINETS
05-05	WOODWORK INSTITUTE PREMIUM GRADE RECEPTION DESK - QUARTZ COUNTERTOP & WOOD VENEER CABINETS
05-07	WOODWORK INSTITUTE CUSTOM GRADE FULL HEIGHT CABINETS - WOOD VENEER CABINETS 1/2" GLASS FRONT
05-09	WOODWORK INSTITUTE PREMIUM GRADE SPECIALTY CASEWORK - 1 1/2" THICK ACRYLIC COUNTERTOP
05-10	WOODWORK INSTITUTE PREMIUM GRADE SPECIALTY CASEWORK - WOOD VENEER REICH WITH UPPOLSTERED CUSHION ON SEAT AND BACK, FABRIC PALLAS TEXTILES, STYLE SHEEPSH, OVER 1/2" THICK FLAME RETARDANT FREE FOAM
05-12	QUARTZ COUNTERTOP ON WALL MOUNTED STEEL ANGLE FRAME SUPPORTS AT 48" OC TYPICAL
03-12	STORYTIME WALL INSTALLATION, COMPUTER FABRICATED FACE PANELS FROM ARCHITECTS FILES, WOOD VENEER FINISH OVER MDF CORE BY RALON SYSTEMS
05-14	WOODWORK INSTITUTE PREMIUM GRADE SPECIALTY CASEWORK - STORYTIME EATING PLATFORMS WITH 1 1/2" WOOD VENEER OVER 1" MDF CORE, SOLID TX HARDWOOD EDGEING TO MATCH
05-15	WOODWORK INSTITUTE PREMIUM GRADE SPECIALTY CASEWORK - STORYTIME BENCH WITH 3/4" WOOD VENEER OVER 1" MDF CORE, SOLID TX HARDWOOD EDGING TO MATCH, VENEERED PLYWOOD STORAGE BINS WITH LOCKING CASTERS
07-02	ALUMINUM METAL PLATE WALL PANELS, DRY-JOINT PREFABRICATED ALUMINUM PANELS ON HANGERS, SUPPORT SYSTEM, SEE SPEC SECTION 07 42 13
07-24	TERRAZZOTA LAMINATING INTERGRAL APPLICATION, 1/2"X36" MODULE W/ MITERED CORNERS, SEE SPEC SECTION 07 42 60
08-14	INTERIOR ALUMINUM FRAME, MINIMUM 1" TEMPERED GLAZING, SEE SPEC SECTION 08 12 16
08-15	ALL GLASS ENTRANCES AND STOREFRONT, SEE SPEC SECTION 08 41 36
08-16	TRANSPARENT LINEAR CHANNEL GLAZING SYSTEM, INTERIOR SHIFTABLE GLAZED, SEE SPEC SECTION 08 45 11
10-02	PLASTIC LAMINATE GLAZED LOCKER, CURS MOUNTED TWO-TIER MANUFACTURED LOCKER, SEE SPEC SECTION 10 51 23
10-06	PHENOLIC-CORE TOILET COMPARTMENT, PARTITION WALLS AND URINAL SCREEN, SEE SPEC SECTION 10 21 13
10-11	METAL STORAGE SHELVING, 90" TALL BRAKED TO WALL, SEE SPEC SECTION 10 56 11
10-12	ARCHIVE STORAGE SHELVING, SEE SPEC SECTION 10 56 26
11-01	LIBRARY STACK SYSTEM CANTILEVER SHELF, 42" X 3" SHELF SECTION, W/ END PANELS & CANOPY, SEE SPEC SECTION 11 51 25
11-02	LIBRARY STACK SYSTEM CANTILEVER SHELF, 60" X 3" SHELF SECTION, W/ END PANELS & CANOPY, SEE SPEC SECTION 11 51 23
11-05	EQUIPMENT OFCI AUTOMATIC BOOK SORTING MACHINE, SEE SPEC SECTION 11 00 10
11-06	EQUIPMENT OFCI RFID SECURITY GATE, SEE SPEC SECTION 11 00 10
11-09	OPAC TOUCHSCREEN MONITOR
11-13	EQUIPMENT OFCI TAMEL STEEL BOOK RETURN UNIT, SEE SPEC SECTION 11 00 10
12-04	GLAZED 3/4"X1/2" STEEL RECESSED ENTRY WALK-OFF MAT
12-06	RETRACTABLE SECURITY BELT 1/2" CYLINDRICAL UNIT RECESSED IN WALL
14-01	MACHINE ROOM-LE: ELECTRIC TRACTION ELEVATOR, SEE SPEC SECTION 14 21 23

**PLAN LEGEND**

- PARTITION
- FIRE-RATED PARTITION
- CONCRETE SHEAR WALL
- ROOM NAME
- ROOM TAG
- DOOR TAG
- SEALING TAG

**KEY PLAN**

- LIBRARY AND STORAGE ELEVATOR & STAIR
- PL-15
- GARAGE

**PROJECT TITLE**  
CITY OF HAYWARD  
21ST CENTURY LIBRARY & COMMUNITY LEARNING CENTER FOR HAYWARD

**APPROVALS**

**ARCHITECT'S SEAL**

**ISSUE TITLE**  
PERMIT ISSUE

**ISSUE DATE**  
9/17/2015

**NOLL & TAM JOB NUMBER**  
2125.10

NO.	DATE	DESCRIPTION
1		

**SHEET TITLE**  
FLOOR PLAN - LEVEL 1

**SHEET NUMBER**  
A2.21

11/17/15 3:43:18 PM

LEVEL 01 - FLOOR PLAN  
1/8" = 1'-0"

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PROJECT TITLE

CITY OF HAYWARD  
21ST CENTURY LIBRARY &  
COMMUNITY LEARNING  
CENTER FOR HAYWARD

22695 MISSION BLVD  
HAYWARD CA 94511

PERMITS

ARCHITECT'S SEAL



ISSUE TITLE  
PERMIT ISSUE

ISSUE DATE 3/17/2015

NOLL & TAM JOB NUMBER 21238.10

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE  
FLOOR PLAN - LEVEL 2

SHEET NUMBER

A2.22

GENERAL NOTES

1. ALL INTERIOR PARTITIONS PFD GWS ON MIL. 1/2" UD LIGN
2. SEE ELEVATIONS FOR EXTERIOR WALL & GLAZING TYPES
3. RECESSED WOOD BY SE ALL PUBLIC AREAS LIGN
4. ALL DOORS IN GLASS PARTITIONS ARE GLASS DOORS BY PARTITION MANUFACTURER

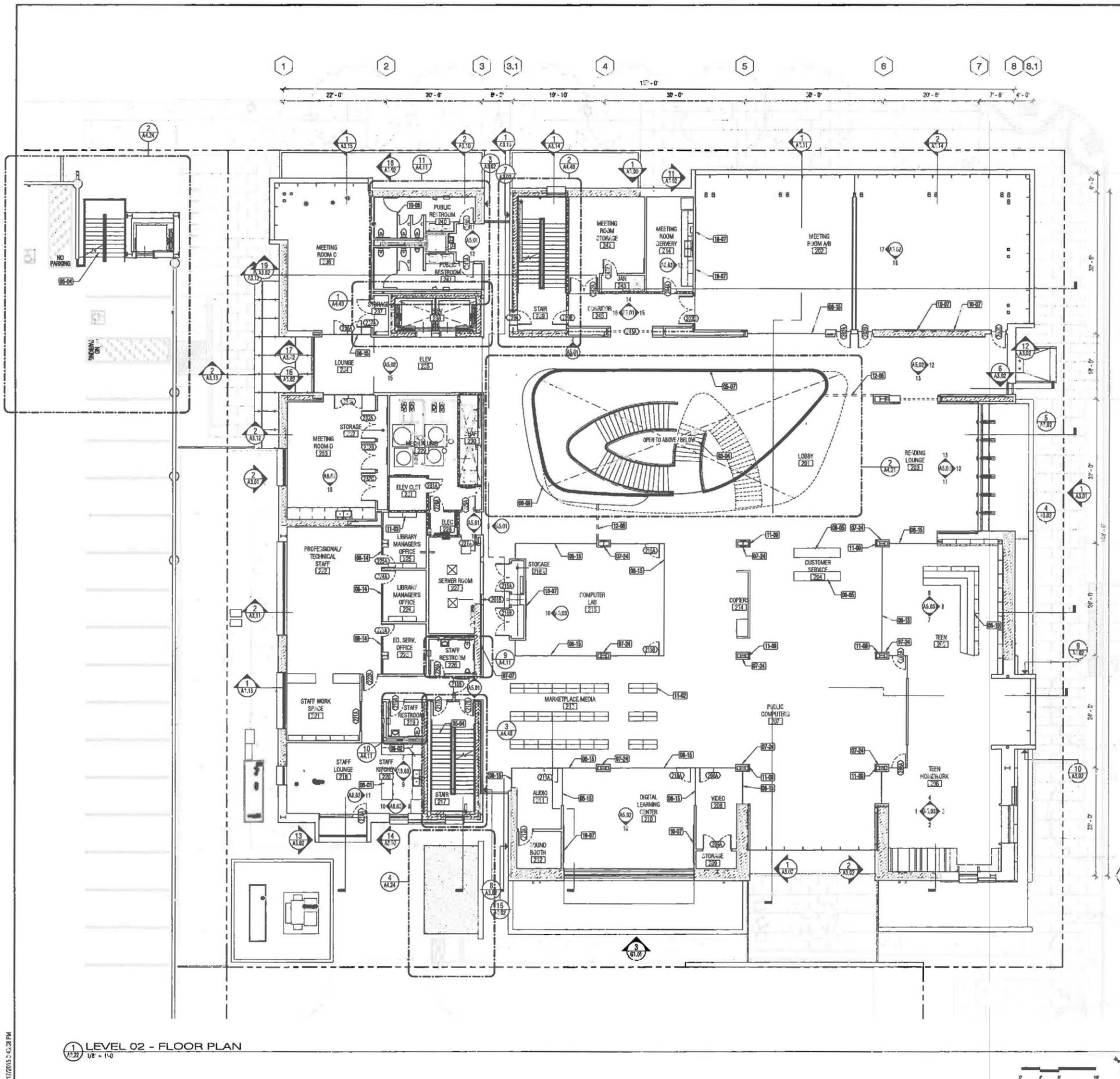
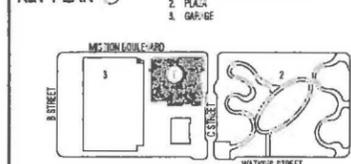
KEYNOTES

Key	Keynote
03-04	CUSTOM PREDI-CO CONCRETE STAIR TREADS. SEE SPEC SECTION 03 40 10
06-04	METAL PAN STAIRS. PRE-FABRICATED STAIRS W/ W/ CONCRETE FILLED TREADS AND LANDINGS. PRIME AND PAINT FINISH. SEE SPEC SECTION 05 51 13
05-07	GLASS GLAZING: ALUMINUM GLAZING SHOE WITH STRAIGHT/COURVED 1/2" TEMPERED GLASS PANELS AND STAINLESS STEEL HANDRAIL. SEE SPEC SECTION 05 73 13
06-01	WOODWORK INSTITUTE CUSTOM GRADE LOWER CABINETS - QUARTZ COUNTERTOP & PLAM CABINETS
06-02	WOODWORK INSTITUTE CUSTOM GRADE LOWER & UPPER CABINETS - QUARTZ COUNTERTOP & PLAM CABINETS
06-05	WOODWORK INSTITUTE PREMIUM GRADE RECEPTION DESK - QUARTZ COUNTERTOP & WOOD VENEER CABINET
06-07	WOODWORK INSTITUTE PREMIUM GRADE SPECIALTY CASEWORK - 1 1/2" THICK ACETIC COUNTERTOP
06-10	WOODWORK INSTITUTE PREMIUM GRADE SPECIALTY CASEWORK - WOOD VENEER BENCH WITH UPHOLSTERED CUSHION ON SEAT AND BACK. FABRIC: PALLAS TEXTILES. STYLE SHEEPH. 1 1/4" THICK FLAME RETARDANT FREE FOAM
07-02	ALUMINUM METAL PLATE WALL PANELS. DRY-JOINT PREFABRICATED ALUMINUM PANELS ON RAINSCREEN SUPPORT SYSTEM. SEE SPEC SECTION 07 42 13
07-07	TERRAZZOTA RAINSCREEN CLADDING. STANDARD 12"X48" MODULE W/ MID-POINT VERTICAL. SEE SPEC SECTION 07 42 50
07-24	TERRAZZOTA CLADDING. INTERIOR APPLICATION. 1/2"X3/4" MODULE W/ FILTERED JOINTS. SEE SPEC SECTION 07 42 50
08-14	INTERIOR ALUMINUM FRAMES. MINIMUM 1/2" TEMPERED GLAZING. SEE SPEC SECTION 08 12 16
08-15	ALL GLASS ENTRANCES AND STOREFRONT. SEE SPEC SECTION 08 12 21
10-06	PHENOLIC-CORE TOILET COMPARTMENT. PARTITION WALLS AND URINAL SCREEN. SEE SPEC SECTION 10 21 13
10-07	GLAZED DISPLAY UNITS. TEMPERED MAGNETIC GLASS BACK PAINTED WHITE. HARD. SEE SPEC SECTION 10 11 00
11-02	LIBRARY STACK SYSTEM. CANTILEVER SHELF. 60" SHELF SECTION. W/ END PANELS & CANOPY. SEE SPEC SECTION 11 51 23
11-03	LIBRARY STACK SYSTEM. CANTILEVER SHELF. 54" SHELF SECTION. W/ END PANELS & CANOPY. SEE SPEC SECTION 11 51 23
11-09	LPA TOUCHSCREEN MONITOR
12-06	RETRACTABLE SECURITY BELT W/ COILING UNIT RECESSED IN WALL

PLAN LEGEND

- PARTITION
- FIRE-RATED PARTITION
- CONCRETE SHEAR WALL
- ROOM NAME TAG
- ROOM TAG
- EGRESS TAG
- KEY NOTE TAG

KEY PLAN



LEVEL 02 - FLOOR PLAN  
1/8" = 1'-0"

3/17/2015 2:42:38 PM

noll tam & architects and planners

729 Helm Avenue  
Berkeley, CA 94710  
tel 510.542.2100  
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PROJECT TITLE

**CITY OF HAYWARD  
21ST CENTURY LIBRARY &  
COMMUNITY LEARNING  
CENTER FOR HAYWARD**

22895 MISSION BLVD  
HAYWARD CA 94541

APPROVALS

ARCHITECTS SEAL



ISSUE TITLE

**PERMIT ISSUE**

ISSUE DATE 3/17/2015

NOLL & TAM JOB NUMBER 21285.18

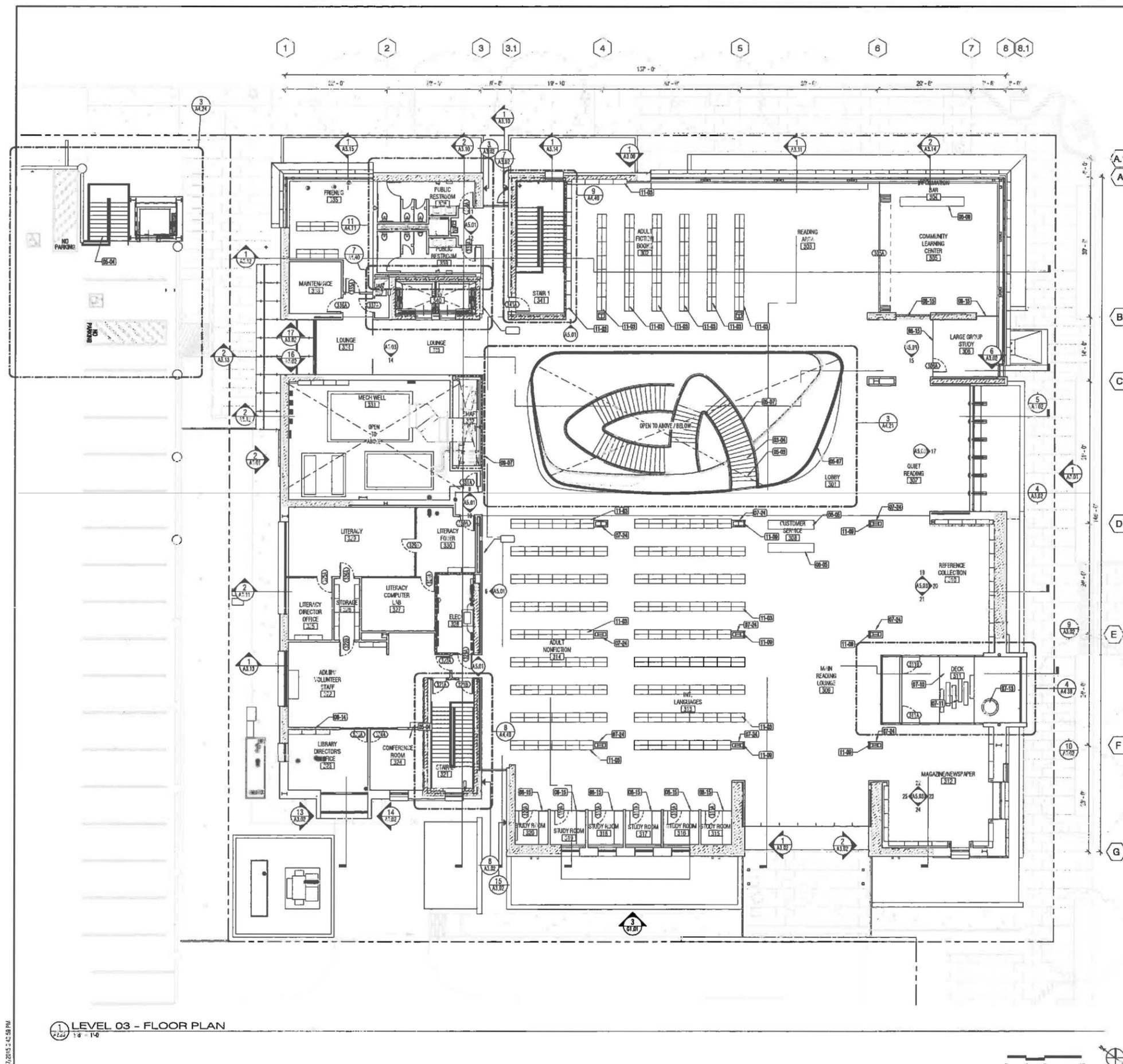
NO. DATE DESCRIPTION

1. 3/17/2015 PERMIT ISSUE

SHEET TITLE  
**FLOOR PLAN - LEVEL 3**

SHEET NUMBER

**A2.23**



**GENERAL NOTES**

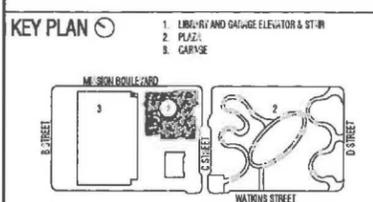
- ALL INTERIOR FINISHES TO BE ON MIL STUDION
- SEE ELEVATIONS FOR EXTERIOR WALL & GLAZING TYPE
- RECEIVED WOOD BASE ALL PUBLIC AREAS UNON
- ALL DOORS IN GLASS PARTITIONS ARE GLASS DOORS BY PARTITION MANUFACTURER

**KEYNOTE:**

Key Value	Keynote Text
04-04	CUSTOM PREFABRICATION CONCRETE STAIR TREADS, SEE SPEC SECTION 05 40 19
05-02	4x8 PERIMETER STRINGER PLATE ATTACHED TO STRUCTURAL STEEL FRAME. PRIME AND PAINT FINISH, SEE SPEC SECTION 05 12 19
05-04	METAL PAN STAIRS: PREFABRICATED STAIRS W/ CONCRETE FILLED TREADS AND HANDINGS, PRIME AND PAINT FINISH, SEE SPEC SECTION 05 51 12
05-07	GLASS GUZZARDIAL: ALUMINUM GLAZING (SHOE WITH STRAIGHT/CURVED 1/2" TEMPERED GLASS PANELS AND TITANUM STEEL HANDRAIL, SEE SPEC SECTION 05 73 12
06-05	WOODWORK: INSTITUTE PREMIUM GRADE RECEPTION DESK - QUARTZ COUNTERTOP & WOOD VENEER CABINETS
06-09	WOODWORK: INSTITUTE PREMIUM GRADE SPECIALTY CASEWORK - 1 1/2" THICK ACRYLIC COUNTERTOP
07-02	ALUMINUM METAL PLATE WALL PANELS: DRY-JOINT PREFABRICATED ALUMINUM PANELS ON RAMPCORE SYSTEM, SEE SPEC SECTION 07 42 13
07-10	MODULAR GREEN ROOF SYSTEM
07-11	PRECAST CONCRETE PANELS ON ADJUSTABLE PEDESTAL, SEE SPEC SECTION 07 14 13
07-13	STEEL PLAYERS W/ WOOD BENCH & TREE
07-24	TERRAZZO CLADDING: INTERIOR APPLICATION, 1 1/2" 6" MODULE W/ MITERED CORNER, SEE SPEC SECTION 07 42 10
08-14	INTERIOR ALUMINUM FRAME: MINIMUM 1/2" TEMPERED GLAZING, SEE SPEC SECTION 06 12 16
08-15	ALL GLASS ENTRANCES AND STOREFRONT: SEE SPEC SECTION 06 41 26
08-07	PAINTED GYPSUM BOARD WALL
11-04	LIBRARY STACK SYSTEM: CONTAINER SHELF, 90" B SHELF, SECTION W/ END PANELS & CANOPY, SEE SPEC SECTION 11 51 23
11-08	55" AG TOUCHSCREEN MONITOR

**PLAN LEGEND**

- FURNITURE
- FIRE-RATED PARTITION
- CONCRETE SHEAR WALL
- ROOM NAME
- ROOM TAG
- DOOR T-0
- KEYNOTE T-0



**LEVEL 03 - FLOOR PLAN**  
1/8" = 1'-0"

3/17/2015 12:42:58 PM

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PROJECT TITLE

**CITY OF HAYWARD  
21ST CENTURY LIBRARY &  
COMMUNITY LEARNING  
CENTER FOR HAYWARD**

2285 MISSION BLVD  
HAYWARD CA 94541

APPROVAL

ARCHITECTS SEAL



ISSUE TITLE

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ISSUE DATE 5/17/2015

NOLL & TAM JOB NUMBER 2123A.10

REVISIONS

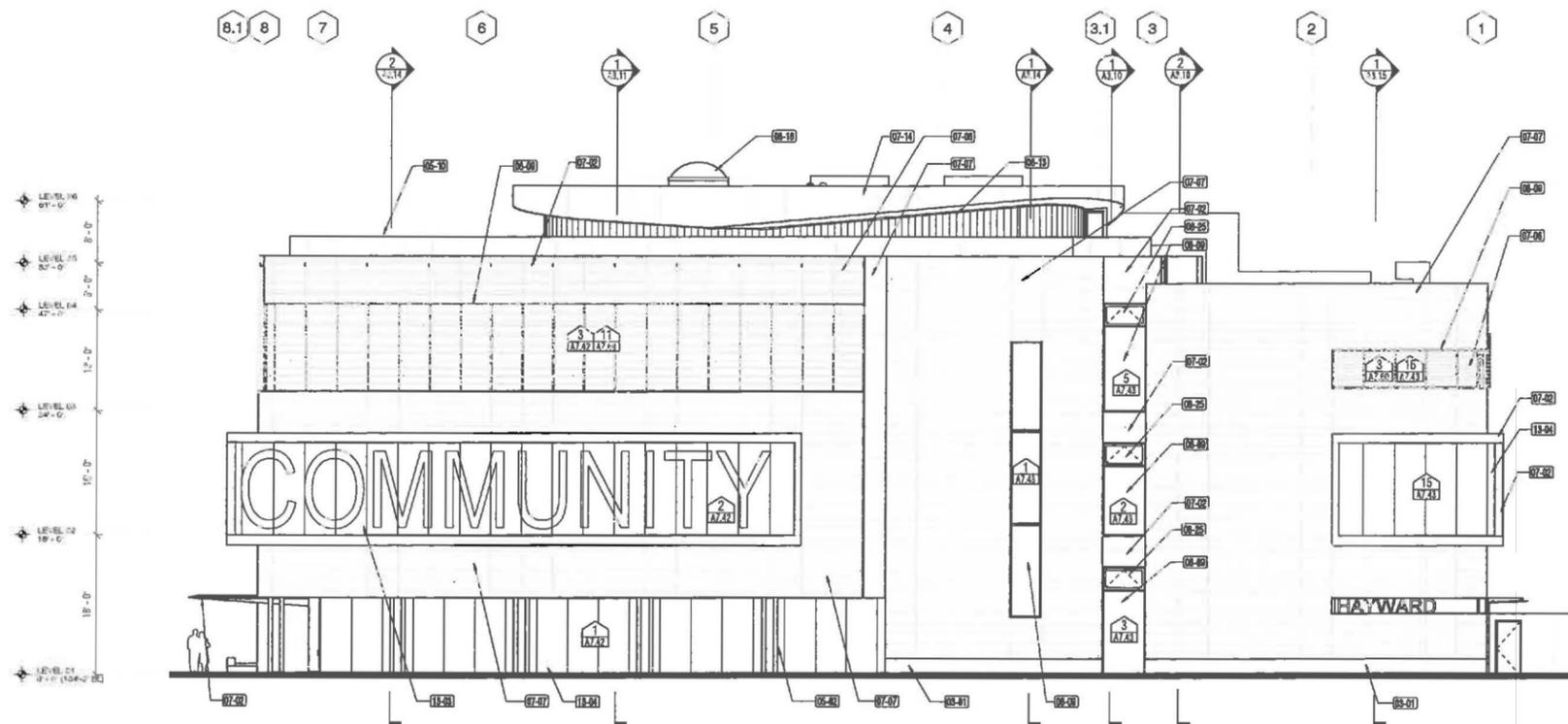
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SHEET TITLE

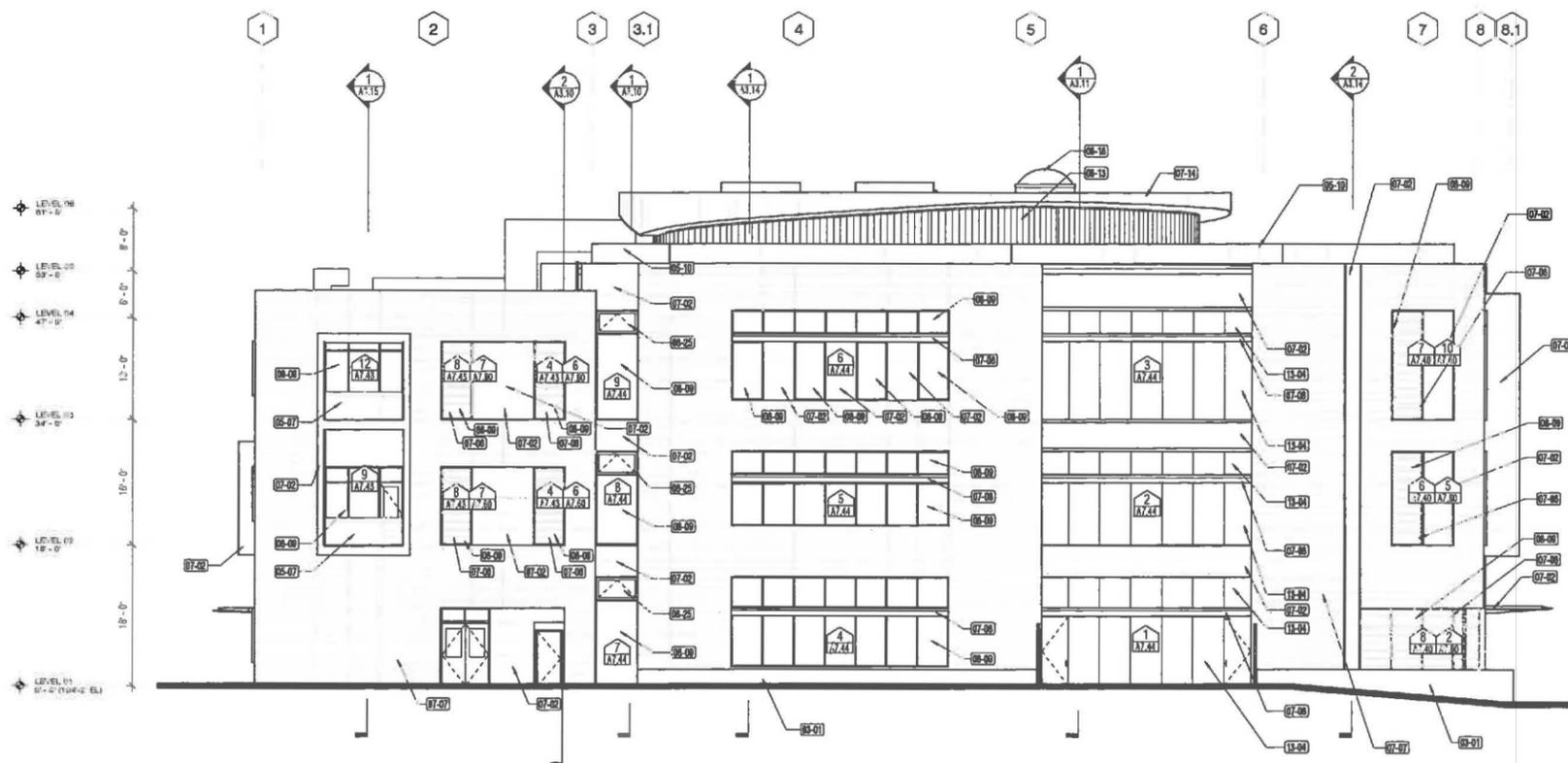
**EXTERIOR ELEVATIONS**

SHEET NUMBER

**A3.00**



**1 NORTH ELEVATION**  
1/8" = 1'-0"

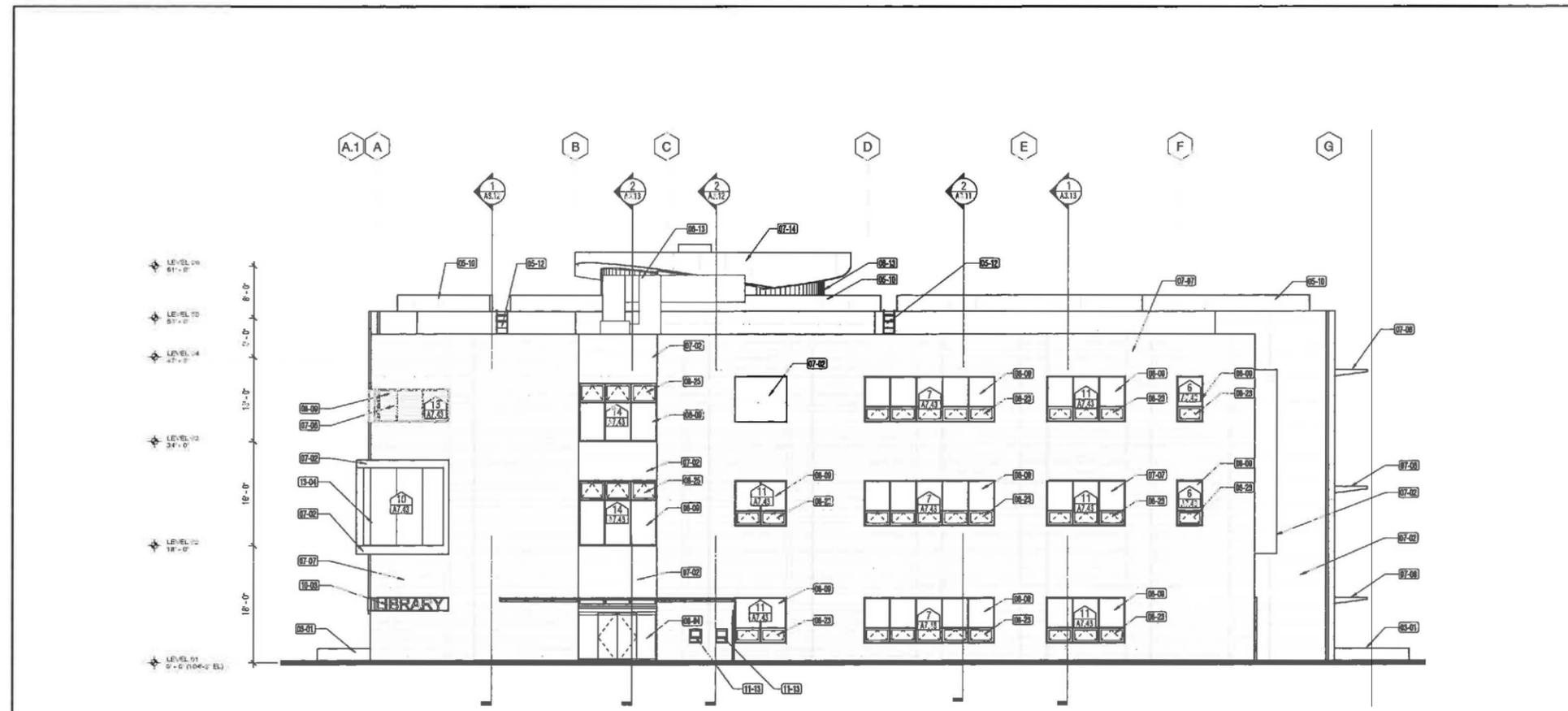


**2 SOUTH ELEVATION**  
1/8" = 1'-0"

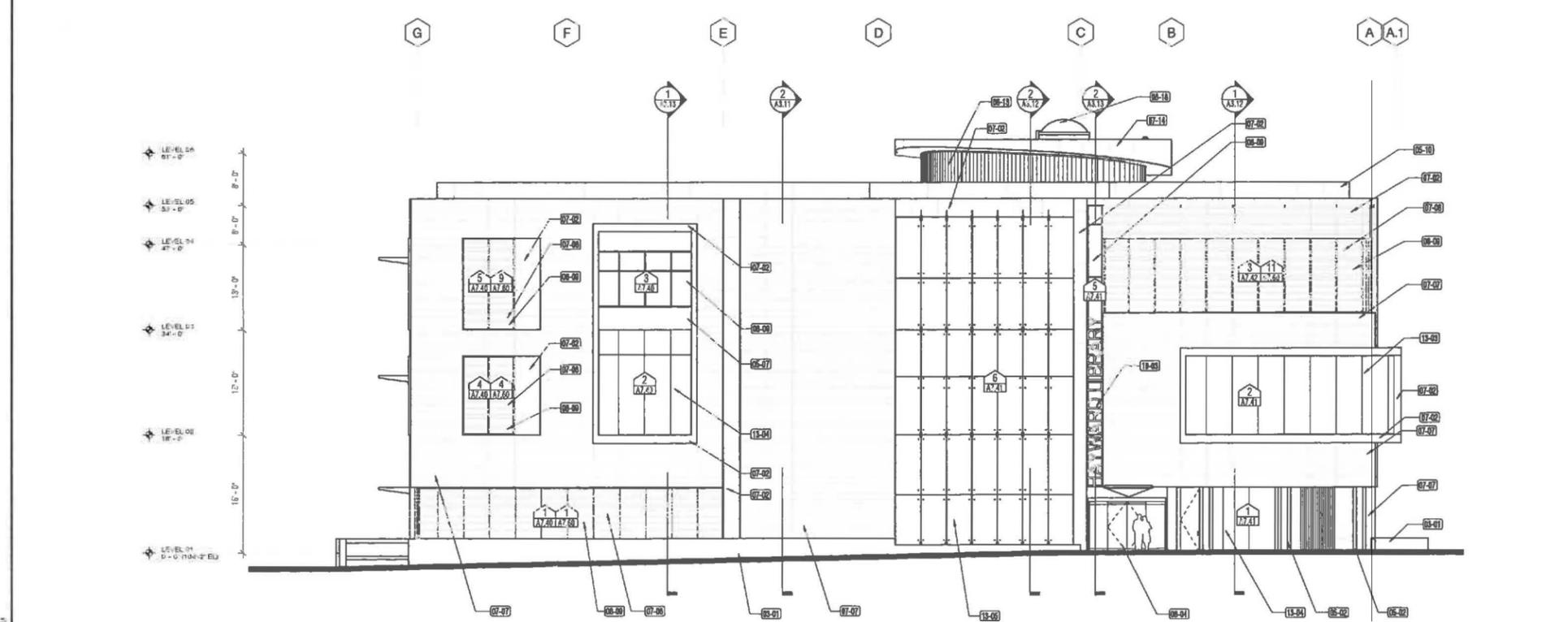
KEY NOTES:

Key Value	Key Note Text
03-01	FORMED CONCRETE SITE WALL, 6" THICK FORMED FINISH WITH INTEGRAL COLORED. SEE SPEC SECTION 12 12 20
04-02	CONCRETE MASONRY WALL, SEE SPEC SECTION 04 22 00
05-02	1/2" TUBE STEEL COLUMN W/ INTUME-SCENT PAINT, SEE SPEC SECTION 05 12 13
05-07	GLASS GUARDRAIL, ALUMINUM GLAZING SHOE WITH STRAIGHT/FLARED 1/2" TEMPERED GLASS PANELS AND STAINLESS STEEL HANDRAIL, SEE SPEC SECTION 05 13 13
05-10	MECHANICAL CURTAIN, DECORATIVE PERFORATED ALUMINUM PANEL ON STEEL TUBE SUPPORT RAILING, SEE SPEC SECTION 05 75 00
07-02	ALUMINUM METAL PLATE WALL PANELS, DRY-JOINT PREFABRICATED ALUMINUM PANELS ON RAINSCREEN SUPPORT SYSTEM, SEE SPEC SECTION 07 42 13
07-06	TERRAZZOTA PLUNGEEEN CLADDING, BAGUETTE SHADING SYSTEM ON ALUMINUM PLATE FRAME, SEE SPEC SECTION 07 42 51
07-07	TERRAZZOTA RAINSCREEN CLADDING, STANDARD 12"x18" MODULE W/ MID-POINT REveal, SEE SPEC SECTION 07 42 50
07-08	ALUMINUM METAL PLATE CANOPY, DRY-JOINT PREFABRICATED ALUMINUM PANELS ON SUPPORT FRAME, SEE SPEC SECTION 07 42 13
07-14	PREFINISHED ALUMINUM SHEET METAL FACIA, 1/4" PANEL SECTION, CONTINUOUS CLEAT AT VERTICAL SPANS, SEE SPEC SECTION 07 71 00
08-09	ALUMINUM FRAMED STOREFRONT, PREFINISHED ALUMINUM FRAME, 1" INSULATED GLAZING, SEE SPEC SECTION 08 41 12
08-13	TRANSLUCENT LINEAR CHANNEL GLAZING SYSTEM, EXTERIOR THERMALLY BROKEN DOUBLE GLAZED, SEE SPEC SECTION 08 45 11
08-18	UNIT SKYLIGHT, ALUMINUM FRAMED CURB MOUNTED ROUND SKYLIGHT DOME SKYLIGHT WITH AEROGEL INSULATION, SEE SPEC SECTION 08 82 00
08-25	ALUMINUM FRAMED WINDOW, AWNING OUT FUNCTION W/ AUTOMATIC ACTUATOR, SEE MECHANICAL FOR CONTROLS AND POWER, SEE SPEC SECTION 08 41 13
13-03	FRAMELESS GLASS STOREFRONT SYSTEM, STRUCTURAL STEEL FRAME SUPPORT W/ BUTT GLAZED VERTICALS - CUSTOM GLAZING PATTERN, SEE SPEC SECTION 13 34 13
13-04	FRAMELESS GLASS STOREFRONT SYSTEM, STRUCTURAL STEEL FRAME SUPPORT W/ BUTT GLAZED VERTICALS, SEE SPEC SECTION 13 34 13

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2 WEST ELEVATION  
1/8" = 1'-0"



1 EAST ELEVATION  
1/8" = 1'-0"

KEY/NOTES

Key	Keynote Text
01-01	FORMED CONCRETE SITE WALL. SMOOTH FORMED FINISH WITH INTEGRAL COLOR. SEE SPEC SECTION 32 13 20
04-02	CONCRETE MASONRY WALL. SEE SPEC SECTION 04 22 00
05-02	1/2" TUBE STEEL COLUMN. INFLUORESCENT PAINT. SEE SPEC SECTION 05 12 12
05-07	1/2" TEMPERED GLASS PANELS AND STAINLESS STEEL HANDRAIL. SEE SPEC SECTION 05 13 13
05-10	MECHANICAL SCREEN. DECORATIVE PERFORATED ALUMINUM PANEL ON STEEL TUBE SUPPORT RAILING. SEE SPEC SECTION 05 75 00
05-12	ACCESS LADDER. WELDED STEEL B/R. GALVANIZED WITH PAINT FINISH. SEE SPEC SECTION 01 21 00
07-02	ALUMINUM METAL PLATE WALL PANELS. DRY-JOINT PREFABRICATED ALUMINUM PANELS ON HANGDOWN SUPPORT SYSTEM. SEE SPEC SECTION 07 42 13
07-06	TERRAZZOTA SUNSCREEN CLADDING. "BAJAZETTE" SHADING SYSTEM ON ALUMINUM LATE FRAME. SEE SPEC SECTION 07 42 51
07-07	TERRAZZOTA RAINSCREEN CLADDING. STAINLESS STEEL 480 1/2" X 1/2" MODULES. MID-JOINT REVEAL. SEE SPEC SECTION 07 42 50
07-08	ALUMINUM METAL PLATE CANOPY. DRY-JOINT PREFABRICATED ALUMINUM PANELS ON SUPPORT FRAME. SEE SPEC SECTION 07 42 13
07-14	PREFINISHED ALUMINUM SHEET METAL FACED 24" PANEL SECTIONS. CUMING/OLDS CLERESTY AT VERTICAL SEAMS. SEE SPEC SECTION 07 71 00
08-04	SLIDING AUTOMATIC ENTRANCE. ALUMINUM FRAMED. FULL EGRESS BREAKOUT PANELS. FINISH BY MFR. SEE SPEC SECTION 08 42 23 23
08-09	ALUMINUM FRAMED STOREFRONT. PREFINISHED ALUMINUM FRAME. 1" INSULATED GLAZING. SEE SPEC SECTION 08 41 11
08-13	TRANSLUCENT LINEAR CHANNEL GLAZING SYSTEM. EXTERIOR THERMALLY BROKEN DOUBLE GLAZED. SEE SPEC SECTION 08 45 11
08-16	UNIT SPOLIGHT. ALUMINUM FRAMED CURB MOUNTED ROUND ACQUADOME SPOLIGHT WITH AEROSOL INSULATION. SEE SPEC SECTION 08 02 00
08-23	ALUMINUM FRAMED WINDOW. AWNING OUT FUNCTION. SEE SPEC SECTION 08 41 13
08-25	ALUMINUM FRAMED WINDOW. AWNING OUT FUNCTION. AUTOMATIC ACTUATOR. SEE MECHANICAL FOR CONTROLS AND POWER. SEE SPEC SECTION 08 41 13
10-03	FABRICATED METAL SIGNAGE. BRUSHED STAINLESS STEEL SIGNAGE WITH RETURNING ON LETTERS. SEE SPEC SECTION 10 14 00
11-13	EQUIPMENT. DFCI STAINLESS STEEL BOOK RETURN UNIT. SEE SPEC SECTION 11 00 10
12-03	FRAMELESS GLASS STOREFRONT SYSTEM. STRUCTURAL STEEL FRAME SUPPORT WITH BUTT GLAZED VERTICAL. CUSTOM GLAZING FINISH. SEE SPEC SECTION 13 24 13
13-34	FRAMELESS GLASS STOREFRONT SYSTEM. STRUCTURAL STEEL FRAME SUPPORT WITH BUTT GLAZED VERTICAL. SEE SPEC SECTION 13 24 13
13-05	DOUBLE SUPPORTED SYSTEM WALL. POINT SUPPORTED DOUBLE GLAZING WITH LAMINATED GLASS VERTICAL. HANGING FINIS. SEE SPEC SECTION 13 24 13

noll tam & architects and planners

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PROJECT TITLE  
**CITY OF HAYWARD  
21ST CENTURY LIBRARY &  
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22695 MESSON BLVD  
HAYWARD CA 94541

APPROVALS

ARCHITECTS SEAL

ISSUE TITLE  
**PERMIT ISSUE**

ISSUE DATE 3/17/2015  
NOLL & TAM JOB NUMBER 21235.00

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A3.01**

**Arlynn Camire**

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**From:**  
**Sent:** Thursday, April 02, 2015 10:14 AM  
**To:** Arlynn Camire  
**Cc:** Kevin Briggs  
**Subject:** Ref:201501354 SPR & VAR

Hi Arlynn;

Its been long time since we chat. Hope things are going well for you. I just got mail regarding Hayward public library proposal at C Street and Mission Boulevard. I think its great concept and support it fully. This will bring hayward residents to our downtown and start appreciating beautiful renovation done in and around the loop.

Only one concern. I remember in past that there was some ordinance regarding "distance between public library and alcohol". As you know, I am entertaining national franchise sit-down diner or Micro brewery concepts at my property Located at 926 B Street.

So the question is this;

Will this new library location impact any businesses serving alcohol on B street? if so, can we make an exception to this ordinance? If not, I highly recommend sending out notices to property owners regarding changes so that we can look for appropriate tenants.

Dinesh Shah

926 B Street, Hayward

FACILITIES, ASSET MANAGEMENT



April 10, 2015

Ms. Arlynn J. Camire  
Associate Planner  
City of Hayward  
Development Services Department, Planning Division  
777 B Street  
Hayward, CA 94541-5007

SUBJECT      Comments to Notice of Intent to Adopt a Mitigated Negative Declaration for  
Hayward 21<sup>st</sup> Century Library & Community Learning Center Project-Site Plan  
Review and Variance No. 201501354

Dear Ms. Camire:

The United States Postal Service ("Postal Service") is providing comment to the above referenced notice dated March 24, 2015 which states written comments will be accepted until April 23, 2015.

On page MND-5 of the report reference is made to mitigation measures related to the Postal Service property. The "Noise-2" item indicates the City will baseline the condition of the Postal Service's building and will make repairs of any damage the project causes on the building. The Postal Service is generally supportive of this concept. However, the mitigation listed should be clarified.

Because the building is eligible for the National Register of Historic Places, any repairs to the Postal building must follow the Secretary of the Interior's Standards for the Treatment of Historic Properties (36 CFR Part 68) and must be approved by the Postal Service Federal Preservation Officer before such repairs may be performed.

Adding these additional clarifications to the Noise-2 mitigation, and stating the City will bear the repair costs, would satisfy the Postal Service concerns with this report.

Regards,

  
Jody Lowe  
Real Estate Specialist

PO Box 27497  
GREENSBORO, NC 27498-1103

VISIT US @ USPS.COM