



CITY OF HAYWARD
AGENDA REPORT

Meeting Date 09/22/05
Agenda Item 2

TO: PLANNING COMMISSION

FROM: Arlyne J. Camire, AICP, Associate Planner
Andrew S. Gaber, P.E., Development Review Engineer

SUBJECT: **Site Plan Review PL-2005-0264/ Tentative Map Tract 7402 PL-2005-0263 – Ron Esau for R.V. Esau Development Company, Inc. (Applicant/Owner) - Request to Create Seven Parcels and Construct Seven Detached Single-Family Residences**

The Property Is Located at 2609 Hillcrest Avenue and 26220 Hayward Boulevard at Tribune Avenue, in the Single-Family Residential (RS) District - Minimum 6,000 square feet Subdistrict (B6)

RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Find the proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) guidelines, Section 15332, class 32 In-Fill Development; and
2. Approve the Site Plan Review and Tentative Tract Map applications, subject to the attached findings and conditions of approval.

DISCUSSION:

Project Description

The site consists of five parcels totaling 2.96 acres and is currently vacant. The site slopes downward from Hillcrest Avenue at a 3:1 slope or greater toward Hayward Boulevard and Tribune Avenue. The elevation differential of the pads on the lots vary between 12 to 28 feet. The site contains 24 Blue Gum Eucalyptus trees, a California Live Oak and a California Pepper Tree. The oak would be moved and replanted while and the other trees would be replaced with oak and other native trees. The site is bounded by single-family homes to the north and east. A California State University parking lot and a condominium development are located to the west across Hayward Boulevard. To the south, across Tribune Avenue, is a vacant 1.3 acre single-family residential parcel.

The applicant proposes to subdivide the property into seven lots. Lots 1 and 2 front on Hillcrest Avenue, while Lots 3 thru 7 would be served by a two-way private drive that would be accessed from Tribune Avenue and exit onto Hayward Boulevard. The parcels would range in size from 10,720 to 30,220 square feet. The houses would range from 2,811 to 3,411 square feet of living area. The applicant proposes homes that are designed with Mediterranean, Craftsman and contemporary style elements with tile roofs and stucco walls. The designs of the houses respect the topography of the site offering 5 floor plans with 4 bedrooms, 3 or 4 bathrooms and 2- or 3-car garages. Porches, balconies, chimneys, windows, trim, stone and other accents would vary giving the homes a semi-custom appearance. Warm, rich earth colors are proposed that would blend in with the surrounding hillside.

The designs of the homes vary to create interesting street views with the exception of the line of homes proposed on Lots 4, 5 and 6 that would face Hayward Boulevard. These three homes are to be built on similar slopes and have the same floor plan and massing. To create more variation, the applicant slightly modified the floor plan of the home on Lot 6. However, staff is of the opinion that the modifications are not enough to change the basic design of the home and thereby avoid a "cookie cutter" appearance of the three homes that would be prominently sited above Hayward Boulevard. Therefore, staff recommends that one of the three homes be redesigned.

No parking would be allowed along the private drive however or on the adjacent streets. However, each lot meets the City's parking requirement by providing either a 3- or 2-car garage along with two uncovered parking spaces outside of the 20-foot front yard.

Tentative Tract Map and Utilities

The project consists of 7 parcels developed with 7 single family homes. A homeowners association will be formed to maintain the common private driveway, the landscaped area between the private drive, and adjacent to, Hayward Blvd. and the small detention pond. The developer will be required to construct frontage improvements along Hillcrest Avenue, Tribune Avenue, Hayward Boulevard and the private drive.

The existing utilities abutting the subdivision, water, sanitary sewer, electrical, gas, telephone and cable can adequately serve the project. A sanitary sewer main will be extended thru the private drive within the subdivision and will be a public system, owned and maintained by the City of Hayward. The on-site storm drain system will be a private system owned and maintained by the homeowners association. Existing overhead utilities along Hillcrest Avenue, Tribune Avenue and Hayward Boulevard abutting the development will be undergrounded as appropriate.

The two homes fronting onto Hillcrest Avenue will have standard driveway approaches. The lower homes will access a private drive that extends from Tribune Avenue to Hayward Boulevard. The private drive is designed for two way traffic to allow residents to enter and exit onto Tribune Avenue but they will only be able to exit onto Hayward Boulevard. In addition, the developer will be extending the median within Hayward Boulevard to prevent vehicles from making a left turn into the lower end of the drive.

Environmental Review

The project is exempt from environmental review as defined by the California Environmental Quality Act (CEQA) Guidelines Section 15332, Class 32 In-Fill Development. The project is less than five acres and is consistent with the General Plan, General Plan Polices and the Single-Family Residential Zoning District. The site is surrounded by urban uses and has no value as a habitat for endangered, rare or threatened species. The project would also not result in any significant effects relating to traffic, noise, air quality or water quality and the site can be adequately served by all required utilities and public services.

PUBLIC NOTICE:

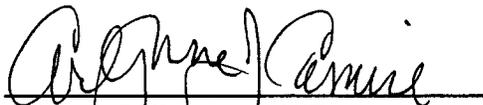
On June 23, 2005, a preliminary meeting for the tentative tract map and the project was held. It was attended by two nearby property owners who felt that the project would be attractive and would fit into the neighborhood. In addition, they were concerned that Hillcrest Avenue would be damaged by construction equipment and vehicles during construction, construction staging and privacy. The applicant has agreed to conditions of approval that require repair to streets, keeping an on-site construction staging area and planting additional trees on the northeast portion of the site to act as a buffer to the home on Hillcrest Avenue.

On September 8, 2005, a public hearing notice was mailed to property owners and residents within 300 feet of the property, to the Hayward Area Planning Association, Old Highland Homeowners Association, Hayward Highlands Neighborhood Task Force and all other interested parties who requested such notice. Staff has received one phone call in support from a property owner who owns several properties within the neighborhood.

CONCLUSION:

The homes are large lots, attractive, well designed and compatible with the surrounding neighborhood. It is recommended that the Planning Commission approve this project, subject to the conditions of approval.

Prepared by:



Arlynn J. Camire, AICP
Associate Planner



Andrew S. Gaber, P.E.
Development Review Engineer

Recommended by:



Richard Patenaude, AICP
Acting Planning Manager

Attachments:

- A – Area Map
- B – Findings for approval – SPR 2005-0264
- C – Conditions of approval – SPR 2004-0264
- D – Findings for approval – TTM 7402
- E – Conditions of approval – TTM 7402
Tentative Map and Project Plans



Area & Zoning Map

PL-2005-0264

Address: 2609 Hillcrest Ave. & 26220 Hayward Blvd

Applicant: Ron Esau

Owner: Esau Development Company, Inc.



CN - Neighborhood Commercial

RH - High Density Residential (Min. Lot Area - 1,250 Sq Ft)

RS - Single Family Residential (Min. Lot Size - 4,000 Sq Ft)

RSB10 - Single Family Residential (Min. Lot Size - 10,000 Sq Ft)

RSB6 - Single Family Residential (Min. Lot Size - 6,000 Sq Ft)

CITY OF HAYWARD
Planning Division
Site Plan Review Application No. PL 2005-0264
2609 Hillcrest Avenue and 26220 Hayward Boulevard
September 22, 2005

FINDINGS FOR APPROVAL

- A. Approval of Site Plan Review Application No. PL-2005-0264 authorizes the development of 7 detached single family dwellings. This project is exempt from the provisions of California Environmental Quality Act pursuant to Section 15332, Class 32 (b), In-Fill Development.
- B. The project is compatible with surrounding structures and is an attractive addition to the neighborhood, in that it is consistent with new development in the area and that street improvements would be made to tie into other developments.
- C. The project takes into consideration the physical and environmental constraints in that street improvements would be installed and non native trees will be replaced with native species. This would improve the roadway and maintain the character of the neighborhood.
- D. The project as conditioned complies with applicable City polices including the City's Design Guidelines, The Hillside Design and Urban/Wildland Interface Guidelines, and the Single-Family Residential, Combining District B6 minimum design and performance standards in that it meets all the setback, height, parking and lot coverage requirements.
- E. The project as conditioned will be operated in a manner acceptable and compatible with surrounding development in that a homeowner's association is required and it will be responsible to comply with the conditions imposed on this project as well as other city regulations.

CITY OF HAYWARD
Planning Division
Site Plan Review Application No. PL 2005-0264
2609 Hillcrest Avenue and 26220 Hayward Boulevard
September 22, 2005

CONDITIONS OF APPROVAL

General

1. Site Plan Review Application No. PL-2005-0264 is approved subject to the plans labeled Exhibit "A" and the conditions listed below. This permit becomes void one year after the effective date of approval, unless (a) either a building permit has been issued or a building permit application has been submitted for processing and said application has not expired; or (b) residential occupancy has commenced in accordance with all applicable conditions of approval. A request for a one-year extension, approval of which is not guaranteed, must be submitted to the Planning Division at least 15 days prior to September 22, 2006.
2. If a building permit is issued for construction of improvements authorized by the administrative use permit approval, the administrative use permit approval shall be void two years after issuance of the building permit, or three years after approval of the application, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance upon the administrative use permit approval.
3. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
4. The homes on Lots 4, 5 or 6 shall not be repetitive in design and no two homes of similar design are set side by side. The redesign shall be to the satisfaction and approval of the Planning Director.
5. Prior to the sale of any house, or prior to the acceptance of tract improvements, whichever occurs first, a Homeowners' Association shall be created to maintain the common area landscaping and the driveways. The Conditions, Covenants and Restrictions shall be reviewed and approved by the Planning Director prior to recordation. A reserve fund shall be established and maintained to cover replacement and major repair costs.

6. Each owner shall automatically become a member of the Homeowners' Association and shall be subject to a proportionate share of maintenance expenses.
7. Any graffiti painted on the property shall be painted out or removed within 72 hours of occurrence or notification by the City's Community Preservation Officer.
8. The garages shall be maintained for off-street parking and shall not be converted to a living or storage area. Individual laundry facilities, water heaters or HVAC units shall not be located within required off-street parking within the garages. An automatic garage door opening mechanism shall be provided for all garage doors.
9. The CC&Rs shall include provisions for towing unauthorized vehicles from the site.
10. The Homeowners' Association shall maintain in good repair all common area walls, fences lighting, drainage facilities, driveways, parking areas, and any other project features in the common area. The premises shall be kept clean and free of debris at all times.
11. If the Homeowners' Association fails to maintain the common landscaping and common irrigation and common driveway, so that owners, their families, tenants, guests or adjacent owners suffer or will suffer substantial diminution in the enjoyment, use of property value of the project, the City of Hayward shall have the right to enter upon the project and to commence and complete such work as is necessary to maintain the common areas, after reasonable notice, and lien the properties for their proportionate share of the costs.
12. A privacy fence shall be built prior to the commencement of construction activities. The fence shall be located on the property lines that are shared with properties that have been developed with homes.
13. All adjacent driveways shall be accessible during construction.
14. The driveways of each lot are required to be paved with decorative concrete pavers. The design shall be approved by the Planning Director.
15. A colors and materials board to be approved by the Planning Director shall be submitted with the building permit application.
16. Exterior lighting shall be designed by a qualified illumination engineer, and erected and maintained so that adequate lighting is provided in all public access areas. The Planning Director shall approve the design and location of lighting fixtures, which shall reflect the architectural style of the buildings. Exterior lighting shall be shielded and deflected away from neighboring properties and the new single-family homes.

17. Individual recycling, green waste and trash containers shall be kept within the garage of each unit or behind a fence or wall except upon pick-up day. The location of the containers shall be indicated on revised plans.
18. Violation of these conditions or the Hayward Municipal Code is cause for revocation of permit after a public hearing before the duly authorized review body.

Landscaping

19. The required street trees shall be 20 feet from the corner, 10 feet from a light pole and 5 feet from any utility. Trees shall be planted according to the City Standard Detail SD-122.
20. Additional 36-inch box size oak trees shall be planted on the northeast boundary of the project adjacent to 2706 Tribune Avenue (APN 81D-1650-24) and 2647 Hillcrest Avenue (APN 81D-1650-8). A minimum of one tree for every 30 feet along the property line shall be planted.
21. A tree removal permit is required prior to the removal of any protected tree. Replacement trees shall be required for any trees removed, as determined by the Tree Preservation Ordinance and approved by the City Landscape Architect.
22. Trees equal in value to the trees removed must be replanted on the site. If replacement trees are 36-inch box size, the difference in cost between a 36-inch box tree and the minimum required 24-inch box tree may be applied towards the mitigation replacement costs. To maintain the hawk habitat, at least a portion of the mitigation trees should be a tall upright tree species, similar in form to the Eucalyptus trees that are to be removed. Suggested trees include Redwood trees or California Sycamore.
23. Prior to the issuance of a grading or building permit, the developer shall provide a tree preservation bond, surety or deposit, equal in value to the trees to be preserved on the site that are within 50 feet of any grading or construction. Construction fencing shall be provided as necessary to protect any areas that are to remain undisturbed. The bond, surety or deposit shall be returned when the tract is accepted if the trees are found to be in a healthy, thriving and undamaged condition. The developer shall provide an arborist's report evaluating the condition of the trees.
24. Plant material shall be fire, drought and deer resistant. Lists of fire resistant plants can be found in the *City of Hayward Hillside and Urban/Wildland Interface Guidelines* and deer resistant plants can be found in the *Western Sunset Garden Book*. Maximum turf in the front yard of any unit is 50 percent of the landscape area. All landscaping shall extend all the way to the curb or to the approved edge of pavement. Shrubs should not extend in hedges around the

house but should be in natural looking groupings of varying plant sizes. Cascading plants shall be used at the tops of the retaining walls. Vines shall be planted on the lower sides.

25. Use jute netting on all disturbed slopes steeper than 3:1 to protect the slopes until the groundcover becomes established. Live groundcover shall be provided on all slopes. In addition, jute netting and groundcover shall be installed on all sloped areas of the site that are disturbed by this construction including the side and rear of lots.
26. Revise the design of the retention pond to the satisfaction of the City Landscape Architect and the Development Review Services Engineer.
27. Grading and improvement plans shall include tree preservation and protection measures, as required by the City Landscape Architect. Trees shall be fenced at the drip line throughout the construction period and shall be maintained in a healthy condition throughout the construction period.
28. All above ground utilities and mechanical equipment shall be screened from the street with five gallon shrubs.
29. Trees shall be preserved in accordance with the *Tree Preservation Ordinance*. Prior to the commencement of clearing and grading operations, all trees to be preserved or removed shall be indicated on the grading, site and landscape plans. Trees to remain in place shall be noted on the plans and tree protection measures in compliance with City codes shall be noted. A tree removal permit is required prior to the removal of any tree. Replacement trees shall be required for any trees removed, as determined by the City Landscape Architect.
30. A street tree plan and slope landscape and irrigation plans that includes slopes in all front yards, side yards and rear yards, shall be submitted for review and approval by the City Landscape Architect either, prior to approval of improvement plans or prior to the issuance of building permits.
31. All common area landscaping, irrigation and other required improvements shall be installed prior to acceptance of tract improvements, or occupancy of 80 percent of the dwelling units, whichever first occurs. All individual lot landscaping shall be installed prior to occupancy of each unit and prior to the final acceptance of tract improvements.
32. Landscape improvements and street trees shall be installed according to the approved plans and a Certificate of Substantial Completion, and an Irrigation Schedule shall be submitted prior to the issuance of a Certificate of Occupancy for each unit.
33. Prior to the sale of any house, or prior to the acceptance of tract improvements, whichever first occurs, a Homeowners' Association shall be created to maintain the common area landscaping and open space amenities. Each owner shall automatically become a member of the Association and shall be subject to a proportionate share of maintenance expenses. A reserve fund shall be maintained

- to cover the costs of replacement and repair of all improvements shown on the approved plans.
34. Landscaping shall be maintained in a healthy, weed-free condition at all times. The homeowner's association representative shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over 30 percent die-back) shall be replaced within fifteen days of notification to the homeowner. Plants in the common areas shall be replaced within two weeks of the inspection. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected by, and size determined by the City Landscape Architect, within the timeframe established by the City and pursuant to Municipal Code.
 35. A covenant or deed restriction shall be recorded with each lot requiring the property owner to properly maintain the front yard landscaping, slope landscaping, and street trees, and to replace any dead or dying plant material (over 30 percent of the plant dead) within 15 days of first notification. Provisions shall also be made in the deed restrictions to protect views towards the bays by restricting the height of plant materials in the side and rear yards, with the exception of the required street trees, to no more than 5 feet above the highest grade. Solid hedges or fences that do not allow neighboring views through to the Bay shall not be allowed within the side or rear yards.

Public Works, Utilities

36. Each residential unit must have an individual water meter and individual sanitary sewer lateral. Radio read meters are required.
37. Water and Sewer service available subject to standard conditions and fees in effect at time of application for water service.
38. The developer shall provide calculations to show proposed water mains are adequate to supply required fire flows.
39. All water mains to be located 5 feet from face of curb.
40. Show on plans, the gallons per minute water demand so that the proper size meter can be determined.
41. Provide keys/access code/automatic gate opener to utilities for all meters enclosed by a fence/gate as per Hayward Municipal Code 11-2.02.1.
42. Only Water Distribution Personnel shall perform operation of valves on the Hayward Water System.

Public Works, Solid Waste

43. Standard refuse, yard trimmings, and recycling containers shall be used. The total space required for the Standard Service (one 32-gallon garbage cart, one 64-gallon yard trimmings cart, and two 18-gallon recycling bins) is approximately 3 feet by 9 feet. Sufficient space is required to be designated in the garage or behind a fence to allow residents to keep the containers out of public view.
44. Residents are required to place their refuse and yard trimmings carts and recycling bins at the curb for weekly collection service by contracted service providers.
45. Residents should retrieve their carts and bins within 24 hours after collection and store the containers out of view.
46. If side-yard service (any distance greater than 5 feet from the curb) is planned, rather than curbside service, then the resident must pay Waste Management of Alameda County an additional fee per month for that service. Section 3: Garbage/Recycling Collection Vehicle Access shall be met to ensure site plan compliance.
47. The developer shall ensure that all gates and paved paths easily allow a resident to move a 96-gallon cart to their back or side yards.
48. If gates with locks are planned to limit access to the property, then each resident or developer shall provide keys or cards to the garbage company, WMAC (510-537-5500), and to the recycling service provider, CurbCycle (510/537-9963). If keys or cards are not provided, then the resident must ensure that all secured gates are open at 6:00 am for collection.
49. Prior to the issuance of a building permit, the developer shall submit a Solid Waste Program, a Construction & Demolition Debris Recycling Statement, and a Construction & Demolition Debris Recycling Summary Report to the Solid Waste Manager for review and approval.
50. The developer shall ensure that all contractors and sub-contractors recycle their construction and demolition debris. The developer shall obtain all recycled materials receipts from the contractors and sub-contractors. The receipts must demonstrate that the materials were recycled in accordance with the Hayward Municipal Code.
51. In order to comply with the City's franchise agreement with Waste Management of Alameda County, contractors must remove their construction and demolition debris from a project site in one of the following ways:
 - a. The contractor removes the materials as an incidental part of a total construction, remodeling, or demolition service offered by him/herself,

(rather than as a separately contracted or subcontracted hauling service) using debris boxes or similar containers; or

- b. The contractor removes the materials by directly loading them onto a fixed body vehicle and hauling them directly to a recycling facility that holds all applicable permits.

Public Works, Engineering

- 52. Applicant/Developer shall designate a “noise disturbance coordinator” who will be responsible for responding to any local complaints about construction noise. Letters shall be mailed to surrounding property owners and residents (within 300 feet of the project boundary) with this information.

**FINDINGS FOR APPROVAL
TENTATIVE TRACT MAP 7402**

1. The approval of Tentative Map Tract 7402, as conditioned, will have no significant impact on the environment, cumulative or otherwise. The project is Categorically Exempt per Section 15332 of the California Environmental Quality Act (CEQA), In Fill Development.
2. The tentative tract map substantially conforms to the State Subdivision Map Act, the City's Subdivision Regulations, the General Plan, and the City of Hayward Zoning Ordinance.
3. The site is physically suitable for the proposed type of development.
4. The design of the subdivision and the proposed improvements are **not** likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
5. The design of the subdivision and the proposed improvements are **not** likely to cause serious health problems.
6. Existing streets and utilities are adequate to serve the project.
7. None of the findings set forth in Section 64474 of the Subdivision Map Act¹ have been made.

¹ The findings of Section 66474 set forth the grounds for denial of a tentative map which are as follows:

- (a) That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.
- (b) That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.
- (c) That the site is not physically suitable for the type of development.
- (d) That the site is not physically suitable for the proposed density of development.
- (e) That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- (f) That the design of the subdivision or type of improvements is likely to cause serious public health problems.
- (g) That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property with the proposed subdivision.

**CONDITIONS OF APPROVAL
TENTATIVE TRACT MAP 7402**

Unless otherwise stated, all necessary easements shall be dedicated, and all improvements shall be designed and installed at no cost to the City of Hayward.

All improvements shall be designed and constructed in accordance with the City of Hayward Municipal Code – Chapter 10, Article 3, and Standard Specifications and Details – unless otherwise indicated hereinafter.

The applicant/developer's engineer shall perform all design work unless otherwise indicated.

IMPROVEMENTS

Improvement plans shall be submitted to the City Engineer for review and approval. Subject plans shall, in addition to the standard improvements, incorporate the following special design requirements:

Hillcrest Avenue

1. An Encroachment Permit must be obtained prior to the start of any construction within the public right-of-way.
2. Curb, gutter and conform paving shall be constructed across the entire project frontage. Handicap ramps shall be installed where required by the City Engineer. Trees along the street frontage shall be protected in place and shall remain unless removal is authorized by the City Landscape Architect.
3. New standard streetlights shall be installed along the street frontage. The design and location shall be approved by the City Engineer.
4. Existing overhead utilities along the projects side of Hillcrest Avenue shall be undergrounded.

Hayward Boulevard

5. Curb, gutter, sidewalk and conform paving shall be constructed across the entire project frontage. Handicap ramps shall be installed where required by the City Engineer. Trees along the street frontage shall be protected in place and shall remain unless removal is authorized by the City Landscape Architect. Overhead utilizes along the street frontage shall be undergrounded.

6. The curb return at the intersection of Hayward Boulevard and Tribune Avenue shall be designed to have a minimum radius of 30 feet. The existing traffic signal and appurtenances shall be relocated if necessary to provide the proper clearances.
7. The existing curb inlets and storm drain at this corner of the intersection shall be relocated to match the new curb alignment and provide necessary clearances.
8. The existing median within Hayward Boulevard. shall be extended westerly, away from the intersection, to prevent vehicles from making left turns into the lower end of the private drive. The design and layout of this extension shall be reviewed and approved by the City Engineer prior to construction.

Tribune Avenue

9. Curb, gutter and conform paving shall be constructed across the entire project frontage. The half street adjacent to the project shall be overlaid with a minimum of 2 inches of A.C. The exact thickness shall be determined during design of the frontage improvements and shall be reviewed and approved by the City Engineer.
10. Existing overhead utilities along Tribune Avenue shall be undergrounded.
11. New standard street lights shall be installed along the street frontage. The design and location shall be approved by the City Engineer.
12. The intersection with the private drive shall be designed as a driveway entrance per City Standard Detail SD-110, not as a street type intersection.
13. Existing drainage inlets shall be reconstructed or relocated as necessary to match the new curb and gutter.

Private Driveway

14. The private drive shall be 22 feet curb to curb to allow for two travel lanes. The driveway shall be designed with standard curb and gutter and shall be constructed to public street standards.
15. The intersection of the private drive with Tribune Avenue shall be designed as a driveway approach. The intersection of the private drive with Hayward Boulevard. shall be designed as a standard street intersection, and shall be configured so that private vehicles can exit only, but emergency vehicles may enter and exit.
16. The private driveway shall be designated as a fire lane and no parking will be allowed. Curbs shall be painted red and fire lane signage installed every 100 linear feet. Installation of red-curb and signs shall meet Fire Department and City Engineer standards.

17. Streetlights and pedestrian lighting shall be installed along the entire length of the private drive. Poles and fixtures will be owned and maintained by the homeowners association and shall have a decorative design approved by the Planning Director and the City Engineer.
18. Driveways shall be a minimum of 20 feet deep between the back of curb or back of sidewalk, as appropriate.

Landscaping and Irrigation

19. Prior to the approval of the improvement plans a detailed landscaping and irrigation plan for the site shall be prepared by a licensed landscape architect and submitted for review and approval by the City's Landscape Architect. Planting and irrigation shall comply with the City's *Water Efficient Landscape Ordinance*.
20. Provide street trees on both the private driveway and the public streets. Trees are required to be planted at 20 to 40 feet on-center depending on the species of tree. Thirteen street trees are required along Hayward Boulevard and seven trees are required along Tribune Avenue. If species smaller or narrower than an Oak is used, such as Redbud or Redwood, the number is required to be doubled. Along the "south" side of the tentative tract, an additional 15 to 29 trees are required. Two to four additional trees are required along Hayward Boulevard at the west end to the access to the private drive. Each lot shall have one street tree for every 50 feet or portion thereof. Lot 1 requires two additional trees. Lot 2 requires one additional tree. Lot 3 requires two additional trees along the private drive. Lot 4 requires two trees along the private drive. Lot 5 requires two additional trees. Lot 6 requires two additional trees. Lot 7 requires five additional street trees along the private drive. All trees shall be 24-inch box trees. Required street trees are not be counted as mitigation for replacement of the trees that are removed from the site.
21. Within all required landscape areas, a complete automatic sprinkler system with an automatic on/off mechanism shall be installed. A hose bib shall be provided within each private yard.

Storm Drainage

22. The on-site storm drain system shall be a private system owned and maintained by the homeowners association or property owners.
23. The Hydrology and Hydraulics Criteria Summary, Alameda County Flood Control and Water Conservation District, latest edition shall be used to determine storm drainage runoff. A detailed grading and drainage plan with supporting calculations and a completed Drainage Review Checklist shall be approved by the Alameda County Flood Control and the City Engineer. The hydrology study shall substantiate that there will be no net increase in the quantity of runoff from the site versus the flow rate derived from the

original design of downstream facilities. If there is augmented runoff, off-site and/or on-site mitigation measures will be necessary.

24. A Storm Water Pollution Prevention Plan (SWPPP) showing how storm water quality will be protected during and after construction shall be submitted for review and approval of the City Engineer.
25. The developer shall provide a copy of the Notice of Intent filed with the State Water Resources Control Board, prior to the issuance of a grading permit for the project site.
26. The project plans shall identify and incorporate Best Management Practices (BMPs) appropriate to the uses conducted onsite to effectively prevent the entry of pollutants into storm water runoff to the maximum extent practicable. Roof leaders shall discharge into a landscaped area prior to storm runoff entering a pipe system.
27. The proposed BMP's shall be designed to comply with the hydraulic sizing criteria listed in Provision C.3.d of the Alameda Countywide Clean Water Program NPDES permit (page 22.) In addition, the California Stormwater Quality Association's Stormwater Best Management Practice Handbook New Development and Redevelopment, subsection 5.5 on pages 5 -12 has a section title "BMP Design Criteria for Flow and Volume." This handbook is available on their website, www.cabmphandbooks.com.
28. The developer shall prepare a Maintenance Agreement for storm water BMP's constructed as part of this project. The Maintenance Agreement shall be reviewed and approved by the City prior to recordation with the Alameda County Recorder's Office. The Agreement shall be recorded to ensure that the responsibility for maintenance is bound to the property in perpetuity.
29. The project street shall be designed to facilitate street sweeping. The Home Owners Association shall be responsible for street sweeping on a regular basis.
30. The project plan measures shall also include erosion control measures to prevent soil, dirt, debris and contaminated materials from entering the storm drain system, in accordance with the regulations outlined in the *ABAG Erosion and Sediment Control Handbook*.
31. The applicant/developer is responsible for ensuring that all contractors are aware of all storm water quality measures and implement such measures. Failure to comply with the approved construction BMPs will result in the issuance of correction notices, citations or a project stop order.
32. The project shall not block runoff from, or augment runoff to, adjacent properties. The drainage area map developed for the hydrology design shall clearly indicate all the areas tributary to the project area. The developer is required to mitigate augmented runoffs with off-site and/or on-site improvements.

33. All storm drain inlets must be labeled "No Dumping - Drains to Bay" using City approved methods.
34. Storm water inlets shall be installed at the curb face per the City of Hayward Standard Details. The design and location shall be approved by the City Engineer.

Sanitary Sewer System

35. Sanitary sewer service is available from the City of Hayward, subject to standard conditions and fees in effect at the time of application. Each home must have a separate sanitary sewer lateral.

Water System

36. Water service is available from the City of Hayward, subject to standard conditions and fees in effect at the time of application for water service.
37. Each unit must have a separate radio read water meter. A separate water meter must be installed for the landscaped area between the private drive and Hayward Boulevard.
38. Two fire hydrants shall be provided on the private drive within the development and a new fire hydrant shall be installed on Hayward Boulevard. The locations of all hydrants shall be approved by the Fire Department prior to start of construction. Fire hydrant locations shall be identified with blue reflective pavement markers installed in the street adjacent to the fire hydrant.
39. The fire hydrant that is being relocated on Hillcrest Avenue shall be installed per City of Hayward standards.
40. Fire hydrants shall be modified double steamer type which shall be installed per City standards. Crash post protection may be required for the fire hydrant if it is installed in an unprotected area susceptible to potential vehicular impact.
41. Fire flow requirements for this development shall be 1,500 gallons per minute at 20 psi for a two-hour duration.

Utilities

42. All utility services shall be "underground service" designed and installed in accordance with the Pacific Gas and Electric Company, SBC and Comcast regulations. Transformers, and switch gear cabinets, shall be placed underground unless otherwise approved by the Planning Director and the City Engineer. Underground utility plans must be submitted for City approval prior to installation.
43. The joint trench for the homes must be placed so as not to conflict with the installation of required street trees and landscaping.

44. The developer shall provide and install the appropriate facilities, conduit, junction boxes, etc., to allow for installation of a fiber optic network within the subdivision.
45. All proposed surface-mounted hardware (fire hydrants, electroliers, etc.) along the proposed streets shall be located outside of the sidewalk within the proposed Public Utility Easement in accordance with the requirements of the City Engineer or, where applicable, the Fire Chief.
46. All utilities shall be designed in accordance with the requirements of the City of Hayward and applicable public agency standards.

Fire Protection

47. The proposed homes are within the *City of Hayward Wildland/Urban Interface Guidelines*. A fuel management plan shall be prepared by a qualified consultant. The report shall be reviewed and approved by the Fire Marshal prior to the start of construction of any structures. The fuel management plan shall be recorded. Buildings construction requirements shall meet, but not be limited to the following items:
 - a. Each house requires interior smoke detectors (hard wired with battery backup) per the CBC.
 - b. Class A roofing materials.
 - c. Exterior non-combustible siding materials.
 - d. Double-paned windows.
 - e. Attached decks are required to be protected with automatic fire sprinklers (if of combustible construction.) Otherwise, decks shall be constructed of heavy timber or non-combustible building and construction materials.
 - f. Spark arrestors are required on each chimney cap.
 - g. Each structure shall be protected with an automatic fire sprinkler system designed per NFPA 13-D (Modified) Standards to include fire sprinkler protection within the garages and attic spaces, under combustible (attached) decks and /or balconies, within crawl spaces, porch area and foyers, and any other vulnerable area of the structure where the Fire Department may deem necessary for protection. Structures in excess of 5,000 square feet may be **require to meet**
 - h. Each structure shall have an exterior alarm bell installed on the fire sprinkler riser.
 - i. Each structure shall have an interior alarm bell installed within the structure, which will activate upon any waterflow activity. The location of the interior alarm bell shall be in a location approved by the Fire Department.
 - j. Each structure shall have an exterior alarm bell installed on the fire sprinkler riser.
 - k. Each structure shall have an interior alarm bell installed within the structure, which will activate upon any waterflow activity. The location of the interior alarm bell shall be in a location approved by the Fire Department.
 - l. Single-station smoke detectors shall be installed within each structure as per the California Building Code.

48. Addressing for each home shall be assigned and approved by the Fire Department. Numbers shall be a minimum of 4-inches in height (self-illuminated) or 6-inch tall if on a contrasting background, and be visible from the street.

Retaining Walls

49. All retaining walls shall be constructed with decorative reinforced concrete. The exposed face of any retaining wall shall not exceed 6 feet from ground to top of wall.

Dedications, Easements and Deed Restrictions

50. The final map shall reflect:
 - a. Dedication of right-of-way along Tribune Avenue, Hayward Boulevard and Hillcrest Avenue to allow widening of the street to its ultimate width.
 - b. Five-foot-wide public utility easements (PUE) along the edge of the public/private streets where necessary as determined by the City Engineer.
 - c. Dedication of appropriate easements over the private driveway for access, egress, water, sewer and other utility lines.
 - d. Dedication of appropriate easements over the area between the edge of the private driveway and Hayward Boulevard to prohibit any future development and ensure joint maintenance responsibilities.

Subdivision Agreement

51. Execute a subdivision agreement and post bonds with the City that shall secure the construction of the public improvements per Section 10-3.332, Security for Installation of Improvements, of the Municipal Code. Insurance shall be provided per the terms of the subdivision agreement.

PRIOR TO CONSTRUCTION WITH COMBUSTIBLE MATERIALS

52. Required water system improvements shall be completed and operational prior to the start of combustible construction to the satisfaction of the Fire Chief.
53. A minimum 22-foot-wide all-weather access road, engineered for 50,000 pounds gross vehicle weight, shall be maintained for emergency vehicle access.

DURING CONSTRUCTION

54. The following control measures for construction noise, grading and construction activities shall be adhered to, unless otherwise approved by the Planning Director or City Engineer:
 - a. Grading and construction activities shall be limited to the hours 7:00 am to 6:00 pm on weekdays and Saturdays; there shall be no grading or construction activities on Sundays or holidays.

- b. Grading and construction equipment shall be properly muffled.
- c. Unnecessary idling of grading and construction equipment is prohibited.
- d. Stationary noise-generating construction equipment, such as compressors, shall be located as far as practical from occupied residential housing units.
- e. Applicant/developer shall designate a "noise disturbance coordinator" who will be responsible for responding to any local complaints about construction noise. Letters shall be mailed to surrounding property owners and residents (within 200 feet of the project boundary) with this information.
- f. The developer shall participate in the City's recycling program during construction.
- g. Daily clean-up of trash and debris shall occur on Hillcrest Avenue, Tribune Avenue and Hayward Boulevard. and other neighborhood streets utilized by construction equipment or vehicles making deliveries.
- h. The site shall be watered twice daily during site grading and earth removal work, or at other times as may be needed to control dust emissions.
- i. All grading and earth removal work shall follow remediation plan requirements, if soil contamination is found to exist on the site.
- j. Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites;
- k. Sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at construction sites.
- l. Apply (non-toxic) soil stabilizers or hydroseed to inactive construction areas (previously graded areas inactive for 10-days or more).
- m. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
- n. Gather all construction debris on a regular basis and place them in a dumpster or other container which is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water pollution.
- o. Remove all dirt, gravel, rubbish, refuse and green waste from the sidewalk, street pavement, and storm drain system adjoining the project site. During wet weather, avoid driving vehicles off paved areas and other outdoor work.
- p. Broom sweep the sidewalk and public street pavement adjoining the project site on a daily basis. Caked on mud or dirt shall be scraped from these areas before sweeping.
- q. No site grading shall occur during the rainy season, between October 15 and April 15, unless approved erosion control measures are in place.
- r. Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site prior to: 1) start of the rainy season; 2) site dewatering activities; or 3) street washing activities; and 4) saw cutting asphalt or concrete, or in order to retain any debris or dirt flowing into the City storm drain system. Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and prevent street flooding. Dispose of filter particles in the trash.
- s. Create a contained and covered area on the site for the storage of bags of cement, paints, flammables, oils, fertilizers, pesticides or any other materials used on the project site that have the potential for being discharged to the storm drain system through being windblown or in the event of a material spill.

- t. Never clean machinery, tools, brushes, etc., or rinse containers into a street, gutter, storm drain or stream. See "*Building Maintenance/Remodeling*" flyer for more information.
 - u. Ensure that concrete/gunite supply trucks or concrete/plasters finishing operations do not discharge washwater into street gutters or drains.
 - v. The applicant/developer shall immediately report any soil or water contamination noticed during construction to the City Fire Department Hazardous Materials Division, the Alameda County Department of Health and the Regional Water Quality Control Board.
55. A representative of the soils engineer shall be on the site during grading operations and shall perform such testing as deemed necessary by the City Engineer. The representative of the soils engineer shall observe grading operations with recommended corrective measures given to the contractor and the City Engineer.
56. The minimum soils sampling and testing frequency shall conform to Chapter 8 of the *Caltrans Construction Manual*. The subdivider shall require the soils engineer to daily submit all testing and sampling and reports to the City Engineer.
57. The developer shall be responsible to adhere to all aspects of the Storm Water Pollution Prevention Plan (SWPPP) as approved per conditions of approval above.
58. Construction Administration services shall be provided by the project landscape architect. Services to include:
- a. Observation of irrigation system before burying pipes.
 - b. Observation of plant material upon delivery to the site.
 - c. Observation of layout and placement of plant material upon delivery to the site.
 - d. Observation for maintenance period commencement.
 - e. Observation for final acceptance.

PRIOR TO CONNECTION OF UTILITIES AND ISSUANCE OF CERTIFICATES OF OCCUPANCY

59. The applicant/developer shall pay the following fees; the amount of the fee shall be in accordance with the fee schedule in effect at the time of issuance of the building permits.
- a. Supplemental Building Construction and Improvement Tax.
 - b. School Tax.
 - c. Park In-lieu fees for each dwelling unit at the rate in effect when the building permit for unit is issued.
60. Any damaged curb, gutter and/or sidewalk along the three street frontages shall be repaired or replaced to the satisfaction of the City Engineer.
61. All common area landscaping, irrigation and other required improvements shall be installed according to the approved plans.

62. The on-site street light electroliers shall be in operating condition as approved by the Planning Director and the City Engineer.

PRIOR TO CITY APPROVAL OF THE TRACT IMPROVEMENTS AS BEING COMPLETED

63. All tract improvements, including the complete installation of all improvements relative to streets, fencing, sanitary sewer, storm drainage, water system, underground utilities, etc., shall be completed and attested to by the City Engineer before approval of occupancy of any unit. Where facilities of other agencies are involved, such installation shall be verified as having been completed and accepted by those agencies.
64. All common area landscaping, irrigation and other required improvements shall be installed prior to acceptance of tract improvements, or occupancy of 80 percent of the dwelling units, whichever first occurs.
65. The improvements associated with the Pacific Gas and Electric Company, SBC and ComCast shall be installed to the satisfaction of the respective companies.
66. The subdivider shall submit an "as built" plan indicating the following:
- a. All the underground facilities, sanitary sewer mains and laterals, water services (including meter locations), Pacific Gas and Electric Company, SBC and Comcast, etc.
 - b. All the site improvements, except landscaping species, buildings and appurtenant structures.

GOLDEN OAK SUBDIVISION

HAYWARD BOULEVARD & TRIBUNE AVENUE
R.V.E. DEVELOPMENT COMPANY, INC.



1. The owner is not to be held responsible for any errors or omissions in this plan or any other documents prepared by the architect or engineer.

2. The owner is not to be held responsible for any errors or omissions in this plan or any other documents prepared by the architect or engineer.

3. The owner is not to be held responsible for any errors or omissions in this plan or any other documents prepared by the architect or engineer.

4. The owner is not to be held responsible for any errors or omissions in this plan or any other documents prepared by the architect or engineer.

5. The owner is not to be held responsible for any errors or omissions in this plan or any other documents prepared by the architect or engineer.

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GOLDEN OAK SUBDIVISION
HAYWARD BLVD. and TRIBUNE AVE.
HAYWARD, CALIFORNIA

PROJECT DATA

SITE DEVELOPMENT DATA:

| | |
|------------------------|--------------|
| LOT 1: | 16,720 S.F. |
| LOT 2: | 12,200 S.F. |
| LOT 3: | 22,880 S.F. |
| LOT 4: | 17,970 S.F. |
| LOT 5: | 15,900 S.F. |
| LOT 6: | 16,630 S.F. |
| LOT 7: | 36,020 S.F. |
| STREETS & DEDICATIONS: | 0 S.F. |
| PROPOSED LOT AREA: | 127,400 S.F. |

LOT DEVELOPMENT DATA:

LOT 1:

| | |
|--------------------|------------|
| MAIN FLOOR AREA: | 2,013 S.F. |
| LOWER FLOOR AREA: | 1,386 S.F. |
| TOTAL LIVING AREA: | 3,411 S.F. |
| GARAGE AREA: | 752 S.F. |

LOT 2:

| | |
|--------------------|------------|
| MAIN FLOOR AREA: | 2,341 S.F. |
| LOWER FLOOR AREA: | 590 S.F. |
| TOTAL LIVING AREA: | 2,931 S.F. |
| GARAGE AREA: | 774 S.F. |

LOT 3:

| | |
|--------------------|------------|
| LOWER FLOOR AREA: | 86 S.F. |
| MAIN FLOOR AREA: | 275 S.F. |
| UPPER FLOOR AREA: | 874 S.F. |
| TOTAL LIVING AREA: | 1,235 S.F. |
| GARAGE AREA: | 474 S.F. |

LOT 4:

| | |
|--------------------|------------|
| LOWER FLOOR AREA: | 80 S.F. |
| MAIN FLOOR AREA: | 1,162 S.F. |
| UPPER FLOOR AREA: | 131 S.F. |
| TOTAL LIVING AREA: | 1,373 S.F. |
| GARAGE AREA: | 559 S.F. |

LOT 5:

| | |
|--------------------|------------|
| LOWER FLOOR AREA: | 80 S.F. |
| MAIN FLOOR AREA: | 1,762 S.F. |
| UPPER FLOOR AREA: | 131 S.F. |
| TOTAL LIVING AREA: | 1,973 S.F. |
| GARAGE AREA: | 559 S.F. |

LOT 6:

| | |
|--------------------|------------|
| LOWER FLOOR AREA: | 80 S.F. |
| MAIN FLOOR AREA: | 1,811 S.F. |
| UPPER FLOOR AREA: | 121 S.F. |
| TOTAL LIVING AREA: | 1,912 S.F. |
| GARAGE AREA: | 559 S.F. |

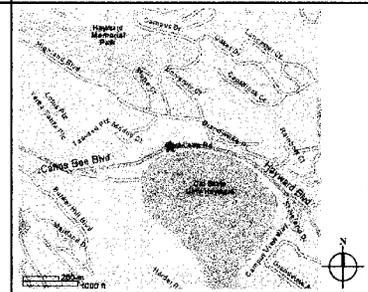
LOT 7:

| | |
|------------------|------------|
| MAIN FLOOR AREA: | 2,811 S.F. |
| GARAGE AREA: | 538 S.F. |

APPLICABLE CODES:

APN: 2007 CALIFORNIA BUILDING CODE (2000 IBC)
ZONING: 200 CALIFORNIA MECHANICAL CODE (2000 IMC)
CONSTRUCTION TYPE: V-4
FIRE SPRINKLED: YES
NUMBER OF STORES: VARIES
OCCUPANCY: R-3 / 2-1

VICINITY MAP



PROJECT DIRECTORY

OWNER:
R.V.E. DEVELOPMENT, INC.
3800 DAVIS DRIVE
HAYWARD, CA 94541
PHONE: (510) 247-1822
FAX: (510) 881-7991
CONTACT: RON ISAU

CIVIL ENGINEER:
THE OLIVER GROUP, INC.
8800 REDWOOD STREET, SUITE 210
DUBLIN, CA 94568
PHONE: (925) 556-6202
FAX: (925) 556-1284
CONTACT: VEY PALOVIC

ARCHITECT:
HERELD & AYRES ARCHITECTS
1911-C SANTA ANA ROAD
PALMDALE, CA 91367
PHONE: (805) 800-1166
FAX: (805) 800-1166
CONTACT: DANA AYRES

RECEIVED

SEP 03 2005

PLANNING DIVISION

SHEET INDEX

| NO. | DESCRIPTION |
|-------|--|
| T1 | TITLE SHEET |
| A1 | SUBDIVISION PLAN |
| A1.1 | LOT 1 SITE PLAN |
| A1.2 | LOT 1 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A2 | LOT 2 SITE PLAN |
| A2.1 | LOT 2 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A2.2 | LOT 2 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A3 | LOT 3 SITE PLAN |
| A3.1 | LOT 3 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A3.2 | LOT 3 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A4 | LOT 4 SITE PLAN |
| A4.1 | LOT 4 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A4.2 | LOT 4 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A5 | LOT 5 SITE PLAN |
| A5.1 | LOT 5 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A5.2 | LOT 5 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A6 | LOT 6 SITE PLAN |
| A6.1 | LOT 6 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A6.2 | LOT 6 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A7 | LOT 7 SITE PLAN |
| A7.1 | LOT 7 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| A7.2 | LOT 7 FLOOR PLANS / EXTERIOR ELEVATIONS / BUILDING SECTION |
| CIVIL | |
| 1 | TEXTURE TRACT MAP |

| NO. | DESCRIPTION | DATE | BY |
|----------|-------------|------|----|
| 02-24-05 | PLANNING | DA | |
| 08-07-05 | PLANNING | DA | |

Scale: 1/8" = 1' / 1/4" = 1'

DATE: 09/03/05

BY: TIT

PROJECT DATA

T1

1. This plan shall be read in conjunction with the project description and the site plan. The project description shall be read in conjunction with the project description and the site plan. The project description shall be read in conjunction with the project description and the site plan.

GOLDEN OAK SUBDIVISION
HAYWARD BLVD. and TRIBUNE AVE.
HAYWARD, CALIFORNIA

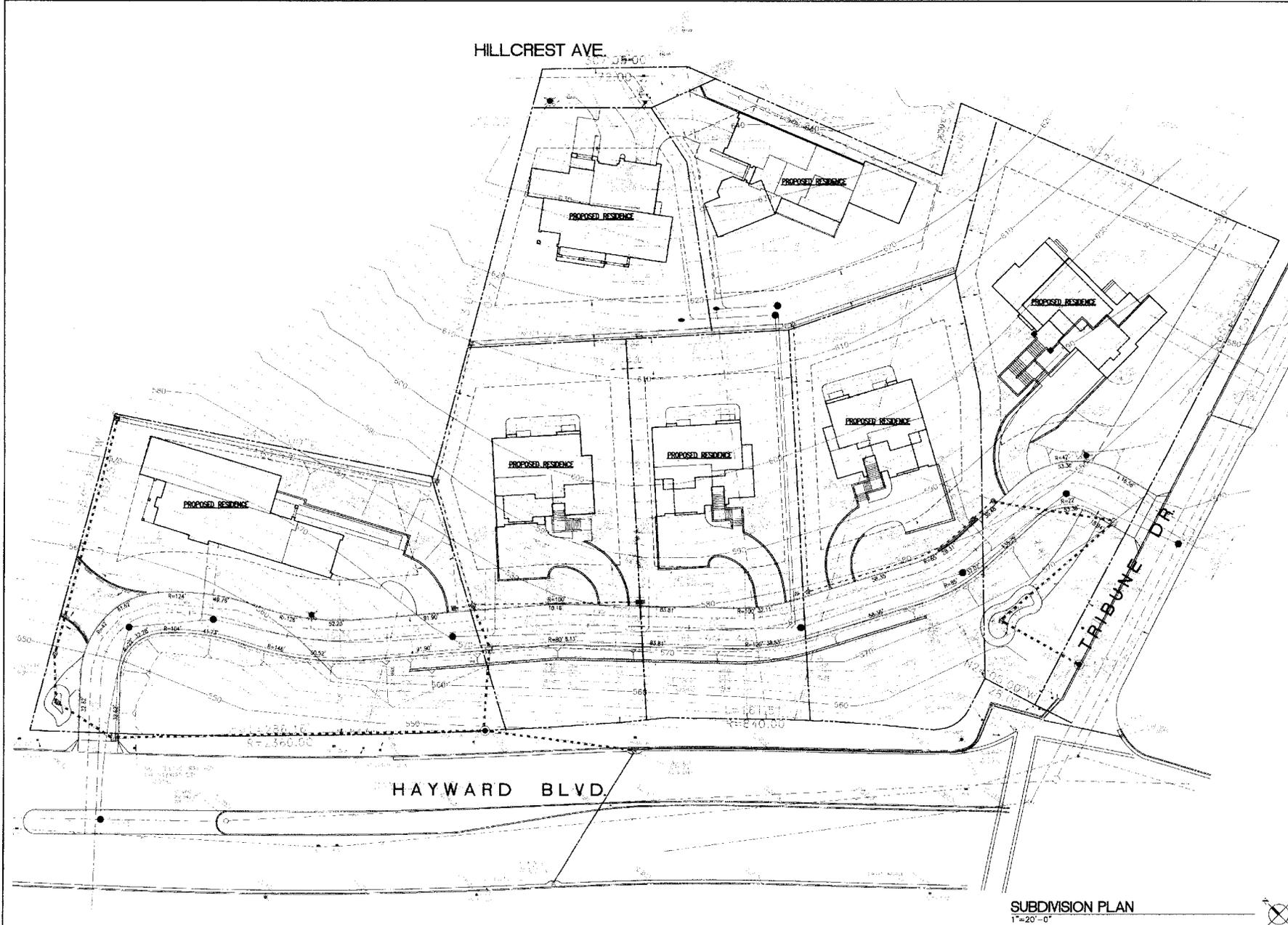
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| DATE: | 08-07-05 | BY: | DA |
| DATE: | 08-15-05 | BY: | DA |
| DATE: | 08-15-05 | BY: | DA |

DATE: 08/15/05
BY: DA / SK

PROJECT: 03041
SITE

SUBDIVISION PLAN

A01



HILLCREST AVE.

HAYWARD BLVD.

TRIBUNE DR.

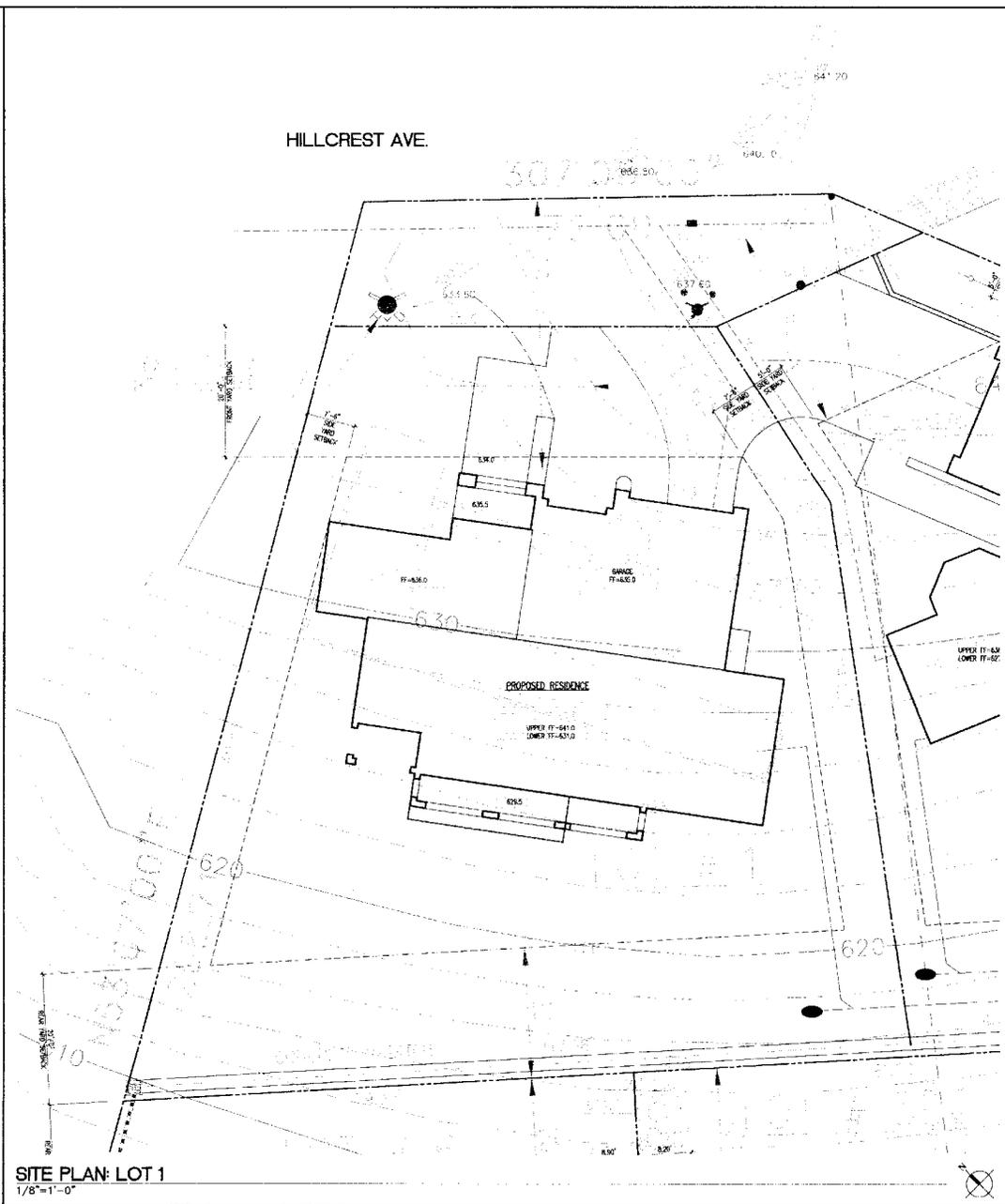
SUBDIVISION PLAN
1"=20'-0"

1000 C. Collins Blvd. Suite 100
Hayward, California 94541
415.881.1110 • FAX: 415.881.1118
www.hereldandayres.com

GOLDEN OAK SUBDIVISION
HAYWARD BLVD. and TRIBUNE AVE.
HAYWARD, CALIFORNIA

| DATE | BY | DESCRIPTION |
|----------|----|---------------|
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| 06-07-05 | DA | PLANNING REV. |
| 09-13-05 | DA | PLANNING REV. |

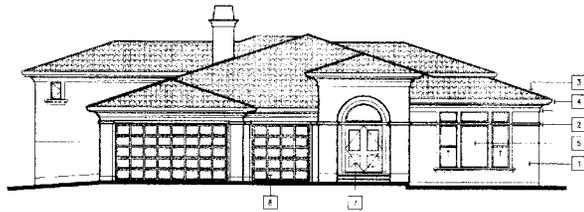
Scale: 1/8" = 1'-0"
 Date: 05/11/05
 Project: SITE
 Drawing: LOT 1 SITE PLAN
 A11



SITE PLAN: LOT 1
1/8"=1'-0"

EXTERIOR ELEVATION NOTES

1. EXTERIOR WALLS: CEMENT PLASTER w/ SAND FINISH
2. EXTERIOR FINISH: CEMENT PLASTER FINISH OVER FOAM SHAPE, MATCH COLOR & TEXTURE OF WALLS
3. FLOORING: CONCRETE 1" SLAB
4. FASCIA / GUTTER: RECTANGULAR COVER OF 2x6 FASCIA
5. WINDOWS: "MILANO" WHITE SASH w/ DUAL PANE INSULATED GLAZING
6. SLIDING GLASS DOORS: "MILANO" WHITE SASH w/ DUAL PANE INSULATED GLAZING TO MATCH WINDOWS
7. ENTRY DOOR: STAIN GRAIN WOOD w/ TEMPERED GLAZING
8. GARAGE DOOR: METAL SECTIONAL ROLL-UP, PAINTED



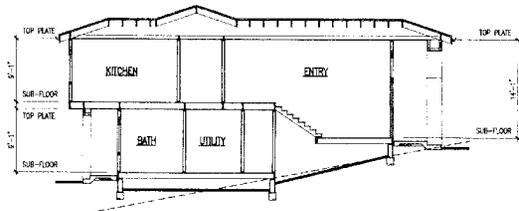
NORTH ELEVATION
1/8"=1'-0"



WEST ELEVATION
1/8"=1'-0"



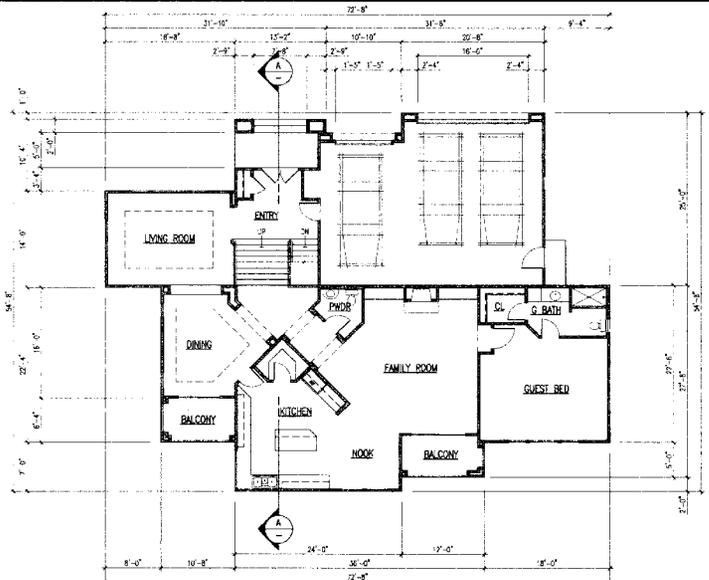
SOUTH ELEVATION
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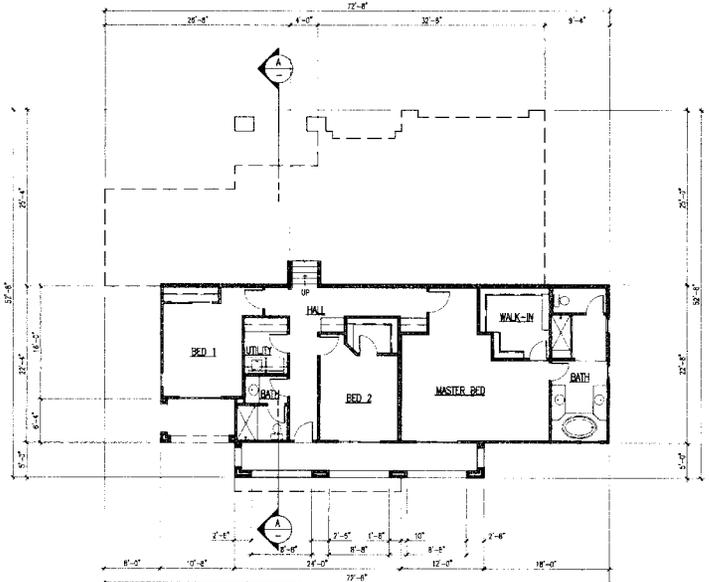
A BUILDING SECTION
1/8"=1'-0"



EAST ELEVATION
1/8"=1'-0"



MAIN FLOOR PLAN
1/8"=1'-0"



LOWER FLOOR PLAN
1/8"=1'-0"



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ARCHITECTS
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GOLDEN OAK SUBDIVISION
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HAYWARD, CALIFORNIA

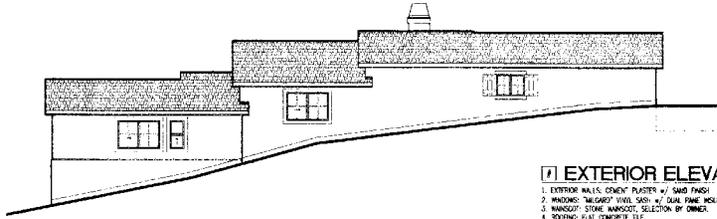
| Sheet No. | Date | By |
|-----------|------|----|
| 06-24-05 | | DA |
| PLANS | | |

LOT 1
FLOOR PLANS
ELEVATIONS

A1.2



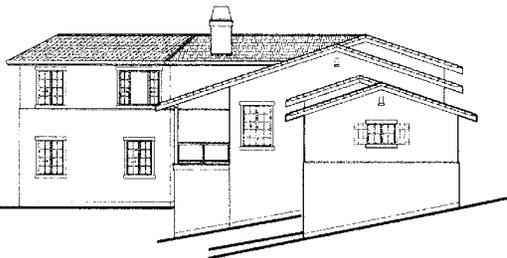
WEST ELEVATION
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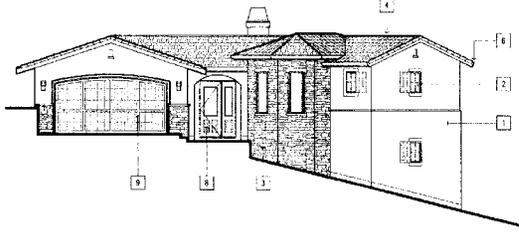
EAST ELEVATION
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EXTERIOR ELEVATION NOTES

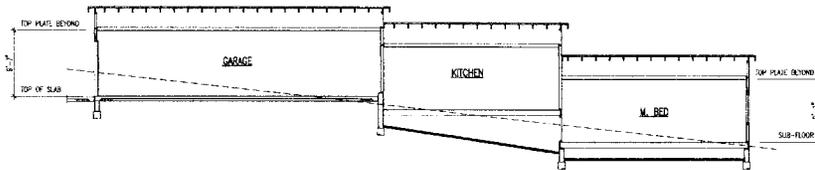
1. EXTERIOR WALLS: ORIENT PLASTER w/ SAND FINISH
2. WINDOWS: TALLAROT FIBER SASH w/ DUAL PANE INSULATED GLAZING
3. WALKOUT: STONE MANSOET, SELECTION BY OWNER
4. FOOTING: FLAT CONCRETE TILE
5. EXTERIOR FINIS: CONCRETE PLASTER FINISH OVER FOM SHAPL, MATCH COLOR/TEXTURE OF WALLS
6. FASCIA / GUTTER: RECTANGULAR GUTTER OF 2x4 FASCIA
7. SKYLIGHT GLASS: TALLAROT FIBER SASH w/ DUAL PANE INSULATED GLAZING TO MATCH WINDOWS
8. ENTRY DOOR: STAIN STEEL MESH w/ TEMPERED GLAZING
9. GARAGE DOOR: METAL SECTIONAL WALL UP, PAINTED



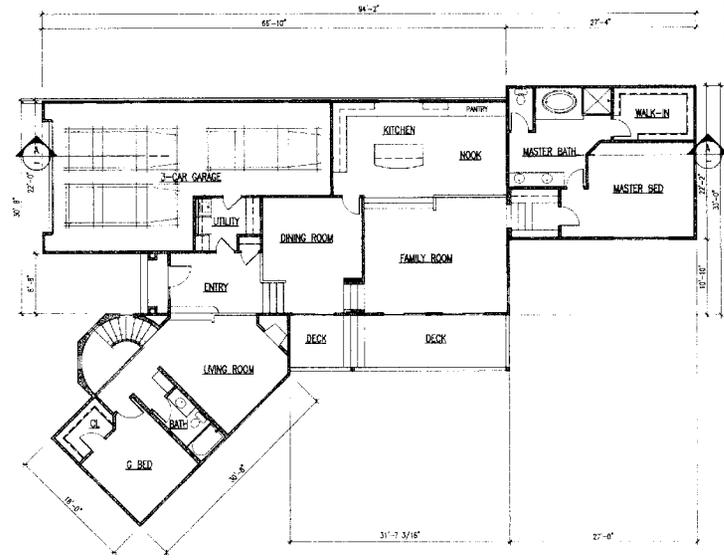
SOUTH ELEVATION
1/8"=1'-0"



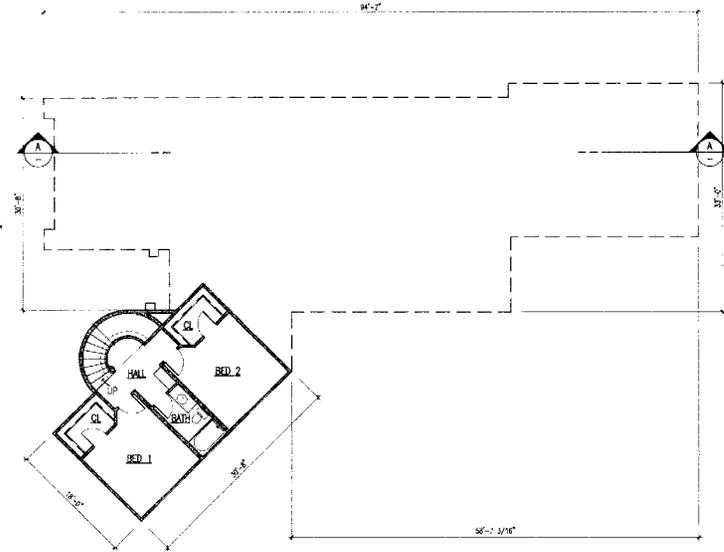
NORTH ELEVATION
1/8"=1'-0"



A BUILDING SECTION
1/8"=1'-0"



MAIN FLOOR PLAN
1/8"=1'-0"



LOWER FLOOR PLAN
1/8"=1'-0"



GOLDEN OAK SUBDIVISION
HAYWARD BLVD. and TRIBUNE AVE.
HAYWARD, CALIFORNIA

| | | | |
|--------------|-----|----|-----|
| DATE | REV | BY | CHK |
| 05-24-05 | | | |
| PLANNING | | | |
| DESIGN | | | |
| CONSTRUCTION | | | |

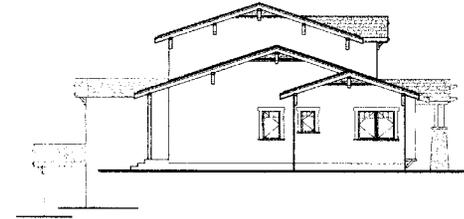
LOT 2
FLOOR PLANS
ELEVATIONS
A2.2

EXTERIOR ELEVATION NOTES

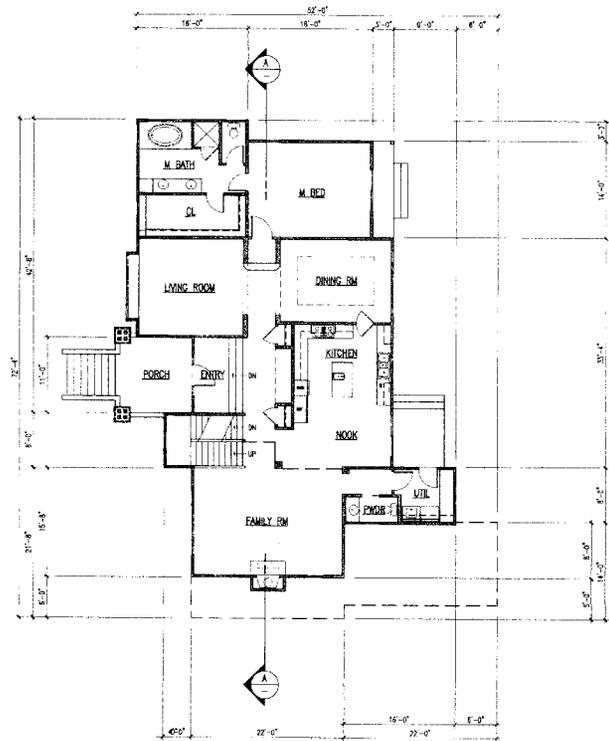
1. EXTERIOR WALLS: CEMENT PLASTER w/ SAND FINISH
2. EXTERIOR TRIM: CEMENT PLASTER FINISH OVER FOAM SHAPE, MATCH COLOR & TEXTURE OF WALLS
3. ROOFING: FLAT CERAMIC TILES w/ SHAPE SYSTEM
4. FASCIA / GUTTER: RECTANGULAR GUTTER OF 2x6 FASCIA
5. WINDOWS: "MILGRO" VINYL SASH w/ 2x4 PANE INSULATED GLAZING
6. GLAZING: CLASS DOORING "MILGRO" VINYL SASH w/ 2x4 PANE INSULATED GLAZING TO MATCH WINDOWS
7. ENTRY DOOR: STAIN GRANI WOOD w/ TEMPERED GLAZING
8. GARAGE DOOR: METAL SECTIONAL, 100-LB. PAINTED
9. STONE: MANSOFT, PIERCE ROCK w/ PRECAST STONE CAP
10. HEAVY TRIM: BRACKETS, PAINTED



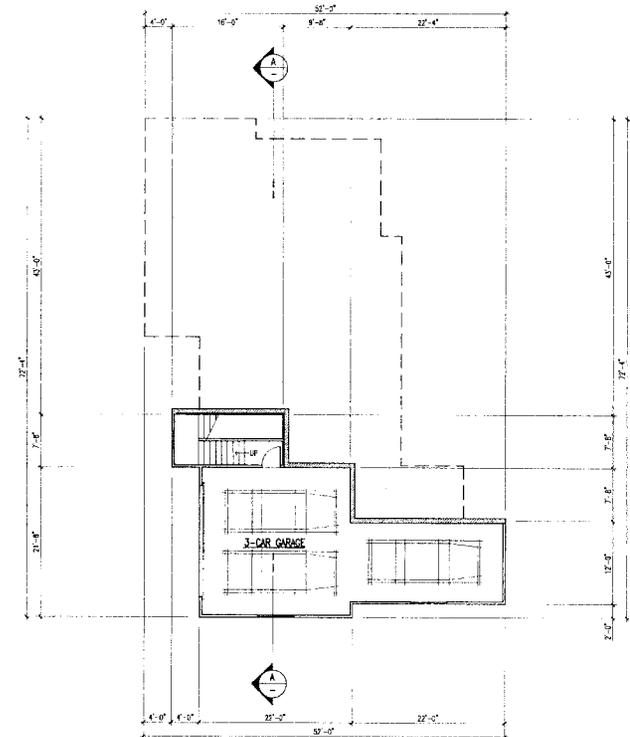
EAST ELEVATION
1/8"=1'-0"



NORTH ELEVATION
1/8"=1'-0"



MAIN FLOOR PLAN
1/8"=1'-0"



LOWER FLOOR PLAN
1/8"=1'-0"



HEROLD & AYRES
ARCHITECTS

1001-C State St. Suite 100
Hayward, California 94541
Tel: 925.482.1100
Fax: 925.482.1101

1. The owner is entitled to a set of plans for the project. The architect is not responsible for the construction of the project. The architect is not responsible for the construction of the project. The architect is not responsible for the construction of the project.

GOLDEN OAK SUBDIVISION
HAYWARD BLVD and TRIBUNE AVE.
HAYWARD, CALIFORNIA

| | | | |
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| DATE | BY | CHK | APP |
| 08-24-05 | PLANNING | | KH |
| | | | |
| | | | |

LOT 1
FLOOR PLANS
ELEVATIONS
A3.2



HEROLD & AYRES
ARCHITECTS

1050 S. GATEWAY BLVD.
PACIFIC PALMS, CALIF. 92665
TEL: 949.441.1111 FAX: 949.441.1112



1. The client shall provide all necessary information and data for the design of the project.
2. The client shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. The client shall be responsible for providing all necessary site information and data.
4. The client shall be responsible for providing all necessary utility information and data.
5. The client shall be responsible for providing all necessary zoning information and data.
6. The client shall be responsible for providing all necessary environmental information and data.
7. The client shall be responsible for providing all necessary historical information and data.
8. The client shall be responsible for providing all necessary cultural information and data.
9. The client shall be responsible for providing all necessary archaeological information and data.
10. The client shall be responsible for providing all necessary geotechnical information and data.

A. Sample taken by owner architect.

GOLDEN OAK SUBDIVISION
HAYWARD BLVD. and TRIBUNE AVE.
HAYWARD, CALIFORNIA

| | |
|-------------|-----------|
| Sheet No. | 95-24-105 |
| Project | PLANNING |
| Scale | |
| Date | |
| Drawn by | |
| Checked by | |
| Approved by | |

Lot: LOT 3
Floor Plan: FLOOR PLAN
Elevations: ELEVATIONS
Section: SECTION

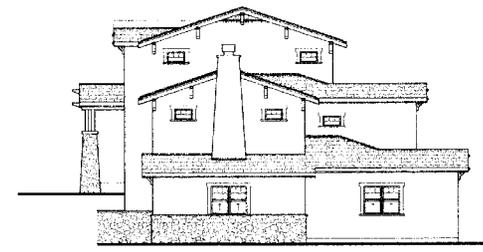
A33

EXTERIOR ELEVATION NOTES

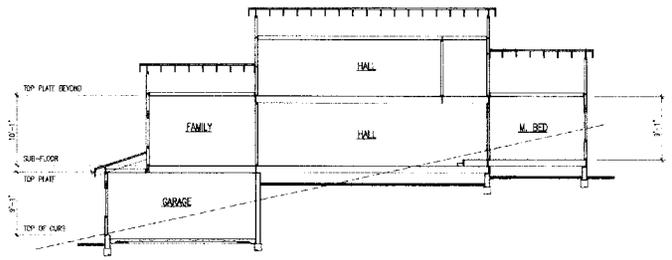
1. EXTERIOR WALLS: CEMENT PLASTER w/ SAND FINISH
2. EXTERIOR TRIMS: CEMENT PLASTER FINISH OVER FOAM SHAPE. MATCH COLOR & TEXTURE OF WALLS
3. ROOFING: FLAT CEILING: TILES w/ WHITE PATTERNS
4. FASCIA / GUTTER: RECTANGULAR CUTTER OF SUB FASCIA
5. WINDOWS: "MILANO" VINYL SASH w/ DUAL PANE INSULATED GLAZING
6. SLIDING GLASS DOORS: "MILANO" VINYL SASH w/ DUAL PANE INSULATED GLAZING TO MATCH WINDOWS
7. ENTRY DOOR: STAIN GRAIN WOOD w/ TAMPURED GLAZING
8. GARAGE DOOR: METAL SECTIONAL DOOR - UP PANELS
9. STONE: MARBLE / GRANITE BLOCK w/ PRECAST STONE CAP
10. HEAVY TIMBER BRACKETS, PAINTED



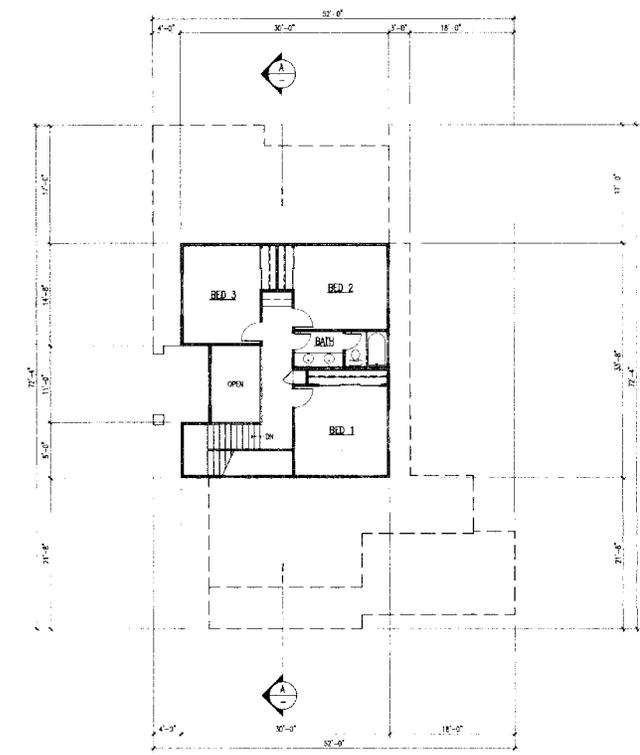
WEST ELEVATION
1/8"=1'-0"



SOUTH ELEVATION
1/8"=1'-0"



A BUILDING SECTION
1/4"=1'-0"



UPPER FLOOR PLAN
1/8"=1'-0"



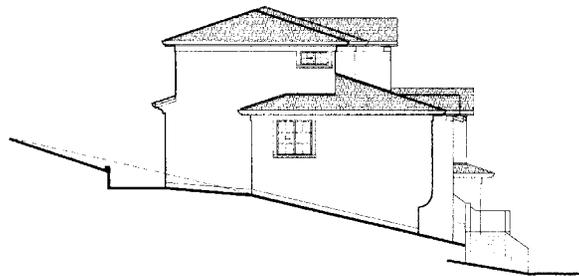
EAST ELEVATION
1/8"=1'-0"



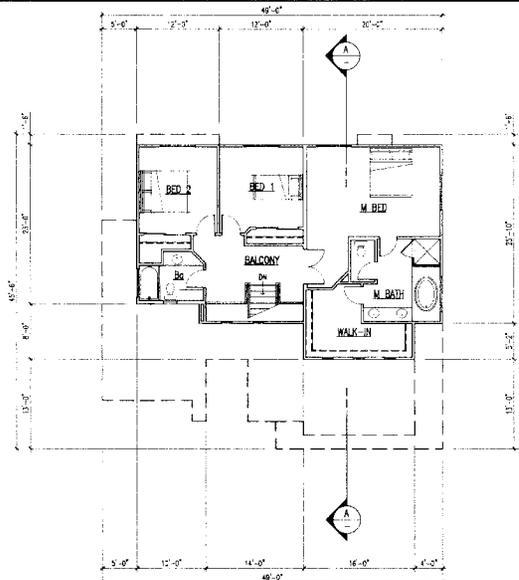
SOUTH ELEVATION
1/8"=1'-0"

EXTERIOR ELEVATION NOTES

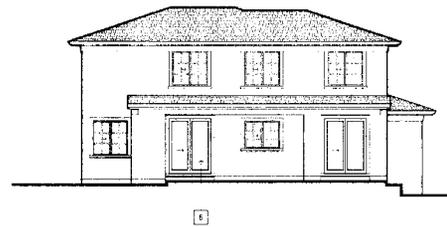
1. EXTERIOR WALLS: GYPSUM PLASTER w/ SAND FINISH
2. EXTERIOR TRIM: "GRAND" PLASTER FINISH OVER "ROMA" SHAPE, MATCH COLOR & TEXTURE OF WALLS
3. ROOFING: CONCRETE "T" TILE
4. FASCIA / GUTTER: RECTANGULAR GUTTER OF ZINC ALLOY
5. WINDOWS: "MILANO" 6000 SERIES w/ SOLAR FILM INSULATED GLAZING
6. SLIDING GLASS DOORS: "MILANO" 6000 SERIES w/ SOLAR FILM INSULATED GLAZING TO MATCH WINDOWS
7. ENTRY DOOR: STAIN STAINLESS WOOD w/ TEMPERED GLAZING
8. GARAGE DOOR: METAL SECTIONAL, ROLL-UP, "PARADE"



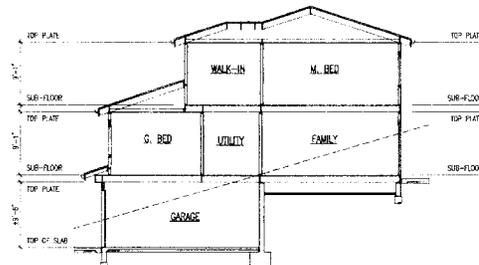
WEST ELEVATION
1/8"=1'-0"



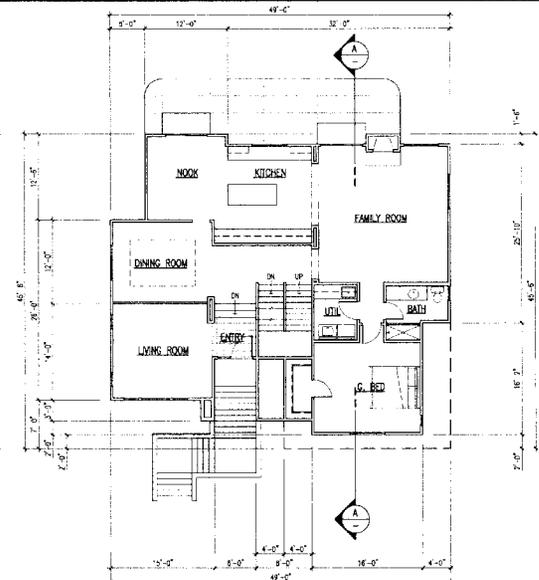
UPPER FLOOR PLAN
1/8"=1'-0"



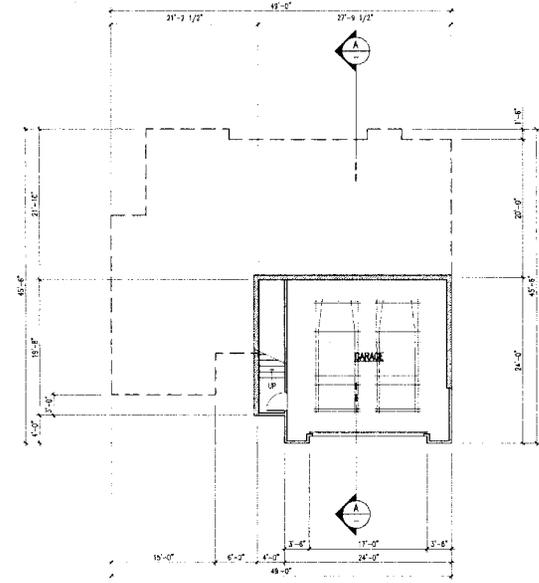
NORTH ELEVATION
1/8"=1'-0"



A BUILDING SECTION
1/4"=1'-0"



MAIN FLOOR PLAN
1/8"=1'-0"



LOWER FLOOR PLAN
1/8"=1'-0"



HERELD & AYRES
ARCHITECTS
3810 S. 24th St., Suite 100
Hayward, California 94541
TEL: 925-438-1100 FAX: 925-438-1101
www.heraid.com

1. The owner is not to be held responsible for any errors or omissions in the drawings and specifications. The architect's responsibility is limited to the design and construction of the building as shown on the drawings and specifications. The architect is not responsible for the design and construction of any other building or structure. The architect is not responsible for the design and construction of any other building or structure. The architect is not responsible for the design and construction of any other building or structure.

GOLDEN OAK SUBDIVISION
HAYWARD BLVD. and TRIBUNE AVE.
HAYWARD, CALIFORNIA

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| 05-24-05 | RAH |
| 06-07-05 | DA |
| 06-07-05 | DA |
| 06-07-05 | DA |

LOT 4
FLOOR PLANS
EXTERIOR ELEVATIONS
BUILDING SECTION

A4.2



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ARCHITECTS

Professional Seal
Professional Seal
Professional Seal

1. The plan is not to be used for construction unless the owner has obtained all necessary permits and approvals from the appropriate authorities.

2. The plan is not to be used for construction unless the owner has obtained all necessary permits and approvals from the appropriate authorities.

3. These plans and specifications are prepared on the basis of information furnished to the architect by the owner and are not to be used for construction unless the owner has obtained all necessary permits and approvals from the appropriate authorities.

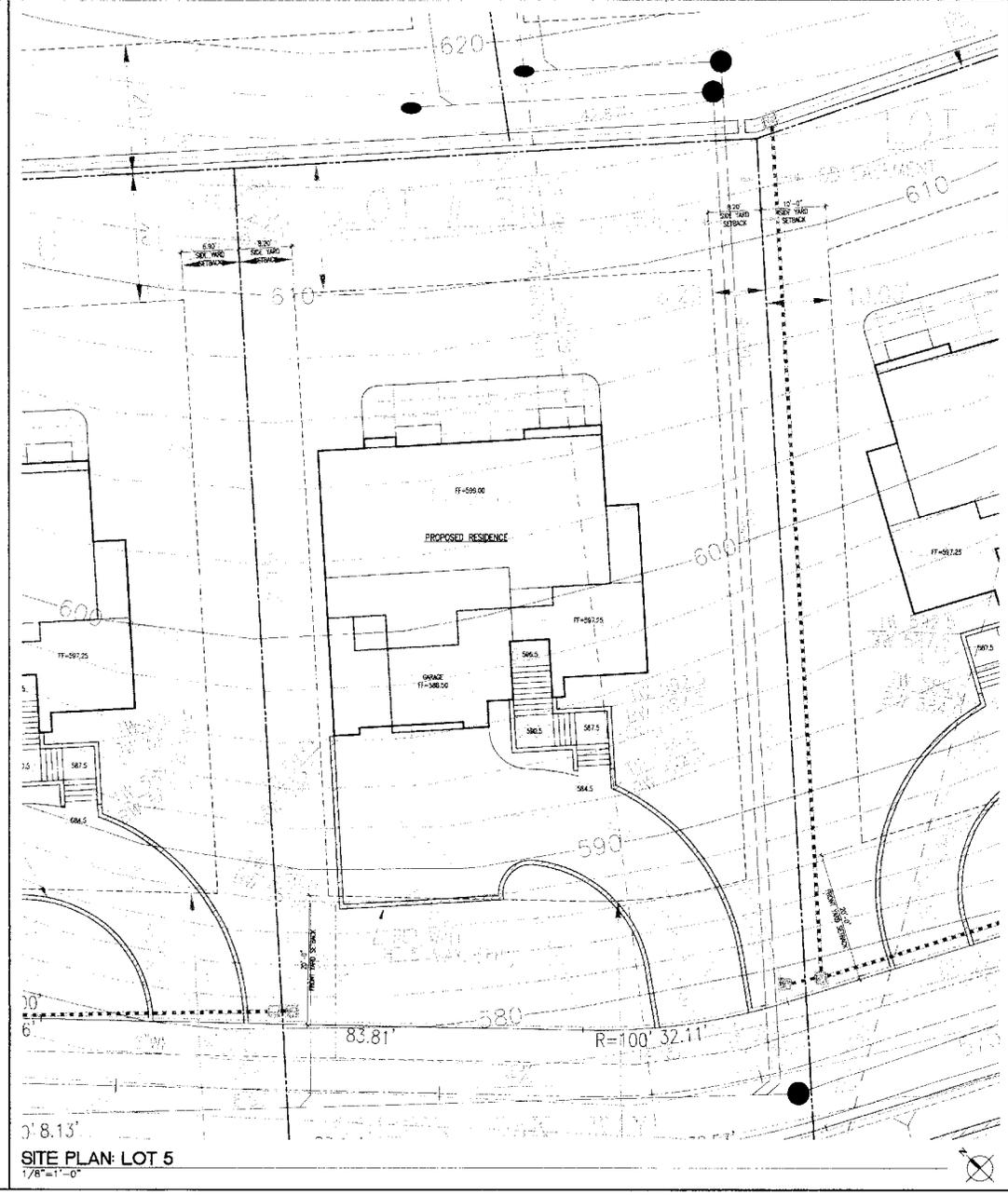
4. Copyright 2014 by Hereld & Ayres Architects, Inc.

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HAYWARD BLVD. and TRIBUNE AVE.
HAYWARD, CALIFORNIA

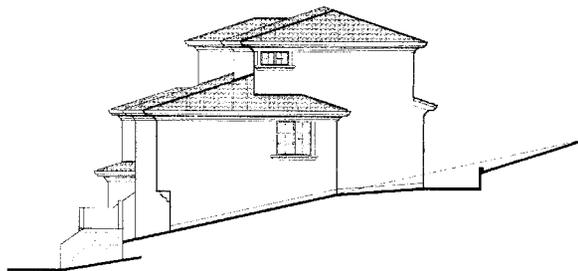
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| 02-24-05 | DA | SK |
| PLANNING | | |

| | | |
|----------|----|-----|
| DATE | BY | CHK |
| 02-24-05 | DA | SK |
| PLANNING | | |

LOT 5
SITE PLAN
A51



8.13'
SITE PLAN: LOT 5
1/8"=1'-0"



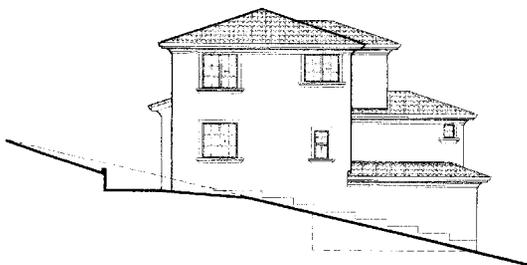
EAST ELEVATION
1/8"=1'-0"



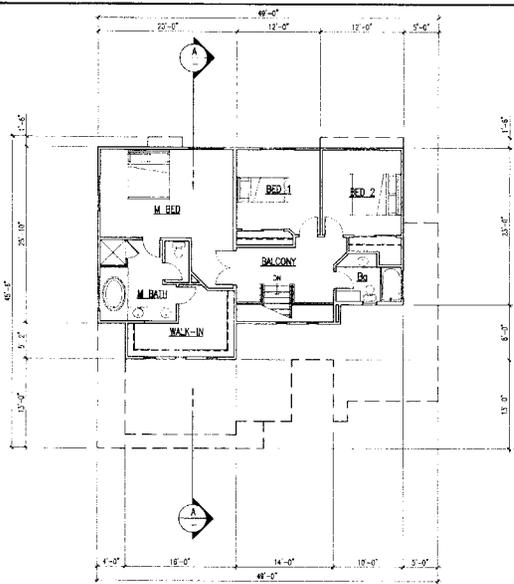
SOUTH ELEVATION
1/8"=1'-0"

EXTERIOR ELEVATION NOTES

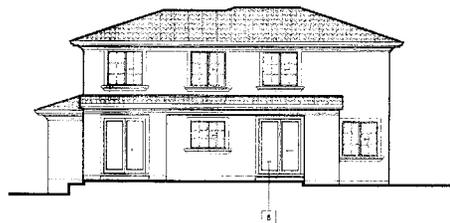
1. EXTERIOR WALLS: CEMENT PLASTER w/ SAND FINISH
2. EXTERIOR TRIM: CLASSIC PLASTER FINISH OVER FOAM SHAPE, MATCH COLOR & TEXTURE OF WALLS
3. ROOFING: FLAT CONCRETE TILE
4. FASCIA / GUTTER: RECTANGULAR SLIVER 2" DIA FASCIA
5. WINDOW: "WILSON" VINYL SASH w/ DUAL PANE INSULATED GLAZING
6. SLIDING GLASS DOORS: "WILSON" VINYL SASH w/ DUAL PANE INSULATED GLAZING TO MATCH WINDOWS
7. ENTRY DOOR: SHAM GRACE WOOD w/ TAMPONED GLAZING
8. GARAGE DOOR: VETRA SECTION 1801-LR PANELED



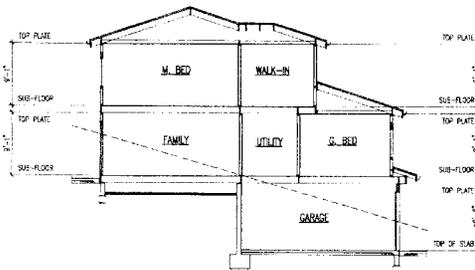
WEST ELEVATION
1/8"=1'-0"



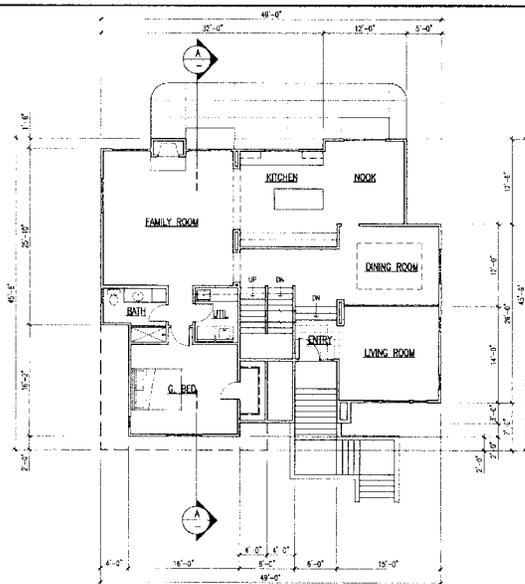
UPPER FLOOR PLAN
1/8"=1'-0"



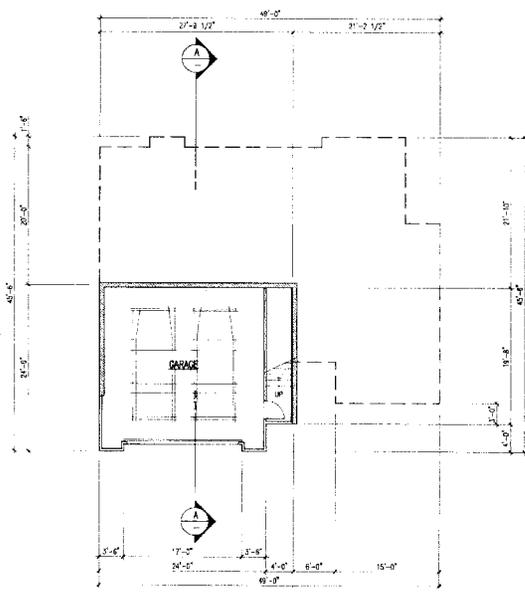
NORTH ELEVATION
1/8"=1'-0"



A BUILDING SECTION
1/4"=1'-0"



MAIN FLOOR PLAN
1/8"=1'-0"



LOWER FLOOR PLAN
1/8"=1'-0"



HEROLD & AYRES
ARCHITECTS

1001 - 2nd St. East
Hayward, California 94541
415.432.1100 - FAX 415.432.1101
www.heroldandayres.com

This plan is part of a set of plans and shall not be used in isolation. It is the responsibility of the user to ensure that all drawings are read and interpreted in conjunction with the project's specifications and other drawings. The user shall be responsible for obtaining the latest revision of the drawings and specifications. The user shall be responsible for obtaining the latest revision of the drawings and specifications.

The user shall be responsible for obtaining the latest revision of the drawings and specifications. The user shall be responsible for obtaining the latest revision of the drawings and specifications. The user shall be responsible for obtaining the latest revision of the drawings and specifications. The user shall be responsible for obtaining the latest revision of the drawings and specifications.

GOLDEN OAK SUBDIVISION
HAYWARD BLVD and TRIBUNE AVE.
HAYWARD, CALIFORNIA

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| 02-24-05 | SK | | |
| 08-01-05 | DA | | |
| PLANNING REV. | | | |

Drawn: SK / DA / SK
P.L.: CEM
No.: 102-3

LOT 5
FLOOR PLANS
EXTERIOR ELEVATIONS
BUILDING SECTION

A5.2



HERELD & AYRES
ARCHITECTS

1000 S. GARDEN BLVD. SUITE 100
PUEBLO, CALIFORNIA 94626
TEL: (925) 733-1100 FAX: (925) 733-1101
WWW.HRA30.COM

1. The owner is responsible for all utility and other services.
2. The owner is responsible for all utility and other services.
3. These plans are based on the information provided by the owner and are not to be used for any other purpose without the written consent of the architect.
4. Copyright © 2004 by Hereld & Ayres Architects

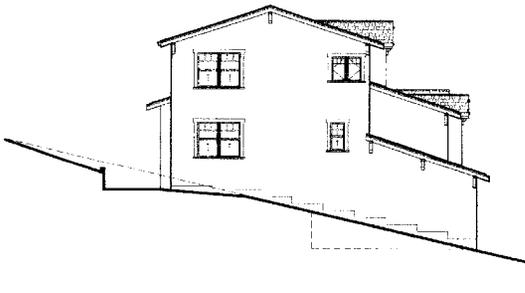
GOLDEN OAK SUBDIVISION
HAYWARD BLVD. and TRIBUNE AVE.
HAYWARD, CALIFORNIA

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|---------------|----|-----|-----|
| DATE | BY | CHK | APP |
| 09-24-03 | SK | SK | |
| PLANNING | | | |
| 07-05 | DA | DA | |
| PLANNING REV. | | | |

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|------------|----|-----|-----|
| NO. | BY | CHK | APP |
| 1 | SK | SK | |
| FLOOR PLAN | | | |

LOT 6
FLOOR PLANS
BUILDING SECTION
EXTERIOR ELEVATIONS

A6.2



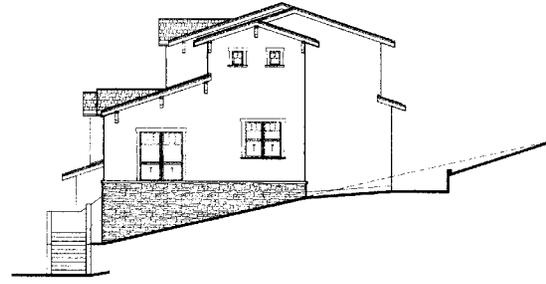
WEST ELEVATION
1/8"=1'-0"



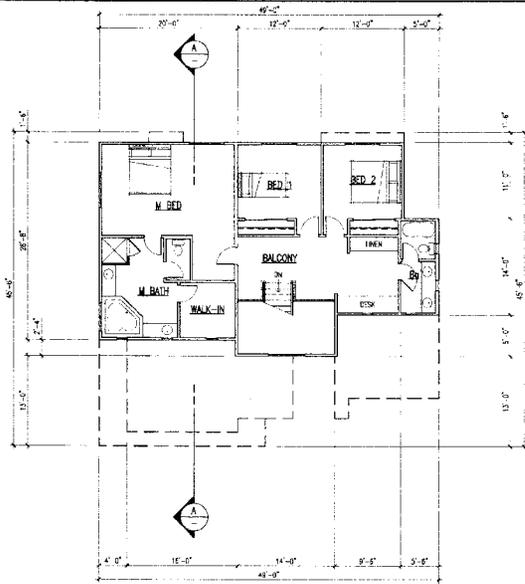
SOUTH ELEVATION
1/8"=1'-0"

EXTERIOR ELEVATION NOTES

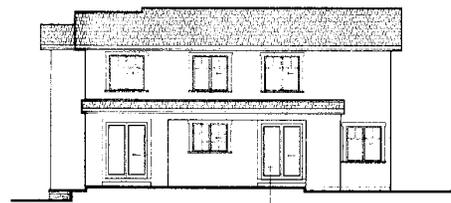
1. EXTERIOR WALLS: CEMENT PLASTER w/ SAND FINISH
2. EXTERIOR TRIMS: CEMENT PLASTER FINISH OVER FOAM SHAPE, MATCH COLOR & TEXTURE OF WALLS
3. ROOFING: FLAT ZONE, TILES w/ SHAKE PATTERN
4. FASCIA / GUTTERS: RECTANGULAR CUTTER BY ZAS FASCIA
5. WINDOWS: "MILGARD" VINYL, SASH w/ DUAL FRAME INSULATED GLAZING
6. SLIDING GLASS DOORS: "MILGARD" VINYL SASH w/ DUAL FRAME INSULATED GLAZING (D MARCH WINDOWS)
7. ENTRY DOOR: STAIN GRANT WOOD w/ TAMPURED GLAZING
8. GARAGE DOOR: METAL, SECTIONAL, PULL-UP PAINTER
9. STONE MANSARD: LEDGESTONE w/ PRECAST STONE CAP
10. HEAVY TRIM: BRACKETS, PAINTED



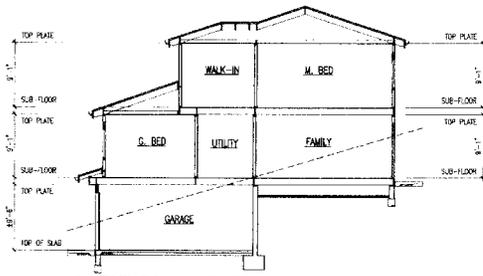
EAST ELEVATION
1/8"=1'-0"



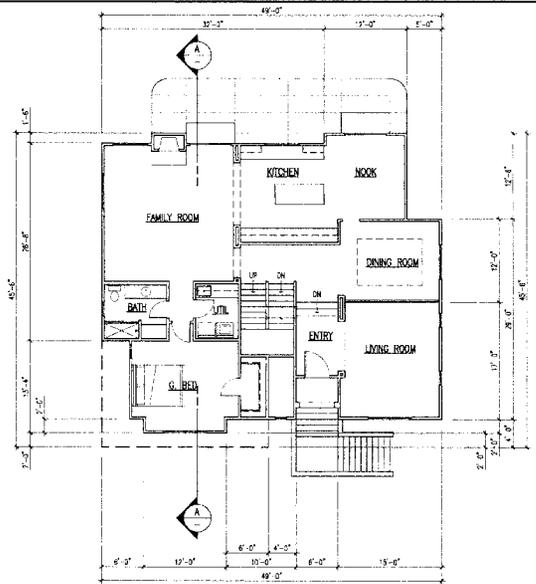
UPPER FLOOR PLAN
1/8"=1'-0"



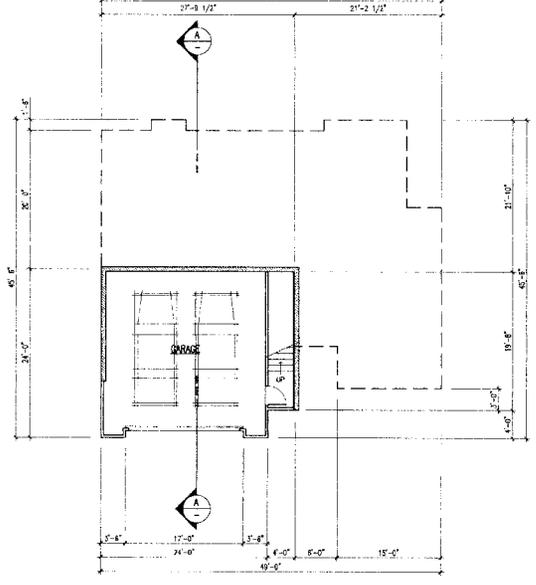
NORTH ELEVATION
1/8"=1'-0"



A BUILDING SECTION
1/4"=1'-0"



MAIN FLOOR PLAN
1/8"=1'-0"



LOWER FLOOR PLAN
1/8"=1'-0"

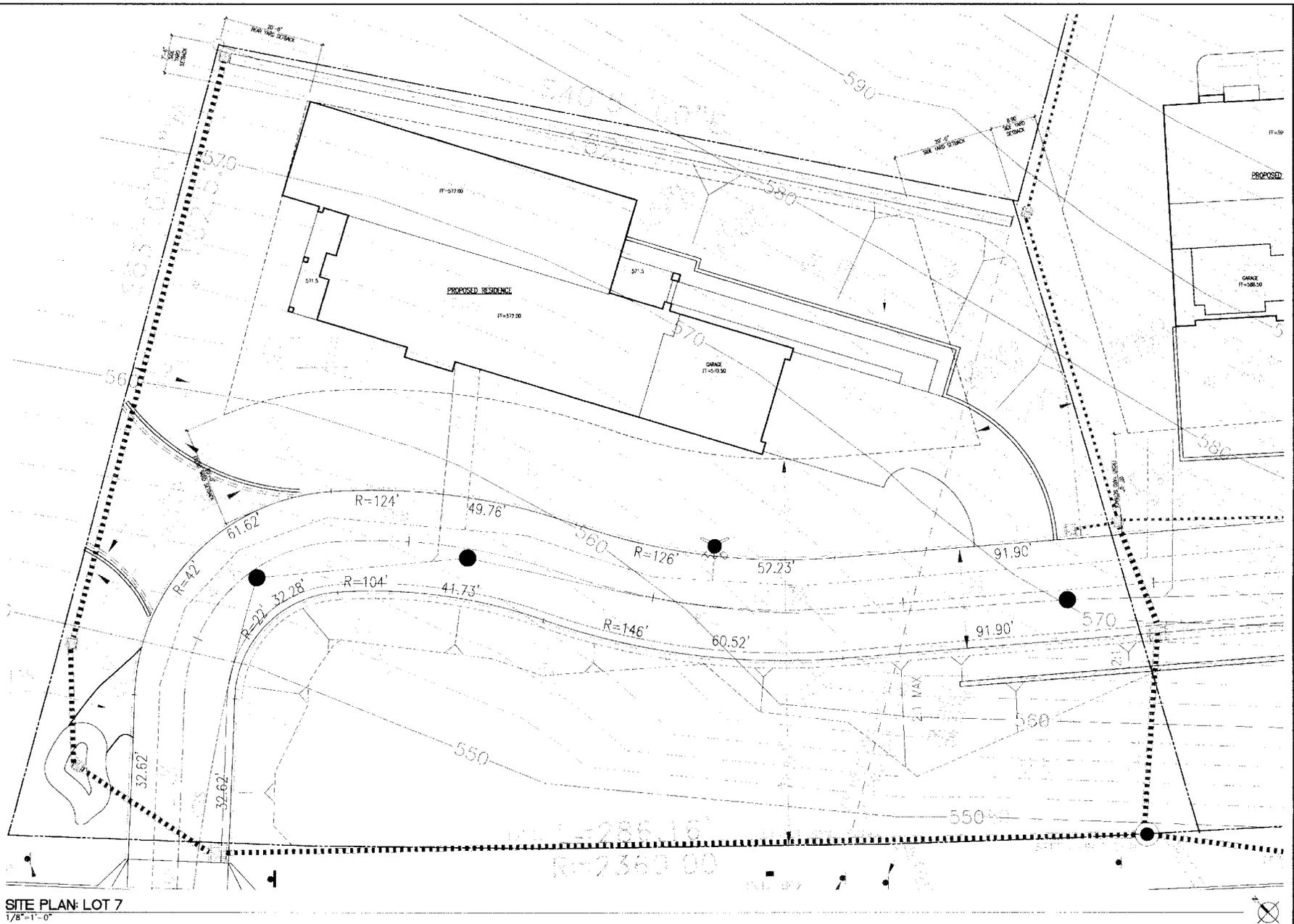
GOLDEN OAK SUBDIVISION
 HAYWARD BLVD. and TRIBUNE AVE.
 HAYWARD, CALIFORNIA

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| DATE | BY |
| 05-24-05 | DA |
| PLANNING | DA |
| 06-07-05 | DA |
| PLANNING REV. | DA |
| 08-13-05 | DA |
| PLANNING REV. | DA |

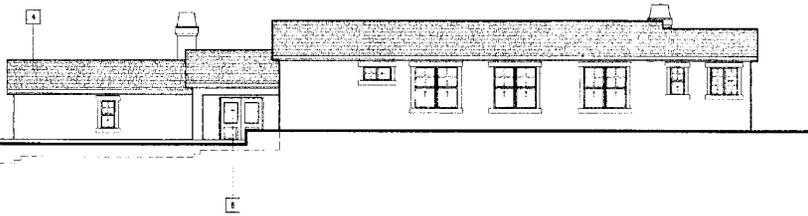
| | |
|--------------|----------------|
| SCALE | DATE / BY / SR |
| 1/8" = 1'-0" | 05/24/05 |

LOT 7
 SITE PLAN

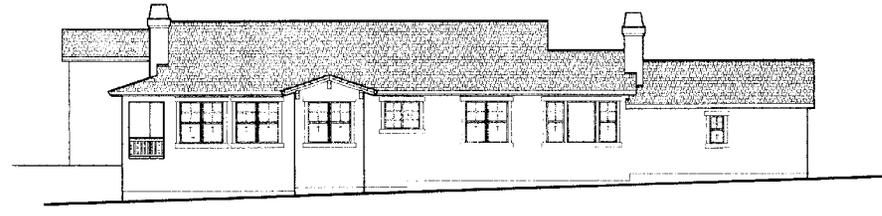
A7.1



SITE PLAN: LOT 7
 1/8"=1'-0"



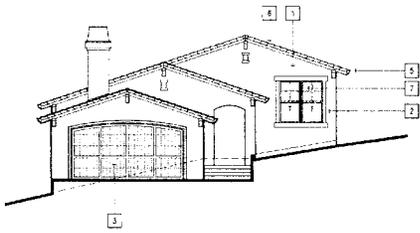
EAST ELEVATION
1/8"=1'-0"



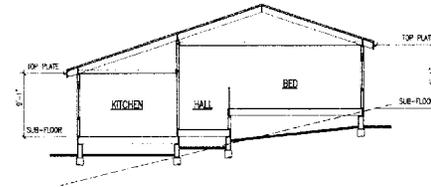
WEST ELEVATION
1/8"=1'-0"

EXTERIOR ELEVATION NOTES

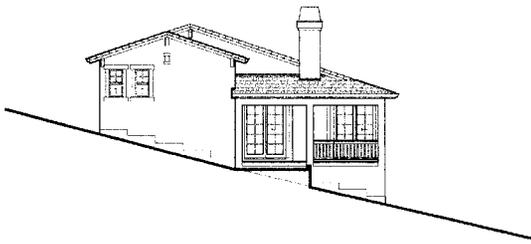
1. EXTERIOR WALLS: GEMENT PLASTER w/ SAND FINISH
2. EXTERIOR FINISH: GEMENT PLASTER FINISH OVER STAIN GRAPE, MATCH COLOR & TEXTURE OF WALLS
3. GARAGE DOOR: METAL, SECTIONAL, PAINTED
4. ROOFING: FLAT, FRAME STALL, GABLED: T/L
5. FASCIA: 1" GUTTER, METAL, SECTIONAL, PAINTED
6. D. S. BOARD: 3/4" SHIP-LAP, 1/2" FLASH
7. WINDOW: "SALAD" (VINYL) SASH w/ DUAL PANE, INSULATED GLAZING
8. ENTRY DOOR: STAIN GRAPE WOOD w/ TEMPERED GLAZING



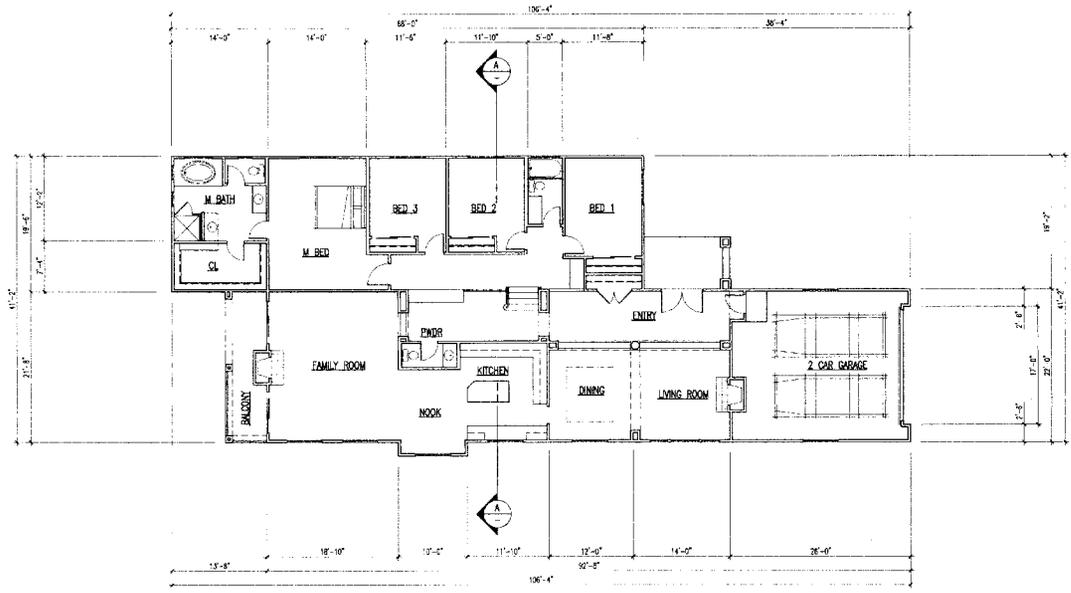
SOUTH ELEVATION
1/8"=1'-0"



A BUILDING SECTION
1/8"=1'-0"



NORTH ELEVATION
1/8"=1'-0"



FLOOR PLAN
1/8"=1'-0"

GOLDEN OAK SUBDIVISION
HAYWARD BLVD. and TRIBUNE AVE.
HAYWARD, CALIFORNIA

| | | |
|----------------------|----------------|---------|
| Drawn: KSI / SA / DK | DATE: 03-04-05 | BY: KSI |
| Proj #: 03041 | PLANING | |
| Lot: PLOF-0 | | |

LOT 7
FLOOR PLAN
ELEVATIONS

A7.2