



**CITY OF HAYWARD**  
**AGENDA REPORT**

Planning Commission

Meeting Date 9/22/05

Agenda Item 3

**TO:** Planning Commission

**FROM:** Tim R. Koonze, Assistant Planner

**SUBJECT:** Use Permit No. PL-2003-0269 – Kamp’s Propane, Inc. (Applicant/Owner) Request to Construct a Propane Storage and Distribution Center with Retail Sales of Propane and Accessories

The Property Is Located at 3664 Depot Road in the Industrial (I) District

**RECOMMENDATION:**

Staff recommends that the Planning Commission approve the negative declaration and approve the Conditional Use Permit subject to the attached findings and conditions of approval.

**DISCUSSION:**

The site is located on the south side of Depot Road 100 feet west of Connecticut Street within an established industrial area. The 2.2 acre site is currently used to store construction trailers. There is a 24-foot-wide common driveway located along the western property line that serves this site and the adjacent site to the south. There are no buildings or trees on the site.

The applicant is proposing to construct a propane storage and distribution facility. The facility would consist of two buildings, a public parking lot and a propane dispensing area located at the front of the property and a truck and circulation and storage area located at the rear of the property.

A rectangular building housing a retail shop for propane accessories, an office area and a shop to perform minor repair on the propane trucks is proposed on the northeast portion of the property. The front portion of the building would include a small retail store that sells propane accessories such as valves, hoses, tanks and similar items. Offices, minor vehicle maintenance, gas equipment repair and parts storage would occur within the rear portion of the building. The building design conforms to the industrial guidelines.

The parking lot and a propane dispensing area would be located near the front of the property. Propane would be sold to the general public from a dispensing island. Five gallon propane tanks and recreational vehicles could be refilled at this location. An eight-foot-high screen wall would be constructed between the area open to the public and the heavier industrial activity that would take place towards the rear of the property such as delivery truck parking and circulation areas, general storage areas and the shop area of the building. From here propane would be transported by truck to locations throughout the Bay Area. A specially designed building housing three bulk propane tanks would be located behind the screen wall. This building has been specially designed to safely contain the tanks.

The Fire Department has worked closely with the applicant with special attention given to site design, water supply, building construction, fire protection and hazardous materials. Safety measures such as vehicle crash protection devices around propane storage and dispensing areas, on-site fire hydrants, automatic sprinklers systems within all buildings, gas detection systems and portable fire extinguishers located throughout the site. Fire Department hazardous material permits would provide the means to monitor the hazardous materials used and stored on site. If a mishap were to occur involving the bulk tanks, the building is designed to direct the blast upward thereby minimizing any damage that might occur. The Fire Department in conjunction with a hazardous materials, fire code and engineering consultant hired by the City has reviewed the application and their requirements are reflected in the conditions of approval.

The Police Department has reviewed the facility both from a police response and homeland security point of view. They have required the installation of surveillance cameras and have requested that all fencing be a minimum of 8 feet high. These requirements have been included in the conditions of approval.

The owner will be required to dedicate a 15-foot-wide strip of land across the property frontage in order to widen Depot Road to its ultimate width of 64 feet. The owner is responsible to construct curb, gutter and sidewalk along the property frontage in the location of the revised street right-of-way. Because there are no adjacent portions of Depot Road constructed to the ultimate street width and constructing these improvements now would interfere with the existing traffic and storm drainage flow patterns, the owner would be required to enter into a deferred street improvement agreement agreeing to install the improvements at a later date to be determined by the City Engineer. In the meantime a 17.5 foot wide landscape area shall be planted behind the existing curb.

#### **ENVIRONMENTAL REVIEW:**

An Initial Study and Negative Declaration have been prepared it concluded that the proposed facility would not pose a significant impact on the environment. The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) guidelines, pursuant to Section 15301, Class 1 Minor Alterations to Existing Facilities.

## **PUBLIC NOTICE:**

A notice was mailed to all owners and occupants within three hundred feet of the property and one response was received from an adjacent property owner. He requested that the facility have no more than four above ground tanks (three are proposed). He also expressed concerns regarding the power lines at the rear of the property and how this property would be affected by the proposed Cabot Boulevard extension. The power lines are located on the adjacent property to the rear and are 150 feet from the subject property. The City Engineer has determined that if Cabot Boulevard is extended it will not affect this property.

On September 9, 2005 a Notice of Public Hearing for the Planning Commission meeting was mailed to property owners and tenants within 300 feet of the subject property and to all interested parties. To date no comments have been received as a result of that notice.

## **CONCLUSION**

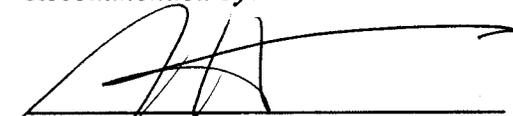
In staff's opinion, this site is suitable for the proposed propane storage and distribution facility and with the adherence to the conditions of approval will provide a safe valuable service.

*Prepared by:*



Tim R. Koonze  
Assistant Planner

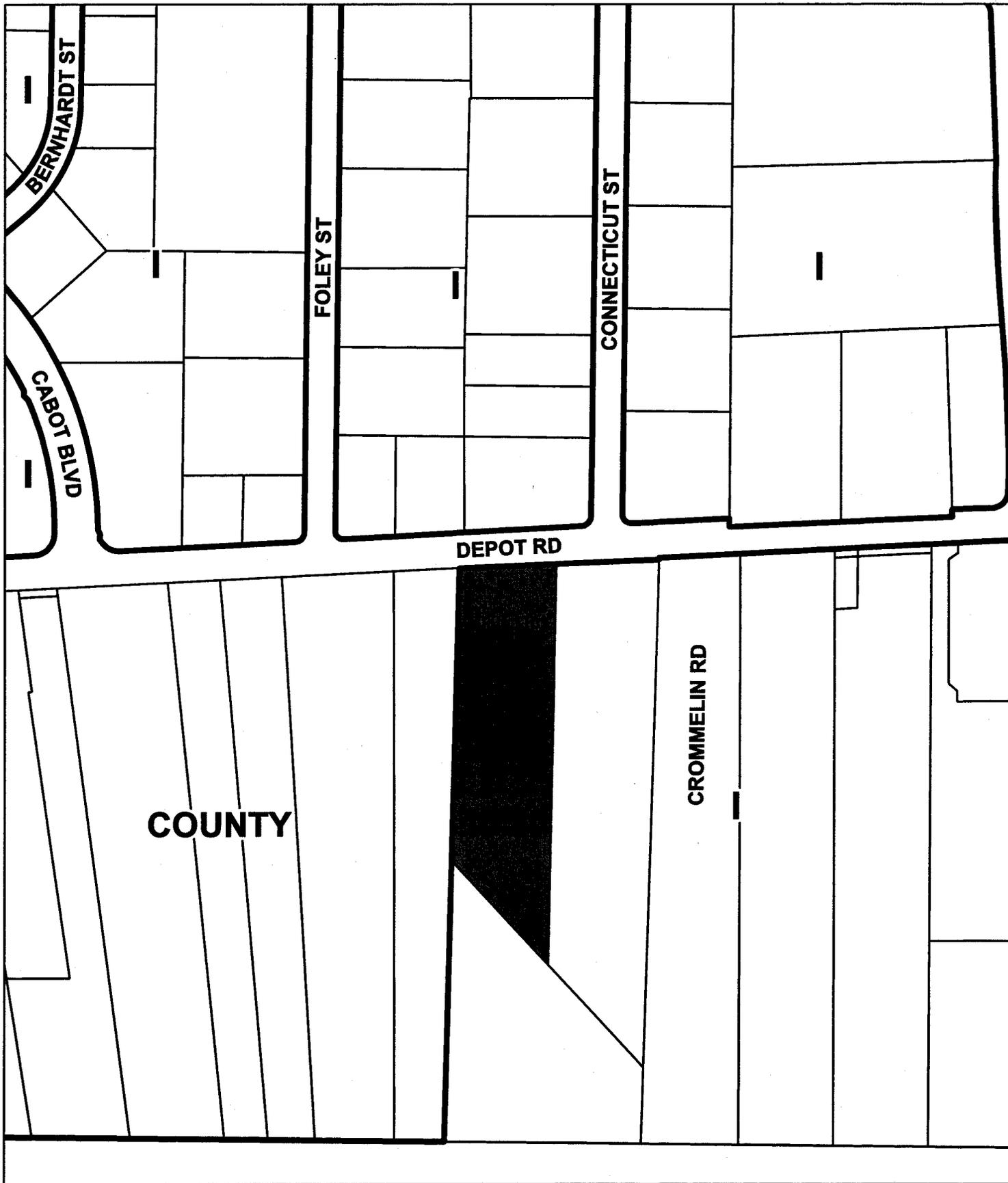
*Recommended by:*



Richard Patenaude, AICP  
Acting Planning Manager

### **Attachments:**

- A. Area Map
- B. Findings for Approval
- C. Conditions of Approval
- D. Negative Declaration & Initial Study  
Plans



**Area & Zoning Map**

PL-2003-0269

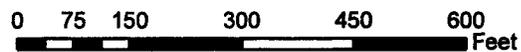
Address: 3664 Depot Road

Applicant: Spanda Industrial Development, Inc.

Owner: Kamp's Propane



**I - Industrial**



## **FINDINGS FOR APPROVAL**

**Use Permit No. PL-2003-0269  
3664 Depot Road  
Kamp's Propane, Inc. (Applicant/Owner)**

1. Approval of Use Permit Application No. 2003-0269, as conditioned will not cause a significant impact on the environment as documented in the Initial Study. A Negative Declaration was prepared in accordance with the California Environmental Quality Act (CEQA) guidelines.
2. The proposed use is desirable for the public welfare in that the use serves a need to the public and will have a minimal impact on the area as it will generate a low volume of traffic and the bulk propane tanks will be stored in a specially designed building approved by the Fire Department.
3. The proposed use will not impair the character and integrity of the Industrial District and surrounding area in that the truck and storage operations would not be visible from the streets and the repairs and storage are conducted in a way that meets the Zoning Ordinance requirements.
4. The proposed propane storage and distribution facility will be not detrimental to the public health, safety and general welfare in that the conditions of approval would require that all storage and distribution conform to Uniform Building, Uniform Fire Code, and the National Fire Protection Association requirements and the bulk propane tanks will be stored in a specially designed building approved by the Fire Department.
5. The proposed propane storage and distribution facility is in harmony with applicable City policies and the intent and purpose of the zoning district involved in that the site is intended for industrial development and use is a conditionally permitted use in the industrial district.

## **CONDITIONS OF APPROVAL**

**Use Permit No. PL-2003-0269  
3664 Depot Road  
Kamp's Propane, Inc. (Applicant/Owner)**

1. Use Permit Application No. PL-2003-0269 is approved subject to the plans labeled Exhibit "A" and the conditions listed below. This permit becomes void one year after the effective date of approval, unless prior to that time the improvements required by the conditions of have been installed, or a time extension of this application is approved. A request for a one-year extension, approval of which is not guaranteed, must be submitted to the Planning Division 15 days prior to the above date.
2. If a building permit is issued for construction of improvements authorized by the use permit approval, said approval shall be void two years after issuance of the building permit, or three years after approval of the application, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance upon the site plan review approval.
3. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
4. Any proposal for alterations to the proposed site plan and/or design, which does not require a variance to any zoning code, must be approved by the Planning Director prior to implementation.
5. An eight-foot-high decorative masonry wall shall be installed along the perimeter of the property where the propane storage and distribution activities will occur. The wall design and location shall be approved by the Planning Director.
6. A matching eight-foot-high decorative masonry screen wall shall be installed between the customer parking area and the distribution area. Included in the design shall be a six-foot-wide landscape area between the parking lot and the wall.
7. The propane dispensing facility located in the front parking area shall be screened with a six-foot-high decorative masonry wall; the design shall be the same as the other masonry walls being constructed as part of this development.
8. All signs shall comply with the Sign Ordinance regulations for the Industrial District. Prior to installation of any signs, sign plans shall and a sign permit application shall be submitted to the Planning Director.
9. No pay phones or vending machines shall be permitted on the exterior of the buildings or on the premises.

10. The Building Permit application shall include the following:

- a. A detailed landscape and irrigation plan that meets the approval of the City Landscape Architect. The landscape plans shall indicate the landscaping of all areas not improved with buildings or pavement. A landscaped area shall be installed around the trash enclosure and a 17.5-foot-wide landscape area along the street frontage within the proposed street right-of-way. The landscaping shall be maintained until such time street improvements are installed to the limits of the ultimate street width. The landscape and irrigation plan shall be approved by the City's Landscape Architect.
- b. A detailed drainage plan including a hydrology and hydraulic calculations to be approved by the Alameda County Flood Control and Water Conservation District.
- c. A utility plan that shows existing and proposed water and sanitary sewer lines.
- d. A site plan that shows the existing curb, existing right-of-way, and the 15-foot-wide right-of-way dedication across the property frontage. Show unused driveways to be removed and replaced with curb and gutter to match the existing and proposed driveways that conform to City standard detail SD-110.

**Engineering Division:**

11. The project shall identify Best Management Practices (BMPs) for construction and ongoing activities appropriate to the uses conducted on-site in order to prevent the discharge of pollutants into the storm drain.
12. Prior to the start of any grading on the site a Notice of Intent shall be acquired from the State of California Regional Water Quality Control Board and provided to the City Engineer in compliance with State mandate.
13. An encroachment permit shall be obtained from the Alameda County Flood Control and Water Conservation District prior to the connection of the storm drainage system to the County facilities on Depot Road.
14. Prior to issuance of a certificate of occupancy the owner shall dedicate a 15-foot-wide strip of land across the property frontage for the purposed of street widening.
15. Prior to issuance of a certificate of occupancy the owner shall enter into a deferred street improvement agreement with the City to construct curb, gutter, a five and a half foot wide sidewalk adjacent to the curb and street paving to achieve a curb to curb width of 64 feet.
16. Prior to issuance of a certificate of occupancy the owner shall prepare a Maintenance Agreement ensure that the storm drain facilities are properly maintained and record the easement in the office of the County Recorder.
17. The property owner shall maintain in good repair all fencing, landscaping and paved areas. The premises shall be kept clean and free of graffiti. Any graffiti painted on the property shall be painted out or removed within 72 hours of occurrence.

**Police Department:**

18. Exterior lighting shall be provided for the exterior of the premises, including adjacent public sidewalks and the parking areas under control of licensee(s). The level of lighting shall comply with the City of Hayward Security Ordinance. The lighting shall operate during all hours of darkness during which the premises are open for business in a manner so persons standing in those areas are identifiable by law enforcement personnel. However, the positioning of such lighting shall not disturb the normal privacy and use of the adjoining properties. The design and location of lighting fixtures shall meet the approval of the Planning Director.

**Fire Department:**

19. Access Requirements:

- a. As per the submitted plans, site access into and out of the property shall be maintained throughout to allow fire apparatus to travel about;
- b. Design of fire lane travel route and turning areas shall be maintained as such and shall be dedicated with signage and red-painted curbing or asphalt striping;
- c. The entire site and dedicated fire lane routes shall be paved access with an all-weather surface and engineered and designed to withstand the gross vehicle weight (GVW) of fire apparatus (50,000 lbs.);
- d. Primary access lanes, driveways, etc. (from Depot Road) into the property shall be established and dedicated with signage and red-curbing per Hayward Fire Department Standards;
- e. Security gates shall be provided with either a lock box (manually operated) or a Fire Department key switch (automated or electrically operated);
- f. There shall be no other types of combustible storage allowed within the yard beyond the dedicated staging areas for the propane trucks;
- g. There shall be no other storage of any materials that will create an obstruction to fire access (entry, exiting and turning around), unless reviewed and approved by the Hayward Fire Department;
- h. Dedicated propane vehicle staging areas shall be signed, striped or cordoned off from public access. Additional measures to protect the parked (staged) vehicles will need to be met as required by the Fire Marshal;
- i. Parking of large propane vehicles shall not be allowed in the yard;
- j. Non-working vehicles or damaged tanks shall not be stored within the yard;
- k. There shall be no use of open flame or open flame processes within the propane storage yard (including smoking);
- l. Appropriate signage shall be installed throughout the property indicating "No Smoking" and "No Use of Open Flame". Signage shall be visible and legible from the public street and shall be installed in additional locations on the property as required by the Hayward Fire Department; and
- m. A monument address sign shall be installed in an approved location with a minimum 6-inch address number installed on a contrasting background.

**20. Water Supply Requirements:**

- a. The proposed (new) on-site fire hydrant(s) shall be installed per City standards. The required minimum flow shall meet 5,000 gallons per minute at 20 PSI; the hydrant system shall be looped and interconnected;
- b. The fire hydrant service line shall be independently controlled and independently connected to the City's water main;
- c. Fire hydrant(s) shall be double steamer type with 2 – 4 ½” outlets and 1 – 2 ½” outlet;
- d. Protective crash posts shall be installed around the fire hydrant(s) to try and prevent any vehicular impact and damage to the fire hydrant. Crash posts shall be installed per City of Hayward Standards; and
- e. Blue reflective hydrant markers shall be installed on the pavement adjacent to each fire hydrant location.

**21. Fixed and Portable Water Requirements:**

- a. Installation of fixed and portable fire extinguishing equipment (water monitors) shall meet the requirements of NFPA 15 – “Standard for Water Spray Fixed Systems for Fire Protection”. Such firefighting appliances shall be installed in the dedicated locations as approved by the Hayward Fire Department;
- b. As agreed with the applicant, additional firefighting equipment shall be provided to the Hayward Fire Department apparatus fleet. Such equipment shall include high volume water delivery devices, outfitted to meet Hayward Fire Department specifications. The applicant will be required to furnish the quantity of such equipment on fire apparatus as it determined by the City of Hayward Fire Marshal;
- c. The fire service line supplying the fixed water monitors shall be independently controlled and independently connected to the City's water main.

**22. Main Bulk Tank Storage Building Requirements:**

- a. Installation of the mounded containers shall be in conformance with NFPA 58 Standards, Chapter 6, Section 6.6.6, 6.6.6.1, 6.6.6.2, and 6.6.6.3;
- b. Mounding material shall be earth, sand or other non-combustible and non-combustible materials having a minimum depth cover for the container of 1 foot;
- c. Container valves and appurtenances shall be accessible for operation or repair;
- d. If access tunnels are being designed, such tunnels shall be designed to meet an H-2 occupancy (per the CFC and CBC);
- e. If access tunnels are being designed to access the control valves (on the mounded containers), such tunnels shall be designed with a minimum 4 foot x 3 foot area;
- f. If access tunnels are being designed, such access tunnels shall meet ventilation requirements (mechanical or natural) as required by the CFC;

- g. If access tunnels are being designed, such access tunnels shall be internally protected with automatic fire sprinklers;
- h. If access tunnels are being designed, electrical requirements within the (H-2 occupancy) access tunnel shall meet the CFC and NEC for classification and division;
- i. Mounded containers shall be coated or protected to minimize corrosion;
- j. Crash protection shall be provided for the mounded tanks as required by the Hayward Fire Department.

23. Office Building Requirements:

- a. The building is required to be fully protected with an automatic fire sprinkler system conforming to NFPA 13 Standards;
- b. A dedicated underground fire service line shall be installed to supply the buildings' fire sprinkler system. Design and installation of the underground fire service line shall be in compliance with NFPA 24 Standards;
- c. An exterior alarm bell shall be installed on the fire sprinkler system riser;
- d. Interior audible alarms shall be installed within the building as part of the fire sprinkler system waterflow monitoring;
- e. The fire sprinkler system for the building shall be monitored by an approved central station monitoring company;
- f. Portable fire extinguishers having a minimum rating of 2A:10BC shall be installed within the office building in locations as approved by the Hayward Fire Department;
- g. A minimum 12-inch building address shall be installed on the front of the building on a contrasting background and shall be visible from the street.
- h. Repair Shop Requirements: The building is required to be fully protected with an automatic fire sprinkler system conforming to NFPA 13 Standards;
- i. A dedicated underground fire service line shall be installed to supply the buildings' fire sprinkler system. Design and installation of the underground fire service line shall be in compliance with NFPA 24 Standards;
- j. An exterior alarm bell shall be installed on the fire sprinkler system riser;
- k. Interior audible alarms shall be installed within the building as part of the fire sprinkler system waterflow monitoring;
- l. The fire sprinkler system for the building shall be monitored by an approved central station monitoring company;
- m. Portable fire extinguishers having a minimum rating of 2A:10BC shall be installed within the repair shop building in locations as approved by the Hayward Fire Department. Additional fire extinguishers having a higher rating may be required pending further information on the level of repair service being provided;
- n. Storage and use of any hazardous materials shall be documented and reported to the Hayward Fire Department;
- o. There shall be no welding occurring within the repair shop unless reviewed and approved by the Hayward Fire Department;
- p. Repair and service of motor vehicles shall be in compliance with the CFC, Article 29;

- q. There shall be no repair and/or service of propane cylinders within the shop;
- r. Drainage and release of expelled propane gas during service and repair operations shall be in compliance with Bay Area Air Quality Management District (BAAQMD);
- s. Flaring of propane cylinders and/or tanks shall not be allowed within the building or on any other part of the property;
- t. Storage of portable cylinders shall be properly secured within the building;
- u. Identification placards (NFPA 704 Standards) shall be installed on the exterior of the building in locations as approved by the Hayward Fire Department;
- v. A minimum 12-inch building address shall be installed on the front of the building on a contrasting background and shall be visible from the street;

**24. Fuel Dispensing Requirements:**

- a. Fuel dispensing shall be allowed for portable tanks and cylinders as well as motor vehicles;
- b. Installation of fuel dispensing stations and fueling dispensers shall be in compliance with NFPA 58 Standards (Chapter 6, Section 6.22), CFC Article 52 (Specifically Section 5203 and all other applicable sections relative to LPG fueling) and CFC Article 82;
- c. Portable fire extinguishers having a minimum rating of 4A:40BC shall be installed at the fuel dispensing station in locations approved by the Hayward Fire Department;
- d. Classification of the electrical components within the fuel dispensing station shall be designed and installed per the National Electrical Code (NEC), NFPA 58 Standards, and the 2001 California Fire Code (CFC);

**25. Fire Protection:**

- a. The Fire Department Connection (FDC) and Post Indicator Valve (PIV) shall be installed in an acceptable location (on the property) and approved by the Hayward Fire Department;
- b. The fire sprinkler riser room shall be properly identified with the appropriate signage;
- c. Central station monitoring of the fire sprinkler system will be required;
- d. A local alarm bell shall be installed on the exterior of the building as part of the fire sprinkler system;
- e. An interior audible alarm device(s) equipped with a manual pull station shall be installed within the office and shop building (as part of the fire sprinkler system);
- f. Gas detection system(s) will be required in the proposed building if storing and/or using LPG;
- g. Gas detection system(s) shall be central station monitored and shall be tested, calibrated and replaced per manufacturers requirements;

- h. Portable fire extinguishers having a minimum rating of 2A:10BC shall be installed within the building and at the fuel dispensing station in locations acceptable to the Hayward Fire Department. Where other hazardous uses are being conducted (on the property), appropriate types of fire extinguishers shall be utilized;
- i. Portable fire extinguishers shall be located throughout the property (exterior yard) in locations acceptable to the Hayward Fire Department. Fire extinguishers shall have a minimum rating of 2A:20BC or other required rating pending use of area.

**26. Hazardous Materials Requirements:**

- a. Any use and/or storage of hazardous materials within the building shall be documented and reported to the Hayward Fire Department at time of building permit submittals or final inspection of the proposed improvements. A chemical inventory shall be completed as part of the application and shall identify any hazardous materials being used and/or stored within the building or on the premise. Until receipt of the inventory, use and/or storage of hazardous materials shall not be allowed or restricted to the allowable quantities (as per the Fire Code). Permits will be required for the storage and use of hazardous materials;
- b. Develop, maintain and keep current a Hazardous Materials Business Plan (HMBP);
- c. Apply for and keep current an annual hazardous materials permit;
- d. The facility and propane storage/dispensing shall meet the requirements of the California Fire Code (CFC), Article 82 and updates to that code;
- e. Facility and propane storage/dispensing shall meet the requirements of the 1997 Uniform Fire Code (UFC) Standard 82-1 "Liquefied Petroleum Gas Storage and Use" and updates to that standard;
- f. Dispensing of liquefied petroleum gas shall also be in accordance with the California Fire Code (CFC), Article 52 and updates to that code. All dispensing shall be conducted by qualified employees of Kamps Propane;
- g. The facility shall meet the requirements of NFPA 58 – Liquefied Petroleum Gas Code and updates to that code;
- h. Vehicle crash protection shall be installed and shall exceed the minimum requirements as stated in the California Fire Code (CFC) Article 80, Section 8001.11.3. Crash protection around hazardous areas (i.e., main bulk tank area, fuel dispensing station, and staging areas for propane cylinders) shall be sized appropriately (to withstand potential truck impact) and be approved by the Hayward Fire Department;
- i. Any changes to the facilities inventory such as quantity of propane, location and number of tanks or vehicles, or other changes not specifically approved and conditioned as part of this application, shall require (at minimum) a variance to the use permit from the Planning Division with approval of the Hayward Fire Department;

- j. A Knox cabinet containing all relevant hazardous materials documents and informational reports for the hazards stored on the property shall be installed on the exterior of the perimeter fencing (at the street), or in an approved location as required by the Hayward Fire Department.

**27. General Requirements:**

- a. The facility shall have a qualified Fire Department liaison (available 24 hours a day and 7 days a week) to coordinate with the Hayward Fire Department in case of any emergency;
- b. The facility shall be in compliance with other government agencies such as the Hayward Police Department, Federal Bureau of Investigation, California Highway Patrol, Department of Transportation, and the Office of Homeland Security (CFC, Article 80, Section 8001.11.2);
- c. An approved security plan shall be submitted to the Hayward Police Department;
- d. No smoking shall be allowed within the entire facility, including the exterior storage yard;
- e. The existing Kamp's Propane facilities located at 24493 Clawiter Road and 2408 Whipple Road shall be properly closed prior to the opening of the new facility at the project address. The closure procedures shall also include the removal of all existing propane tanks and vehicles from each site. Closure reports shall be submitted to the Hayward Fire Department;
- f. The Hayward Fire Department is requiring the project be reviewed by a special (technical) inspector and plan checker, both of whom have qualifications for such type of application (LPG Bulk Storage Facility). Additional fees associated with the use of these qualified personnel shall be the responsibility of the applicant (Kamp's Propane);
- g. The Hayward Fire Department is requiring an annual technical safety inspection and report be prepared by a qualified third party consultant for the Kamp's Propane facility. Qualification of such individual shall be subject to approval by the Hayward Fire Marshal;
- h. The business (facility) shall also comply with the fire protection requirements addressed in the Fire Safety Analysis report performed by Hughes Associates. Prior to the allowance to store propane on the site, the Fire Protection Engineer responsible for the writing of the report shall perform a review of the facility for compliance. A final report of the evaluation shall be submitted to the Hayward Fire Department once the facility has all of the conditions in place.

- 28. Violation of these conditions is cause for revocation of the use permit after a public hearing before the duly authorized review body.**



## CITY OF HAYWARD NEGATIVE DECLARATION

Notice is hereby given that the City of Hayward finds that could not have a significant effect on the environment as prescribed by the California Environmental Quality Act of 1970, as amended will occur for the following proposed project:

### ***I. PROJECT DESCRIPTION:***

**Use Permit No. PL-2003-0269** – Request to Construct a Propane Storage and Distribution Center with Retail Sales of Propane and Propane Accessories. - Kamp's Propane, Inc. (Applicant/Owner). The project location Is 3664 Depot Road, in Hayward, California.

### ***II. FINDING PROJECT WILL NOT SIGNIFICANTLY AFFECT ENVIRONMENT:***

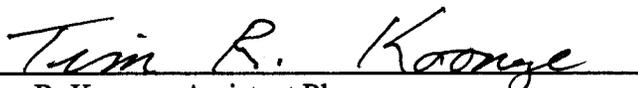
The proposed project could not have a significant effect on the environment.

### ***FINDINGS SUPPORTING DECLARATION:***

1. The proposed project has been reviewed according to the standards and requirements of the California Environmental Quality Act (CEQA) and an Initial Study Environmental Evaluation Checklist has been prepared for the proposed project. The Initial Study has determined that the proposed project could not result in significant effects on the environment.
2. The propane storage and distribution facility is consistent with the industrial uses in the surrounding area. The facility will comply with the Uniform Fire Code and National Fire Protection Association requirements and would use best management practices in its construction and operation of the facility.
3. The project will not have an adverse effect on agricultural land since the property is located within an industrial corridor and it is too small to be used for agriculture.
4. The project will not result in significant impacts related to changes into air quality. When the property is developed the City will require the developer to submit a construction Best Management Practice (BMP) program prior to the issuance of any grading or building permit. This program will include sprinkling the site with water as needed to keep dust to a minimum.

5. The project will not result in significant impacts to biological resources such as wildlife and wetlands. The site contains no wetlands and there is no evidence that it supports any significant wildlife.
6. The project will not result in significant impacts to known cultural resources including historical resources, archaeological resources, paleontological resources, unique topography or disturb human remains.
7. The project site is not located within a "State of California Earthquake Fault Zone", however, construction will be required to comply with the Uniform Building Code standards to minimize seismic risk due to ground shaking. Furthermore, a soils investigation report will be required to ensure that building foundations are adequately designed for the soil type on-site.
8. The facility compliance to the national Fire Protection Association and the Uniform Fire Code will assure that the project will not lead to the exposure of people to hazardous materials.
9. The project will meet all water quality standards. Drainage improvements will be made to accommodate storm water runoff.
10. The project is consistent with the policies of the City General Policies Plan, and the City of Hayward Design Guidelines.
11. The project could not result in a significant impact to mineral resources because extraction of mineral resources would be infeasible due to the property being surrounded by urban uses.
12. The project will not have a significant noise impact. Any noise impacts will be limited to the construction of the project, which will be limited to the hours of 7 a.m. to 7 p.m.
13. The project will not result in a significant impact to public services.
14. The project will it result in changes to traffic patterns or emergency vehicle access.

I. ***PERSON WHO PREPARED INITIAL STUDY:***

  
Tim R. Koonze, Assistant Planner  
Dated: August 31, 2005

**II. COPY OF INITIAL STUDY IS ATTACHED**

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For additional information, please contact the City of Hayward, Planning Division, 777 B Street, Hayward, CA 94541-5007, telephone (510) 583-4207, or e-mail [tim.koonze@hayard-ca.gov](mailto:tim.koonze@hayard-ca.gov).

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**DISTRIBUTION/POSTING**

- Provide copies to all organizations and individuals requesting it in writing.
- Reference in all public hearing notices to be distributed 20 days in advance of initial public hearing and/or published once in Daily Review 20 days prior to hearing.
- Project file.
- Post immediately upon receipt at the City Clerk's Office, the Main City Hall bulletin board, and in all City library branches, and do not remove until the date after the public hearing.



**DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT  
Development Review Services Division**

**INITIAL STUDY CHECKLIST FORM**

**Project title:** Use Permit PL-2003-0269

**Lead agency name and address:** City of Hayward, 777 "B" Street, Hayward, CA 94541-5007

**Contact persons and phone numbers:** Tim R. Koonze, Assistant Planner (510) 583-4207

**Project location:** The property is located at 3664 Depot Road, in Hayward, California.

**Project sponsor's name and address:**  
Jay Oliver  
1915 Moffat Boulevard  
Manteca, CA 95336

**General Plan:** Industrial Corridor (IC)

**Zoning:** Industrial (I)

**Description of project:** Request to Construct a Propane Storage and Distribution Center with Retail Sales of Propane and Propane Accessories.

**Surrounding land uses and setting:** Surrounded on all sides by industrial uses.

**Other public agencies whose approval is required:** None.

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**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:**

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Aesthetics                    | <input type="checkbox"/> Agriculture Resources              | <input type="checkbox"/> Air Quality            |
| <input type="checkbox"/> Biological Resources          | <input type="checkbox"/> Cultural Resources                 | <input type="checkbox"/> Geology /Soils         |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology / Water Quality          | <input type="checkbox"/> Land Use / Planning    |
| <input type="checkbox"/> Mineral Resources             | <input type="checkbox"/> Noise                              | <input type="checkbox"/> Population / Housing   |
| <input type="checkbox"/> Public Services               | <input type="checkbox"/> Recreation                         | <input type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Utilities / Service Systems   | <input type="checkbox"/> Mandatory Findings of Significance |   |

**DETERMINATION: (To be completed by the Lead Agency)**

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Tim R. Koonze  
Signature

August 31, 2005  
Date

Tim R. Koonze, Assistant Planner

City of Hayward

**ENVIRONMENTAL ISSUES:**

<i>Potentially Significant Impact</i>	<i>Potentially Significant Unless Mitigation Incorporation</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
---	--	---	----------------------

**I. AESTHETICS -- Would the project:**

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have a substantial adverse effect on a scenic vista?<br><i>Comment: The project will not affect any scenic vista.</i>  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?<br><i>Comment: The project is located within an industrial area and there are no scenic resources nearby.</i>  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Substantially degrade the existing visual character or quality of the site and its surroundings?<br><i>Comment: The project will not substantially degrade the visual character of the site as the area is already developed with a industrial uses. The proposed development would be consistent with the surrounding industrial buildings.</i> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?<br><i>Comment: The project will not produce any more light than what is produced by a typical industrial development.</i>   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**II. AGRICULTURE RESOURCES:** In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. Would the project:

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?<br><i>Comment: The project site is not mapped as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance.</i> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?<br><i>Comment: The project is currently zoned for industrial development and is not subject to a Williamson Act contract.</i>  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- |   | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporation | Less Than Significant Impact | No Impact                           |
|---|--------------------------------|---|------------------------------|-------------------------------------|
| c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use? | <input type="checkbox"/>       | <input type="checkbox"/>                                | <input type="checkbox"/>     | <input checked="" type="checkbox"/> |
| <i><b>Comment:</b> The project is located within an industrial corridor and would not have any impact on agricultural lands.</i>                              |                                |   |                              |                                     |

III. AIR QUALITY -- Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

- |  |                          |                          |                                     |                                     |
|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a) Conflict with or obstruct implementation of the applicable air quality plan?  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| <i><b>Comment:</b> The project will not conflict with the Bay Area 2000 Clean Air Plan or the City of Hayward General Plan policies relating to Air Quality.</i> |                          |                          |                                     |                                     |
| b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?   | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |

***Comments:** The Bay Area air basin currently exceeds both federal and state standards for ozone and state standards for particulate matter <10 microns in diameter (PM10). The project is of a relatively small scale and is not expected to generate enough vehicle trips to make a significant contribution to the existing air quality violation.*

In order to reduce intermittent air pollutants during the construction phase, the developer shall ensure that unpaved construction areas are sprinkled with water as necessary to reduce dust generation, construction equipment is maintained and operated in such a way as to minimize exhaust emissions, and if construction activity is postponed, graded or vacant land is immediately revegetated.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <i><b>Comment:</b> The industrial use is within an industrial corridor specified in the City Of Hayward General Plan. The pollution generated by the new vehicle trips was determined in the EIR for the General Plan to be a less than significant impact.</i>                             |                          |                          |                          |                                     |
| d) Expose sensitive receptors to substantial pollutant concentrations?  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <i><b>Comment:</b> The project will not expose sensitive receptors to substantial pollutant concentrations.</i>   |                          |                          |                          |                                     |

- |  | <i>Potentially<br/>Significant<br/>Impact</i> | <i>Potentially<br/>Significant<br/>Unless<br/>Mitigation<br/>Incorporation</i> | <i>Less Than<br/>Significant<br/>Impact</i> | <i>No<br/>Impact</i>                |
|--|---|--|---|-------------------------------------|
| e) Create objectionable odors affecting a substantial number of people?<br><i>Comment: The project will not create objectionable odors affecting a substantial number of people.</i> | <input type="checkbox"/>                      | <input type="checkbox"/>   | <input type="checkbox"/>                    | <input checked="" type="checkbox"/> |

**IV. BIOLOGICAL RESOURCES -- Would the project:**

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?<br><i>Comment: The property is a relatively small parcel located within a developed industrial area and does not provide a habitat for any species of concern.</i> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?<br><i>Comment: The site contains no riparian or sensitive habitat.</i>   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?<br><i>Comment: The site contains no wetlands.</i>  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?<br><i>Comment: The site does not contain habitat used by migratory fish or wildlife nor is it a migratory wildlife corridor.</i>   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?<br><i>Comment: There are no biological resources on or near the site.</i>   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional or state habitat conservation plan?<br><i>Comment: There are no habitat conservation plans affecting the property.</i>  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporation	Less Than Significant Impact	No Impact
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**V. CULTURAL RESOURCES -- Would the project:**

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?<br><i><b>Comment:</b> No known historical resources exist on-site.</i>   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?<br><i><b>Comment:</b> This site has been previously disturbed and no known archaeological resources were found.</i> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?<br><i><b>Comment:</b> No known paleontological resources exist on-site.</i>   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Disturb any human remains, including those interred outside of formal cemeteries?<br><i><b>Comments:</b> This site has been previously disturbed and no known archaeological resources were found..</i>                        | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**VI. GEOLOGY AND SOILS – Would the project:**

- |   |                          |                          |                                     |                                     |
|---|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:  |                          |                          |                                     |                                     |
| i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.<br><i><b>Comment:</b> The project is not located within the Hayward Fault Zone.</i>  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| ii) Strong seismic ground shaking?<br><i><b>Comment:</b> The site is not located within a "State of California Earthquake Fault Zone". The project will be required to comply with the Uniform Building Code Standards to minimize seismic risk due to ground shaking.</i><br><i><b>Impacts:</b> Ground shaking can be expected at the site during a moderate to severe earthquake, which is common to virtually all development in the general region. All structures would be required to be constructed to the seismic codes in effect at the time of construction. This impact is considered less than significant.</i> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporation	Less Than Significant Impact	No Impact
iii) Seismic-related ground failure, including liquefaction? <i>Comment: C Liquefaction can be expected at the site during a moderate to severe earthquake, which is common to virtually all development in the region that are not located within the hills or foothills within the region. All structures would be required to be constructed to the building codes in effect at the time of construction.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Landslides? <i>Comment: The property is located within a flat plain region and there is no possibility of landslide activity.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil? <i>Comment: The site is a flat parcel and the proposed development would be covered with either paving or vegetation leaving no possibility for erosion.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? <i>Comment: See comment VI (a iii).</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? <i>Comment: All structures would be required to be constructed to the building codes in effect at the time of construction.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater? <i>Comment: The facility would be connected to the City of Hayward Sanitary Sewer District sewer system.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**VII. HAZARDS AND HAZARDOUS MATERIALS - Would the project:**

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? <i>Comment: The facility would store deliver propane, a highly flammable gas, but would be stored and transported per the specifications identified in the Uniform Fire Code and National Fire Protection Association (NFPA).</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporation	Less Than Significant Impact	No Impact
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? <i><b>Comment:</b> The facility gases stored on the site have a potential for explosion but this issue has been mitigated through design features and requirements of the Uniform Fire Code and National Fire Protection Association (NFPA).</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? <i><b>Comment:</b> The site is within an industrial corridor an there are no schools nearby, See VII b.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? <i><b>Comment:</b> The site is not included on a list o f hazardous materials sites and does not constitute a significant hazard to the public.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? <i><b>Comment:</b> The project is not located within an airport zone.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? <i><b>Comment:</b> See VII e.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? <i><b>Comment:</b> The project will not interfere with any known emergency response plan or emergency evacuation plan. The Hayward Fire Department serves the area. Emergency response times will be maintained.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? <i><b>Comment:</b> The project is not located in an area of wildlands and is not adjacent to wildlands.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporation	Less Than Significant Impact	No Impact
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**VIII. HYDROLOGY AND WATER QUALITY -- Would the project:**

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Violate any water quality standards or waste discharge requirements?<br><i><b>Comment:</b> The project will meet all water quality standards. Drainage improvements will be made to accommodate runoff.</i>   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?<br><i><b>Comment:</b> The site will be served with water by the City of Hayward. Therefore, water quality standards will not be violated and groundwater supplies will not be depleted. Recharge of the groundwater table will be decreased as the proposal involves increasing the percentage of the site covered with impervious surfaces. This impact is deemed insignificant as there are no known wells nearby that would see a drop in production.</i> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?<br><i><b>Comment:</b> The project is not located near a stream or a river. Development of the site will not result in substantial erosion or siltation on- or off-site.</i>   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?<br><i><b>Comment:</b> The project is within an industrial area and runoff will leave the site via the City's storm drain system. Drainage patterns on the site will not cause flooding.</i>  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?<br><i><b>Comment:</b> The amount of run-off from the project will not exceed the capacity of the stormwater drainage system. See VIII a.</i>   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) Otherwise substantially degrade water quality?<br><i><b>Comment:</b> See VIII a.</i>  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporation	Less Than Significant Impact	No Impact
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? <b>Comment:</b> <i>The proposed industrial facility will not consist of housing.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows? <b>Comment:</b> <i>The proposed structures will not impede or redirect flood flows.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? <b>Comment:</b> <i>The project is not in a location that would allow these phenomena to affect the site.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow? <b>Comment:</b> <i>The project is not in a location that would allow these phenomena to affect the site.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>IX. LAND USE AND PLANNING - Would the project:</b>				
a) Physically divide an established community? <b>Comment:</b> <i>The project industrial facility conforms to the established industrial community.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?  <b>Comment:</b> <i>The area is designated on the General Policies Plan Map as Industrial Corridor and the property is located within an Industrial District as identified in the Zoning Ordinance. The proposed industrial facility conforms to the policies and regulations of these documents.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural community conservation plan? <b>Comment:</b> <i>See IV f.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporation	Less Than Significant Impact	No Impact
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**X. MINERAL RESOURCES – Would the project:**

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Comment:*** *The project will not result in a significant impact to mineral resources since the subject site is located in an industrial area that does not contain mineral resources that could be feasibly removed.*

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Comment:*** *See X a.*

**XI. NOISE - Would the project result in:**

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

***Comment:*** *Exposure of persons to or generation of any new noise or noise levels in excess of standards established in the Noise Element of the Hayward General Plan or the Municipal Code, or applicable standards of other agencies if any, will be temporary in nature during the construction of the homes and associated improvements. All City noise standards are required to be met and maintained upon completion of construction. Grading and construction will be limited to the hours between 7:00 a.m. and 7:00 p.m. Monday through Friday. No work will be done on Sundays or national holidays.*

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Comment:*** *See XI a.*

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Comment:*** *See XI a*

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Comment:*** *See XI a*

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Comment:*** *See VII e.*

- |  | <i>Potentially<br/>Significant<br/>Impact</i> | <i>Potentially<br/>Significant<br/>Unless<br/>Mitigation<br/>Incorporation</i> | <i>Less Than<br/>Significant<br/>Impact</i> | <i>No<br/>Impact</i>                |
|--|---|--|---|-------------------------------------|
| f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? | <input type="checkbox"/>                      | <input type="checkbox"/>   | <input type="checkbox"/>                    | <input checked="" type="checkbox"/> |

**Comment:** See VII e.

**XII. POPULATION AND HOUSING --** Would the project:

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Comment:** The industrial facility would not facilitate any further development.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Comment:** There are no habital structures on this site.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Comment:** See XII b.

**XIII. PUBLIC SERVICES**

Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

- |                     |                          |                          |                          |                                     |
|---------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Fire protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Comment:** The proposed project would have no effect upon, or result in only a minimal need for new or altered government services in fire and police protection, schools, maintenance of public facilities, including roads, and in other government services.

- |                       |                          |                          |                          |                                     |
|-----------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Police protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-----------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Comment:** See XIII a.

- |             |                          |                          |                          |                                     |
|-------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Schools? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Comment:** See XIII a.

- |           |                          |                          |                          |                                     |
|-----------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Parks? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-----------|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Comment:** See XIII a.

- |  | <i>Potentially<br/>Significant<br/>Impact</i> | <i>Potentially<br/>Significant<br/>Unless<br/>Mitigation<br/>Incorporation</i> | <i>Less Than<br/>Significant<br/>Impact</i> | <i>No<br/>Impact</i>                |
|--|---|--|---|-------------------------------------|
| e) Other public facilities?  | <input type="checkbox"/>                      | <input type="checkbox"/>   | <input type="checkbox"/>                    | <input checked="" type="checkbox"/> |
| <i><b>Comment:</b> The industrial facility would connect to the City of Hayward a sanitary sewer and water mains which are of adequate size to handle the proposed facility.</i> |   |  |   |                                     |

**XIV. RECREATION --**

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <i><b>Comment:</b> The industrial project would not have an impact on recreational facilities.</i>   |                          |                          |                          |                                     |
| b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?                        | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <i><b>Comment:</b> See XIV a.</i>  |                          |                          |                          |                                     |

**XV. TRANSPORTATION/TRAFFIC -- Would the project:**

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <i><b>Comment:</b> Traffic generated from this facility would be minimal and would have no significant affect on the traffic load or capacity of the existing street system.</i>   |                          |                          |                          |                                     |
| b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <i><b>Comment:</b> See XV a.</i>   |                          |                          |                          |                                     |
| c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <i><b>Comment:</b> The project will not affect air traffic patterns.</i>   |                          |                          |                          |                                     |

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporation	Less Than Significant Impact	No Impact
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? <i><b>Comment:</b> The facility would use two driveways designed at 90 degree angles to Depot Road and would not have a significant impact to the traffic pattern.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in inadequate emergency access? <i><b>Comment:</b> The Hayward Fire Department has reviewed the project and finds the project acceptable to Hayward Fire Department requirements and standards.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Result in inadequate parking capacity? <i><b>Comment:</b> The facility has provided adequate parking exceeding the City's Off-Street Parking Regulations.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)? <i><b>Comment:</b> The project does not conflict with adopted policies supporting alternative transportation.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>XVI. UTILITIES AND SERVICE SYSTEMS - Would the project:</b>				
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? <i><b>Comment:</b> The project will not exceed wastewater treatment requirements.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? <i><b>Comment:</b> The City of Hayward's Sanitary Sewer District's wastewater treatment facilities are capable of handling the wastewater to be generated by the project. They must issue a permit prior to connection to their facilities</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? <i><b>Comment:</b> There are drainage facilities of adequate size to serve the proposed project.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	<i>Potentially Significant Impact</i>	<i>Potentially Significant Unless Mitigation Incorporation</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?  <i><b>Comment:</b> The City of Hayward supplies water to the site and has sufficient water to serve the project.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?  <i><b>Comment:</b> See XVI b.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?  <i><b>Comment:</b> Waste Management of Alameda County will dispose the solid waste. The Altamont landfill is available to the City of Hayward until 2009 and has sufficient capacity to handle the amount of solid waste generated by the project. The landfill recently received an approval that increases the capacity and adds 25 years to the life of the landfill to the year 2034.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste?  <i><b>Comment:</b> The project study area participates in the Waste Management of Alameda County recycling program. Construction and operation of the project will comply with all federal, state and local statutes and regulations related to solid waste.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<i>Potentially Significant Impact</i>	<i>Potentially Significant Unless Mitigation Incorporation</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
---	--	---	----------------------

**XVII. MANDATORY FINDINGS OF SIGNIFICANCE --**

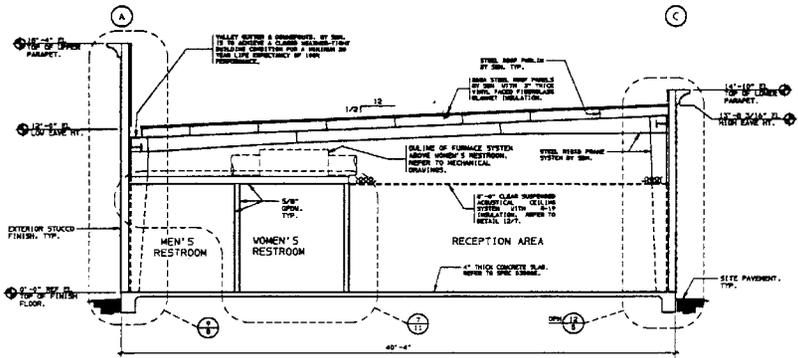
- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |





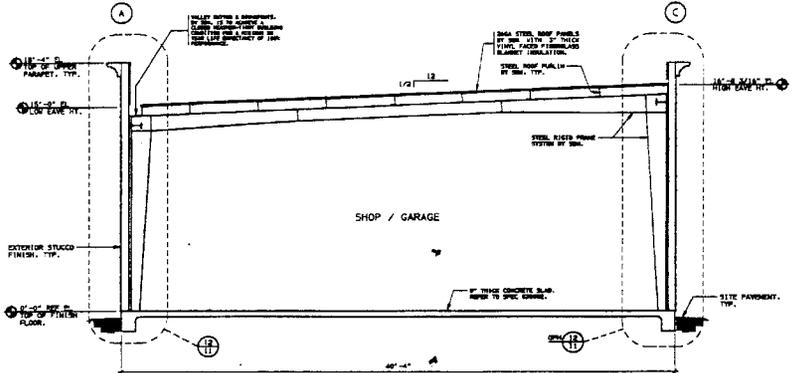






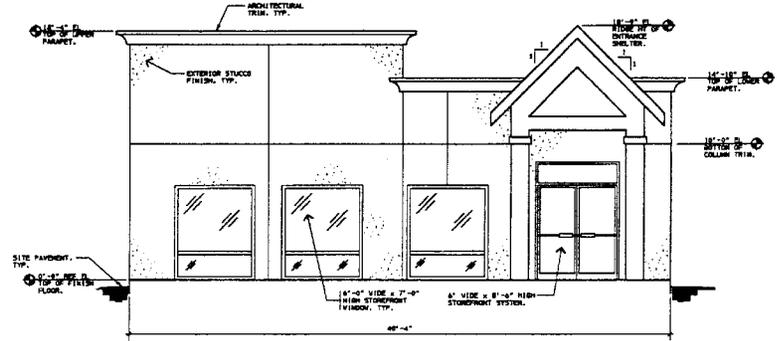
CROSS SECTION 'A-A'

SCALE: 1/4" = 1'-0"



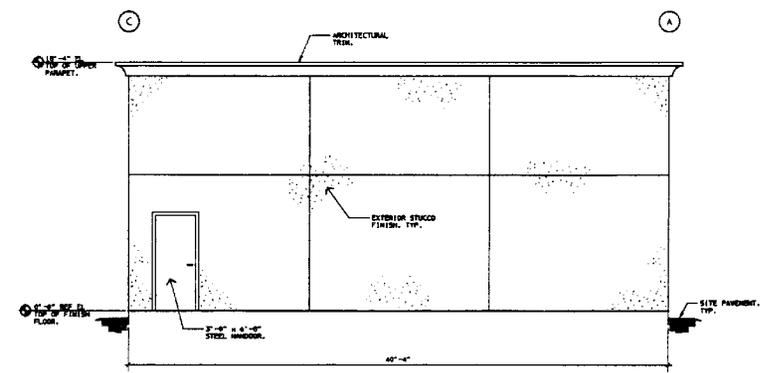
CROSS SECTION 'B-B'

SCALE: 1/4" = 1'-0"



NORTH ELEVATION AT LINE 1

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION AT LINE 7

SCALE: 1/4" = 1'-0"

**advanced**  
DESIGN GROUP, INC.  
1000 WEST 10TH STREET  
DENVER, CO 80202  
TEL: (303) 877-3474



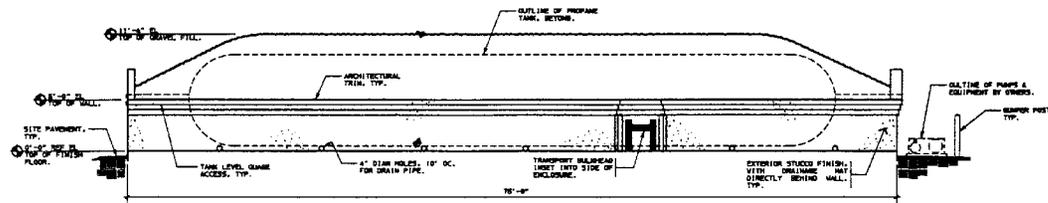
PROJECT: PROPANE STATION FACILITY  
OWNER: KAMP'S PROPANE  
LOCATION: 3664 DEPOT RD., HAYWARD, CALIFORNIA  
CONTRACTOR: SPANDA INDUSTRIAL DEVELOPMENT, INC.

REV	DATE	BY

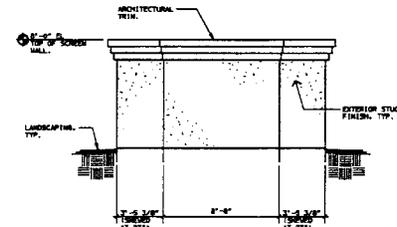
DESIGNED BY: EJM  
CHECKED BY: EJM  
DATE: 07/26/98  
SCALE: AS NOTED

PROJECT: 04-093

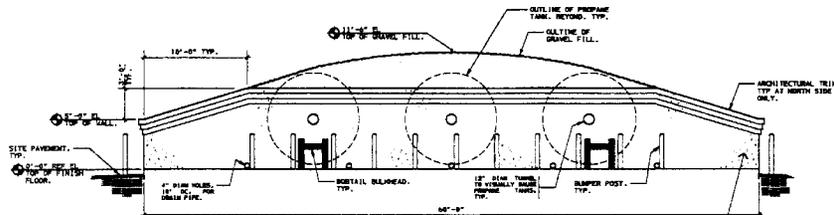
SHEET NUMBER: 5



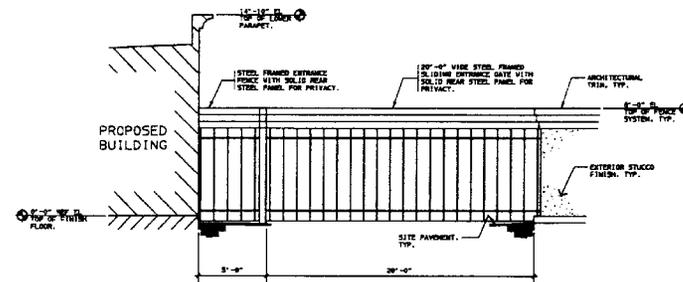
**EAST ELEVATION (TANK ENCLOSURE BUILDING)**  
 (WEST ELEVATION, SIMILAR, OPPOSITE HAND (NO BULKHEAD))  
 SCALE: 3/16" = 1'-0"



**NORTH ELEVATION (DISPENSER CABINET SCREEN WALL)**  
 SCALE: 3/16" = 1'-0"



**NORTH ELEVATION (TANK ENCLOSURE BUILDING)**  
 (SOUTH ELEVATION, OPPOSITE HAND)  
 SCALE: 3/16" = 1'-0"



**NORTH ELEVATION (ENTRANCE FENCE, GATE & WALL)**  
 SCALE: 1/4" = 1'-0"

**advanced**  
 DESIGN GROUP, INC.  
 1000 W. 10TH ST. SUITE 200  
 ANAHEIM, CA 92801  
 PHONE: (714) 941-1100  
 FAX: (714) 941-1100



PROJECT: PROPANE STATION FACILITY  
 OWNER: KAMP'S PROPANE  
 LOCATION: 3664 DEPOT RD., HAYWARD, CALIFORNIA  
 CONTRACTOR: SPANDA INDUSTRIAL DEVELOPMENT, INC.

NO.	DATE	BY

DESIGNED BY: [blank]  
 DRAWN BY: [blank]  
 DATE: 07/16/96  
 SCALE: AS NOTED

PROJECT: 04-093

SHEET NUMBER: 7

CONNECTICUT  
AVENUE

ROAD

DEPOT

FOLEY  
STREET



**LEGEND**  
 ——— PROPERTY BOUNDARY LINE.  
 ● FORMER FERRYBOAT CITY MEMORIAL  
 - - - - - ELEVATION CONTOUR (2' INTERVAL)



Harold B. Davis

A. P. NO. 439-0970-001-01 (PCH27208)



L.C. MERRILL, P.E. (925) 437-4080  
 14 JAMES COURT, SUITE 200  
 DANFORTH, CA 94526  
 L. B. JENSEN, P.E. (925) 887-8543  
 2001 JENSEN AVENUE  
 DANFORTH, CA 94521  
 L.B. DAVIS, L.S. (925) 837-4080  
 14000 UNIVERSITY AVENUE  
 SAN CLEMENTE, CA 92673

REVISIONS		3664 DEPOT ROAD, HAYWARD, CALIFORNIA	
NO.	DATE	BY	

TOPOGRAPHIC SURVEY			
DESIGNED BY: L.S.J.	CHECKED BY:	DATE: MARCH 23, 2003	SHEET NO. 1 of 1
DRAWN BY: L.S.J.	SCALE: 1" = 20'		
DATE: MARCH 23, 2003			

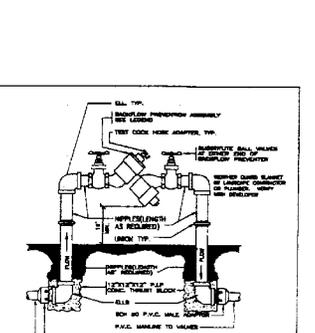
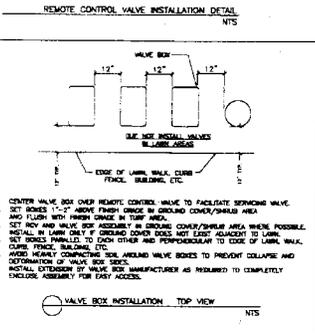
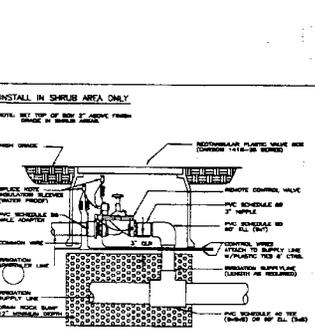
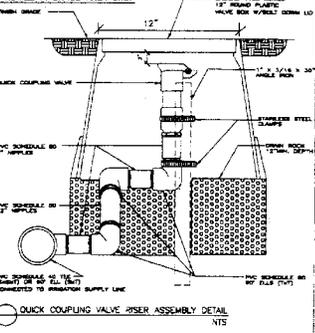
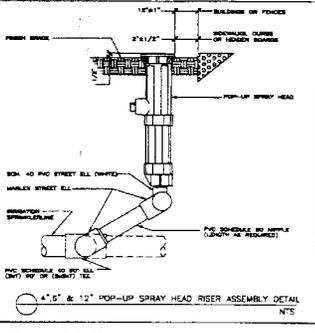
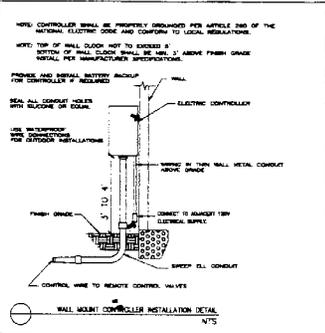
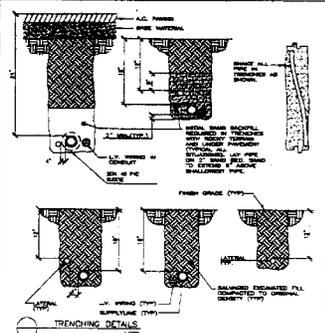
04-093



**IRRIGATION NOTES**

- 1) SPARKER SYSTEMS DESIGNED FOR A NUMBER OF ALICHA... (text partially obscured)
- 2) ALL THE EQUIPMENT REQUIRED BUT NOT SPECIFIED ON THE PLANS SHALL... (text partially obscured)
- 3) METAL BACKFLOW PREVENTION DEVICES APPROXIMATELY THREE... (text partially obscured)
- 4) CONTROLLER LOCATION APPROXIMATELY: EXACT LOCATION OF WALL... (text partially obscured)
- 5) THE PLAN IS QUADRANTARY AND ALL MANHOLE AND VALVE BOXES... (text partially obscured)
- 6) USE 1/2" O.D. BRASS, 1/2" O.D. BRASS, 1/2" O.D. BRASS... (text partially obscured)
- 7) HOUSE DRUCK COUPLING VALVES IN ROUND PLASTIC BOX WITH BOLT... (text partially obscured)
- 8) INSTALL 1/2" O.D. BRASS, 1/2" O.D. BRASS, 1/2" O.D. BRASS... (text partially obscured)
- 9) METAL SPRINKLER HEADS ALONG PARALLEL LINES ADJACENT TO... (text partially obscured)
- 10) ALL VALVE CONTROLS MUST BE IN A 16 1/4" X 16 1/4" X 16 1/4"... (text partially obscured)
- 11) HOUSE DRUCK COUPLING VALVES IN ROUND PLASTIC BOX WITH BOLT... (text partially obscured)
- 12) AT JOB COMPLETION, SUPPLY OWNER WITH INCHES) SETS OF WATERING... (text partially obscured)
- 13) IRRIGATION CONTRACTOR SHALL GUARANTEE THE IRRIGATION SYSTEM... (text partially obscured)
- 14) ALL IRRIGATION COLOR AREAS SHALL BE IRRIGATED WITH SEPARATE... (text partially obscured)
- 15) LANDSCAPE CONTRACTOR SHALL VERIFY STATIC PRESSURE AND GPM... (text partially obscured)
- 16) ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST... (text partially obscured)
- 17) WATER APPLICATION RATES... (text partially obscured)
- 18) CHECK VALVES INSTALLED TO PREVENT JUMP HEAD DRAINAGE... (text partially obscured)
- 19) CONTROLLER TO SET BETWEEN DAWN AND DUSK... (text partially obscured)

- IRRIGATION MAINTENANCE**
- 1) A MINIMAL INSPECTION SHALL BE DONE TO INSURE PROPER OPERATION... (text partially obscured)
  - 2) CHANGE THE AUTOMATIC CONTROLLER PROGRAM IN ACCORDANCE TO... (text partially obscured)
  - 3) AUTOMATIC CONTROLLER SHALL BE PROGRAMMED TO OPERATE BETWEEN... (text partially obscured)
  - 4) ALL REMOTE CONTROL VALVES SHALL BE TESTED FOR PROPER OPERATION... (text partially obscured)
  - 5) ALL IRRIGATION REPAIRS SHALL BE DONE WITH PROPERLY SPECIFIED... (text partially obscured)
  - 6) SLOTTED PRUNING/BRANCHING OF SHRUBS AND TREES MAY BE NECESSARY... (text partially obscured)
  - 7) BACKFLOW PREVENTERS OF THIS SHALL BE TESTED ONCE PER YEAR BY... (text partially obscured)



- ESTIMATED WATER USE**
- 1) CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE REMOTE VALVE... (text partially obscured)
  - 2) SET 1/2" X 1/2" REMOTE FRESH GRADE IN GROUND CONCRETE/SHRUB AREA... (text partially obscured)
  - 3) SET VALVE BOX AND VALVE BOX ASSEMBLY IN GROUND CONCRETE/SHRUB AREA... (text partially obscured)
  - 4) INSTALL IN LANE ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LANE... (text partially obscured)
  - 5) SET WALL PANELS TO EACH OTHER AND PERPENDICULAR TO EDGE OF LANE WALL... (text partially obscured)
  - 6) AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND... (text partially obscured)
  - 7) INSTALL EXTENSION OF VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY... (text partially obscured)

**WATERING SCHEDULE**

VALVE STATION #	IRRIGATION TYPE	MONTHS											
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
1	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
2	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
3	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
6	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
7	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
8	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
9	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
10	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
11	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
12	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
13	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
14	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
15	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
16	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
17	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
18	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
19	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
21	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
22	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
23	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
24	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
25	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
26	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
27	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
28	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
29	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
30	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
31	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
32	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
33	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
34	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
35	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
36	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
37	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
38	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
39	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
40	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
41	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
42	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
43	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
44	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
45	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
46	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
47	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
48	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
49	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
50	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
51	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
52	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
53	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
54	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
55	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
56	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
57	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
58	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
59	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
60	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
61	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
62	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
63	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
64	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
65	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
66	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
67	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
68	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
69	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
70	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
71	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
72	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
73	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
74	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
75	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
76	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
77	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
78	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
79	SPRAY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
80	SPRAY	0.00	0.00	0.00	0.00								





