



## CITY OF HAYWARD AGENDA REPORT

Meeting Date 12/15/05  
Agenda Item 2

**TO:** Planning Commission

**FROM:** Carl T. Emura, Associate Planner

**SUBJECT:** **Administrative Use Permit No. PL-2005-0538 & Variance No. PL-2005-0539 – Steve Cohn (Applicant) /Amos Picker (Owner) - Request to Construct a Commercial Retail Center with Restaurants and Personal Services, to Allow no Setback Where 20 Feet is Required and to Allow a Parking Exception From the 15 Percent Tractor/Trailer Requirement**

The Property Is Located at 26025 Eden Landing Road in the Industrial (I) District

### **RECOMMENDATION:**

Staff recommends that the Planning Commission find that the project is categorically exempt from the California Environmental Quality Act (CEQA) guidelines, Section 15303, Class 3 New Construction and Section 15305, Class 5 Minor Alteration in Land Use Limitations; and approve the Administrative Use Permit, Variance and Parking Exception subject to the attached findings for approval and conditions of approval.

### **DISCUSSION:**

The development, typical for a small commercial center, maximizes the building foot print on a challenging site. The applicant proposes to build a Commercial Center clustered in two buildings on a 42,837 square foot, long and narrow site. The buildings would contain 4,575 and 3,388 square feet and have five lease spaces total. The site is composed of two parcels, sandwiched between Highway 92 to the north, Clawiter Avenue overcrossing to the west and Eden Landing Road to the east. A PG&E easement in the southern half of the property limits the use of this area to parking and landscaping. The applicant anticipates leasing the spaces to take-out restaurants such as Panda Express, Quizno's and Starbucks. The property is zoned *Industrial (I) District*, and in this district, food service is very limited. Restaurants located in the Industrial District require approval of an Administrative Use Permit. The applicant would also like the option to lease these spaces for personal services such as a beauty shop should he not be able to fully leased them to restaurants. Personal services also require approval of an Administrative Use Permit.

The applicant proposes two rectangular buildings with large storefront windows on the northern half of the property. The front façade would be modulated with raised parapet and recessed walls and accented with awnings, stucco overhangs and a trim cap. The rear façade would be flat with raised parapet walls and accented with glass block windows and a trim cap. The upper walls of the building would be painted light beige and the lower, dark beige. The overhang and awning would be maroon and the trim caps, off-white. Mechanical equipment would be tucked behind the raised parapet walls. A sidewalk fronting the buildings would provide pedestrian access to the restaurants.

Staff believes the project could be improved if the glass block windows at the rear of the building are enlarged and unnecessary asphalt paved areas be converted to planting and informal outdoor dining areas. The larger glass block windows will enhance the rear wall and the additional planting and informal outdoor dining areas would add to the ambience of the site. Conditions have been attached to reflect these recommendations.

A variance is required to allow the west building to be located on the rear property line where a 20-foot setback is required along Clawiter Avenue. Though the building is on the property line, a 20-to 45-foot-wide Caltrans right-of-way provides a landscape strip between the building and Clawiter Avenue. The applicant would landscape and maintain this area, however, the City would execute a Supplemental Freeway Maintenance Agreement with Caltrans and the landscape improvements and maintenance as conditioned would be accomplished and paid for by the applicant. A similar arrangement was made for the storage facility off of West Industrial Parkway and Interstate Highway 880. Caltrans would only enter into maintenance agreements with other public entities. Additional street trees would fill the gaps between the existing street trees along Eden Landing Road and Coast Redwood trees would screen the rear of the building facing Highway 92.

Signage would be located above the front awnings and overhangs and be repeated on the rear wall for each business. A 14-foot-high monument sign listing tenants would be provided at the south end of the property. A 50-foot-high, 100-square-foot face, freeway-oriented sign is proposed at the northwest corner. The Sign Ordinance allows freeway-oriented signs for commercial businesses that provide food. Should tenant spaces be leased to other types of businesses, only the restaurant tenants would be allowed space on the freeway-oriented sign. The sign face would have to be changed as tenants change so that there would not be any blank sign area. Staff recommends, and has conditioned the project, such that the freeway-oriented sign be located at the northeast corner of the site where it would not be visually intrusive to those traveling on the Clawiter Avenue Overpass. A master sign program is required for the commercial center.

The parking lot would contain 46 parking spaces, 18 of which are in front of the buildings and the remainder in the PG&E right-of-way. The applicant would require tenants to park in the far end of the southern parking lot and make the stalls directly in front of the stores available for customers. No truck and trailer parking would be provided and a Parking Exception would have to be approved to waive the 15 percent requirement for restaurants in the Industrial District. Staff, in the past has supported the

Parking Exception because of the space requirements and the Planning Commission has concurred.

**ENVIRONMENTAL REVIEW:**

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) guidelines, pursuant to Section 15303, Class 3 New Construction and Section 15305, Class 5 Minor Alterations in Land Use Limitations

**PUBLIC NOTICE:**

On October 11, 2005, an Official Notice was mailed to every property owner and occupant within 300 feet of the subject site, as noted on the latest assessor's records. No comments were received in response to the notice. On November 29, 2005 a Notice of Public Hearing for the Planning Commission meeting was mailed to every property owner and occupant within 300 feet of the subject site.

**CONCLUSION:**

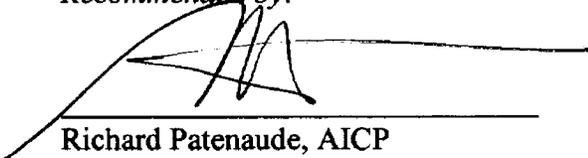
The development, typical for a small commercial center, maximizes the building foot print on a challenging site. As conditioned, staff is supportive of the applicant's requests and recommends approval of the project.

Prepared by:



Carl T. Emura, ASLA  
Associate Planner

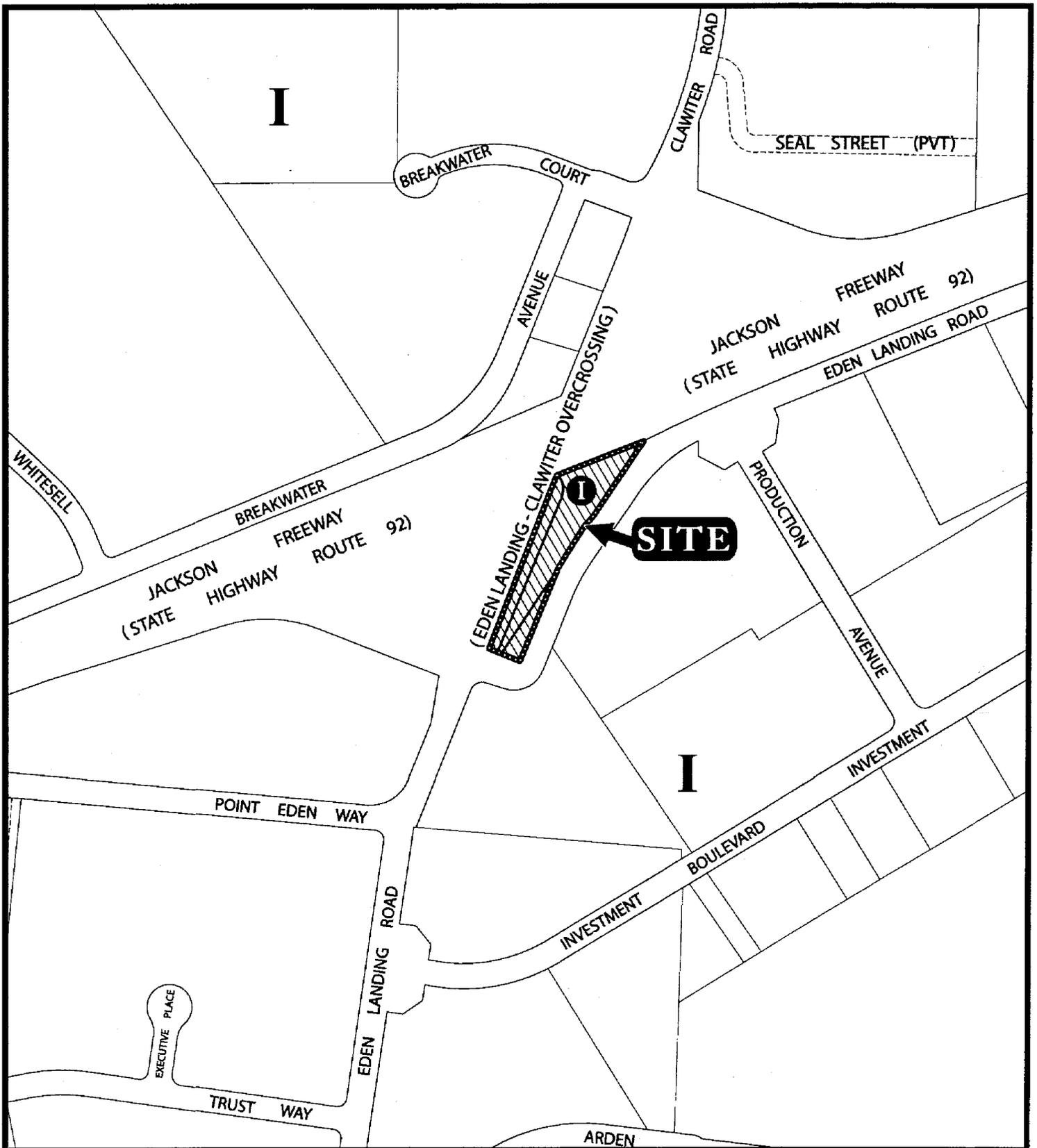
*Recommended by:*



Richard Patenaude, AICP  
Principal Planner

Attachments:

- A. Area Map
- B. Findings for Approval
- C. Conditions for Approval  
Plans



**Area & Zoning Map**

I - Industrial

PL-2005-0538/2005-0539 AUP/VAR

Address: 26025 Eden Landing Road

Applicant: Steve Cohen

Owner: Amos Picker



**CITY OF HAYWARD  
PLANNING DIVISION  
December 15, 2005**

**ADMINISTRATIVE USE PERMIT APPLICATION NO. PL- 2005-0538;  
VARIANCE/PARKING EXCEPTION APPLICATION NO. PL-2005-0539 – Steve  
Cohn (APPLICANT)/ Amos Picker (OWNER) – to Construct a Commercial Retail  
Center, to allow restaurants and personal services occupancy, to allow a 0-foot setback  
where 20 feet is required and to allow an exception from the 15 percent Tractor/Trailer  
parking requirement**

The site is located at 26025 Eden Landing Road in the Industrial (I) District (APN: 461-0085-001-08 & 461-0085-040)

**FINDINGS FOR APPROVAL**

**Administrative Use Permit**

- A. Approval of Administrative Use Permit Application No. 2005-0538 and Variance/Parking Exception Application No. PL-2005-0539 to construct a commercial center, to allow restaurants and personal services occupancy, to allow a 0-foot setback where a 20 feet is required and to allow an exception from the 15 percent Tractor/Trailer parking requirement to the Industrial Zoning District is exempt from the provisions of California Environmental Quality Act pursuant to Section 15303, Class 3 New Construction.
- B. The proposed use is desirable for the public convenience or welfare in that it provides food outlets and personal services in an area that is underserved.
- C. The proposed use will not impair the character and integrity of the zoning district and surrounding area in that it is nestled between Highway 92, Clawiter Avenue Overpass and Eden Landing Road and makes use of difficult to develop parcel.
- D. The proposed use will not be detrimental to the public health, safety, or general welfare in that it provides food outlets and personal services in an area that is underserved and will reduce the distance one needs to travel to purchase a meal or get a hair cut.
- E. The proposed use is in harmony with applicable City policies and the intent and purpose of the Industrial Zoning District in that it provides a desirable and attractive amenity for the businesses located in this district.

### Variance

- F. There are special circumstances applicable to the property in that the Caltrans right-of-way ranges from 20 to 45 feet from the Clawiter Avenue Overpass, providing sufficient setback from the road.
- G. Strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other properties in the vicinity under the same zoning classification in that the Caltrans right-of-way provides a comparable landscape buffer to other properties located along Clawiter Avenue.
- H. This variance does not constitute a grant of a special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated in that the Caltrans right-of-way provides a comparable landscape buffer to other properties located along Clawiter Avenue.

### Parking Exception

- I. There are special circumstances applicable to the property in that it is a long and narrow and difficult to accommodate truck and trailer parking.
- J. Strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other properties in the vicinity under the same zoning classification in that other restaurants in the Industrial District have been granted exceptions to the truck and trailer parking requirements.
- K. The parking exception does not constitute a grant of a special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated in that other restaurant have been granted truck and trailer parking exceptions.
- L. The parking exception will not result as reasonably possible in the parking or loading of vehicles on Eden Landing Road as parking is not allowed on this stretch of road.
- M. The granting of an exception will not create a safety hazard.

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December 15, 2005**

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**CONDITIONS OF APPROVAL**

**GENERAL**

1. The Administrative Use Permit Application No. PL-2005-0538, Variance/Parking Exception Application No. PL-2005-0539 is approved subject to the conditions listed below. This permit becomes void on December 15, 2006, unless prior to that time a building permit application has been accepted for processing by the Building Official, or a time extension of this application is approved. A request for a one-year extension, approval of which is not guaranteed, must be submitted to the Planning Division 15 days prior to the above date.
2. Unless otherwise indicated, all conditions and improvements indicated on Exhibit "A" shall be met prior to occupancy.
3. If a building permit is issued for construction of improvements authorized by the administrative use permit approval, said approval shall be void two years after issuance of the building permit, or three years after approval of the application, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance upon the site plan review approval.
4. Prior to issuance of a building permit, the applicant shall enter into an agreement with the City of Hayward for the installation and maintenance of landscaping and irrigation within the Caltrans right-of-way between the Clawiter Avenue Overpass and the rear of building one.
5. The property owner shall maintain in good repair all building exteriors, fences, walls, lighting, trash enclosures, drainage facilities, driveways, parking areas, and any other project features. The premises shall be kept clean. Any graffiti painted on the property shall be painted out or removed within seven days of occurrence.

6. Personal Services shall be limited to a barber/beauty shop, tailor/seamstress shop or other similar uses as determined by the Planning Director.
7. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
8. Violation of these conditions or the Hayward Municipal Code is cause for revocation of permit after a public hearing before the duly authorized review body.

#### ARCHITECTURE, SITE AMENITIES AND FIXTURES

9. Prior to issuance of a building permit, the colors and materials used on the exterior of the building, including the trash enclosure shall be approved by the Planning Director.
10. The glass block window height shall be a minimum of five feet.
11. Outdoor dining areas shall be provided. Location and layout of outdoor dining areas and site furnishing shall be approved by the Planning Director.
12. Exterior lighting shall be designed by a qualified illumination engineer, and erected and maintained so that adequate lighting is provided in all public access areas. The Planning Director shall approve the type, design and location of lighting fixtures, which shall reflect the architectural style of the building(s). Exterior lighting shall be shielded and deflected away from neighboring properties.
13. All roof-mounted mechanical equipment shall be screened from the street.
14. All television or satellite reception antennas shall be completely screened from view by the proposed roof structure.
15. Water downspouts shall be integrated into the façade of the building as an architectural feature.
16. No vending machines or other goods or products shall be displayed or sold outside the building.
17. A decorative pre-cast concrete trash receptacle, with a self-closing metal lid, shall be located near each outdoor dining area. The Planning Director shall approve the design and placement.

18. A trash enclosure shall be constructed at the location as depicted on the site plan. The trash enclosure shall be constructed of a decorative 6-foot-high masonry wall, which incorporates the architectural style, color and materials of the primary structure(s), with a solid and lockable, decorative metal access gate. The enclosure shall include internal concrete curbs to protect the side walls. The enclosure shall provide for an equivalent amount of space for recycling containers as for trash containers. The final design shall be approved by the Planning Director prior to the issuance of a building permit.
19. All construction shall adhere to State of California Title 24 Handicapped Access requirements.

### SIGNAGE

20. The applicant shall apply for a master sign permit. A master sign permit shall be approved by the Planning Director prior to the installation of any signage.
21. Only restaurants tenant's name shall be allowed to be listed on the freeway-oriented sign. The names of tenants shall occupy the entire sign area. If the commercial center does not have any restaurant tenants, the sign area shall be covered with a decorative graphic approved by the Planning Director. There shall be no blank sign areas.
22. Prior to issuance of a building permit for a freeway-oriented sign, the applicant shall provide a copy of a restaurant lease agreement to the Planning Director.
23. The freeway-oriented sign shall be located at the northeast corner of the property. Location and design of freeway-oriented sign shall be approved by the Planning Director.

### LANDSCAPING

24. Detailed landscaping and irrigation plans prepared by a licensed landscape architect shall be approval by the City Landscape Architect prior to issuance of a building permit. Landscaping and irrigation plans shall comply with the City's Water Efficient Landscape Ordinance.
25. A complete automatic sprinkler system with an automatic on/off mechanism shall be installed for required landscape areas prior to occupancy. The system shall include adjustable flood bubblers at each tree, 15-gallon size or larger, and shall utilize a reduce pressure backflow device for common landscape areas. After initial installation, the sprinkler system shall be maintained, including replacement where necessary.

26. Class 'B' Portland Cement concrete curbs shall be constructed to a height of 6 inches above the finished pavement for any landscaped area that adjoin driveways and/or parking areas.
27. A tree removal permit is required prior to the removal of any tree 8" in diameter, or larger. An arborist report shall be provided giving the species, diameter, health and value of the trees to be removed. Tree removed shall be replaced with trees of equal value. Replacement trees shall be in addition to any required trees.
28. Prior to the commencement of clearing and grading operations, all trees to be preserved or removed shall be indicated on the grading, site and landscape plans, and trees to remain in place shall be noted and provided with tree protection measures in compliance with City codes.
29. Landscape improvements shall be installed according to the approved plans and a Certificate of Substantial Completion, and an Irrigation Schedule shall be submitted prior to the issuance of a Certificate of Occupancy.
30. Parking lot shall include one 15-gallon tree for every six parking stalls. Shrubs shall be used for screening the parking lot, the type and spacing of shrubs shall create a continuous 30" high hedge within two years.
31. Vines shall be required on walls and around the trash enclosure.
32. All above ground utilities, mechanical equipment and trash enclosures shall be screened from the street with shrubs.
33. One 24" box street tree shall be provided for every 20-40 lineal feet of frontage. Spacing of trees shall be dependent on the species of trees. Trees shall be planted to fill vacancies in the street tree pattern, and to replace any declining or dead trees. Street trees shall be planted according to the City Standard Detail SD-122.
34. Landscaping shall be maintained in a healthy and weed-free condition at all times, with replacement plants provided where necessary. The owner's representative shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over 30% die-back) shall be replaced within ten days of the inspection. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected by, and size determined by the City Landscape Architect, within the timeframe established by the City and pursuant to the Municipal Code.

#### PARKING/DRIVEWAYS/SIDEWALKS

35. All open parking stalls and maneuvering areas on site shall comply with the City's Off-Street Parking Regulations. The parking stalls shall be striped and any compact stalls shall be clearly marked for compact vehicles only.

36. The double lane entry driveway width shall be 26 feet wide. The driveway shall be constructed as per City Standard Detail SD-110.
37. Install standard curb, gutter, sidewalk and tie-in pavement along the entire property frontages.
38. Install standard street lights along the property frontage.
39. Any work along the Caltrans right-of-way shall require a Caltrans Permit.

#### DRAINAGE AND UTILITIES

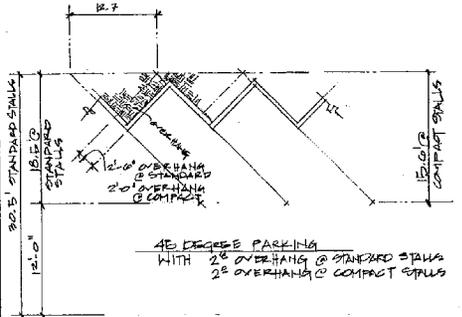
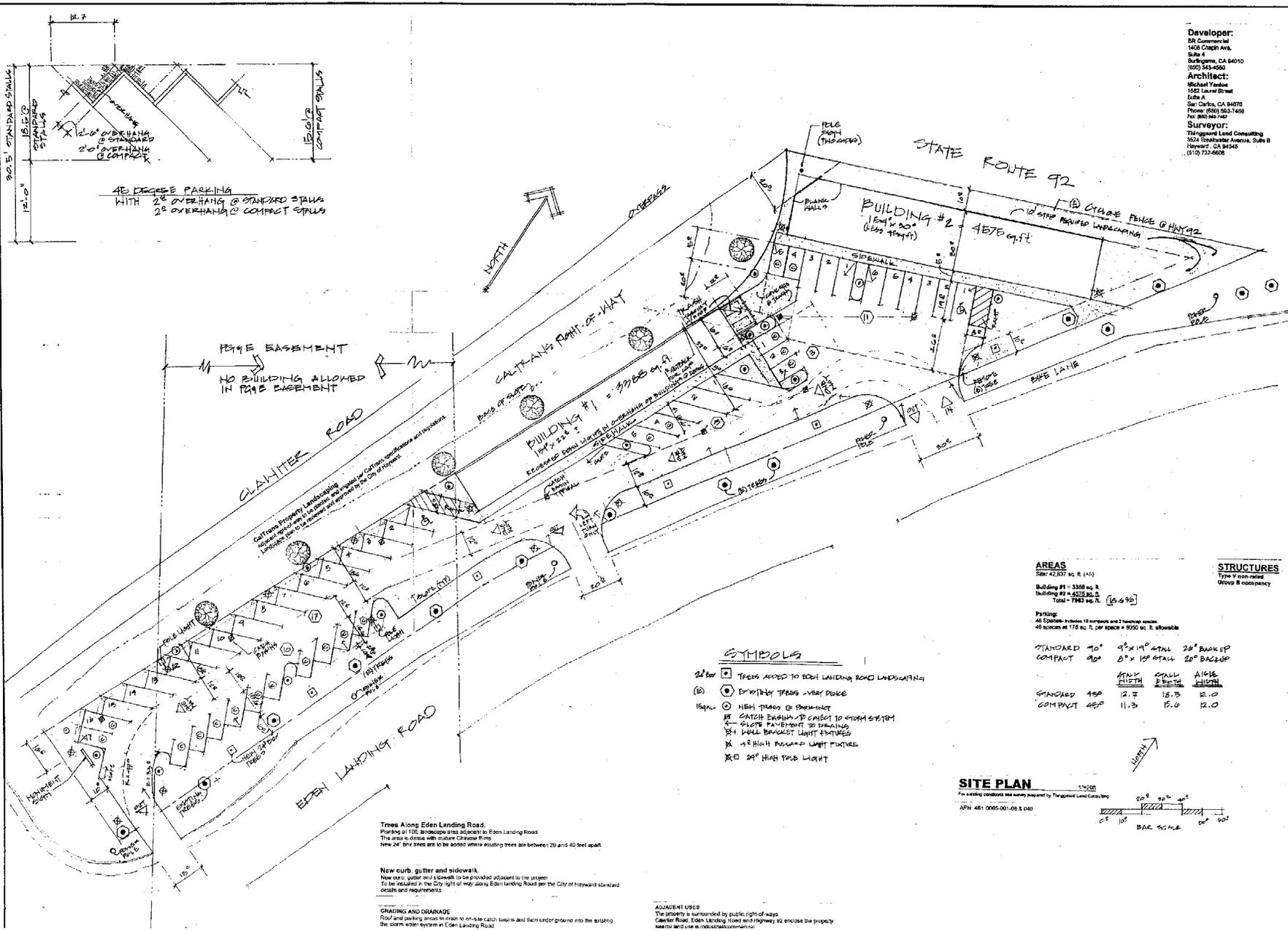
40. A grading and drainage plan shall be submitted that meets the approval of the Planning Director. Show on the plan the proposed drainage system, water services and sanitary sewer laterals.
41. The project plan shall identify Best Management Practices (BMPs) appropriate to the use conducted on-site in order to limit the entry of pollutants into storm water runoff to the maximum extent practicable. It is highly recommended that a grassy swale be installed to intercept the surface runoff.
42. Prior to the issuance of a grading permit and/or the beginning of any construction activity on-site, the Developer's Engineer shall complete the Development Building Application Form Information: 1) Impervious Material Form, and 2) Operation and Maintenance Information Form.
43. The landscape area shall be used to filter the surface runoff as part of the (BMPs) and the parking curb shall be designed with curb cuts with elevations higher than the landscape area.
44. The developer/owner shall prepare a Maintenance Agreement for water BMPs (available from the Engineering and Transportation Division), and the Maintenance Agreement shall be recorded with the Alameda County Recorder's Office to ensure that the maintenance is bound to the property in perpetuity.
45. Trash enclosures and/or recycling area(s) shall be covered; no other area shall drain onto this area. Drains in any wash or process area shall not discharge to the storm drain system, these drains should connect to the sanitary sewer. The applicant shall contact the City for specific connection and discharger requirements.
46. All on-site and off-site storm drain inlets shall be labeled with "No Dumping – Drains to Bay" or equivalent, using methods approved by the City.

47. The Developer's Engineer shall provide hydraulic calculations sufficient to analyze downstream impact. The storm drain system shall be reviewed and approved by the ACFC & WCD.
48. Construction plans shall incorporate all water meters.
49. Prior to issuance of a building permit, the gallon-per-demand shall be shown on plans and approved by the Water Department.
50. The applicant shall connect all unit plumbing to the correct meter as marked by the City before water service is provided.

#### FIRE DEPARTMENT

51. All construction shall be in compliance with the California Building Code. The building shall meet fire and life safety requirements as stated in the California Fire Code.
52. All red curbing and "Fire Lane" signage shall be installed to the satisfaction of the Fire Marshall.
53. A 6-inch self-illuminated address shall be provided for each unit.
54. Appropriate type and size portable fire extinguishers shall be provide for each tenant space.

**DUE TO THE COLOR OF THE  
REFERENCED ATTACHMENT, IT  
HAS BEEN ATTACHED AS A  
SEPARATE LINK**



45 DEGREE PARKING WITH 2' OVERHANG @ STANDARD STALLS 2' OVERHANG @ COMPACT STALLS

PILE BASEMENT  
NO BUILDING ALLOWED IN PILE BASEMENT

CLAYTON ROAD

EDÉN LANDING ROAD

STATE ROUTE 92

BUILDING #2  
150' x 20' (Less traffic)

CALTRANS POINT-OF-WAY

BUILDING #1  
100' x 22'

**AREAS**  
Site - 42,537 sq. ft. (1.14)  
Building #1 - 3368 sq. ft.  
Building #2 - 4025 sq. ft.  
Total - 7393 sq. ft. (16,692)

**STRUCTURES**  
Type V non-rated  
Other 0 occupancy

**Parking:**  
48 Spaces (includes 18 reserved and 2 tractor spaces)  
48 spaces at 175 sq. ft. per space = 8350 sq. ft. allowable

	STANDARD	COMPACT	STALL WIDTH	STALL DEPTH	BACKUP
STANDARD	10'	9' x 19'	12.7	15.3	20'
COMPACT	9'	8' x 15'	11.3	13.6	20'

**SYMBOLS**

- 2' or 3' Trees added to both landing road landscaping
- (2) 6" 1/2" trees near fence
- (1) 1" 1/2" trees @ perimeter
- 1" catch basins to connect to storm system
- 1" gutter pavement to drainage
- 1" 1/2" wall bracket light fixtures
- 1" 1/2" high pole light fixture
- 1" 1/2" high pole light

**Trees Along Edén Landing Road.**  
Planting at 10' intervals adjacent to Edén Landing Road.  
The area to be landscaped with mature California Elm.  
New 24" birch trees are to be added while existing trees are between 20 and 40 feet apart.

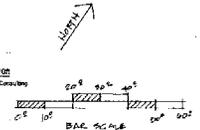
**New curb, gutter and sidewalk.**  
New curb, gutter and sidewalk to be provided adjacent to the street.  
To be installed in the City right of way along Edén Landing Road per the City of Hayward standard details and requirements.

**GRADING AND DRAINAGE**  
Road and parking areas to drain to on-site catch basins and then enter ground into the existing storm water system in Edén Landing Road.

**ADJACENT USES**  
The property is surrounded by public right of ways.  
Center Road, Edén Landing Road and Highway 92 enclose the property.  
Neighboring land use is industrial/commercial.

**SITE PLAN**

For a better understanding of the survey prepared by Thurgood Land Consulting  
APN: 481 0065-001-08 1, 040



**Developer:**  
BR Commercial  
1400 Chapel Ave,  
Suite 4  
Redwood, CA 94010  
(925) 343-4500

**Architect:**  
Michael Yoncos  
1582 Laurel Street  
Suite A  
San Carlos, CA 94070  
Phone: (925) 352-7400  
Fax: (925) 352-7400

**Surveyor:**  
Thurgood Land Consulting  
3624 Tinseltown Avenue, Suite B  
Hayward, CA 94545  
(415) 720-6000

REVISIONS	BY
1	11-07-08

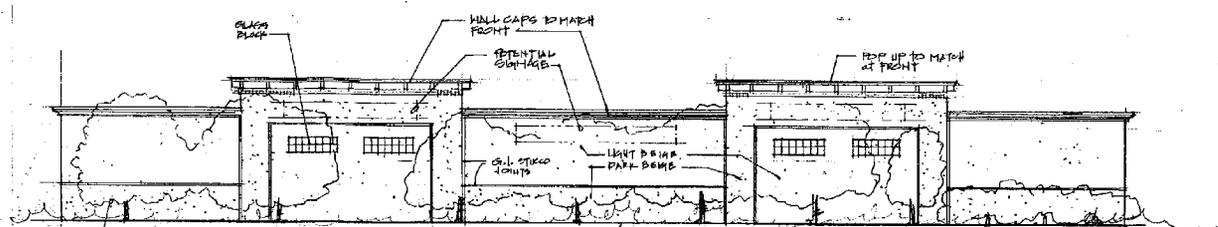
Michael J. Yoncos  
Architect  
1582 Laurel Street  
Suite A  
San Carlos, CA 94070  
(925) 352-7400

**GATEWAY LANDING**  
BR Commercial-Developers  
26025 Edén Landing Road  
Hayward, California

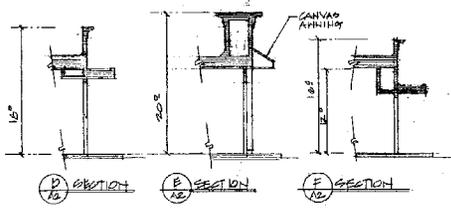
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Drawn: STP  
Job: GATEWAY  
Sheet: **A1**



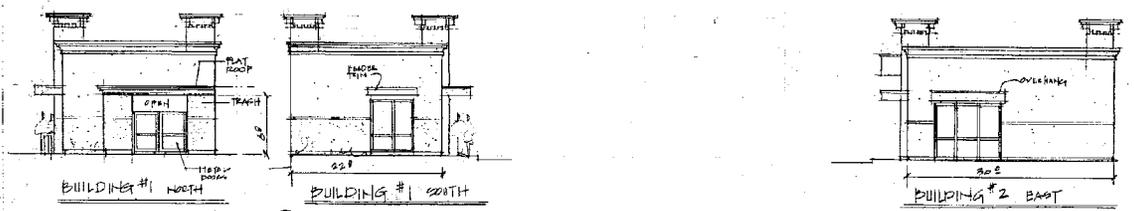
Michael J. Lynchos  
 architect  
 26025 Edan Landing Road  
 Hayward, CA 94541  
 (925) 882-7488



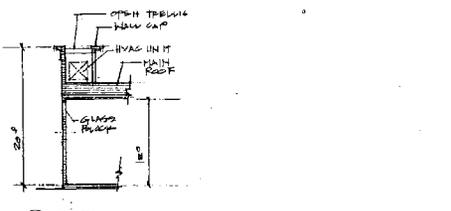
REAR WALLS



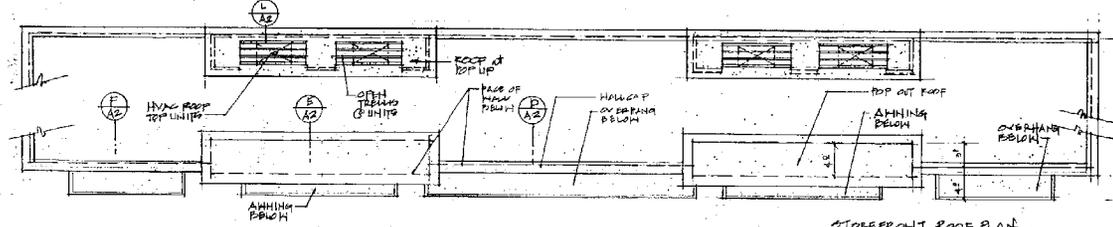
A SECTION B SECTION C SECTION



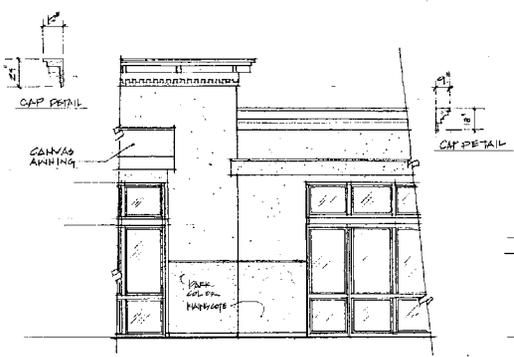
BUILDING #1 NORTH BUILDING #1 SOUTH BUILDING #2 EAST



L SECTION A2 & REAR TOP UP



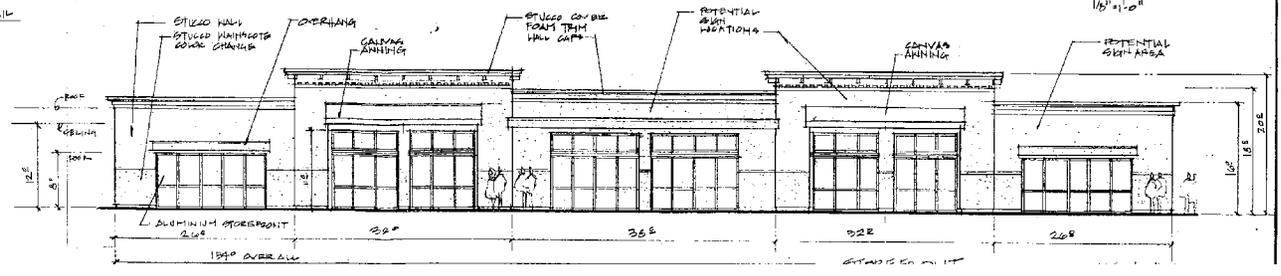
STOREFRONT ROOF PLAN 1/8" = 1'-0"



ELEVATION DETAIL 4" = 1'-0"

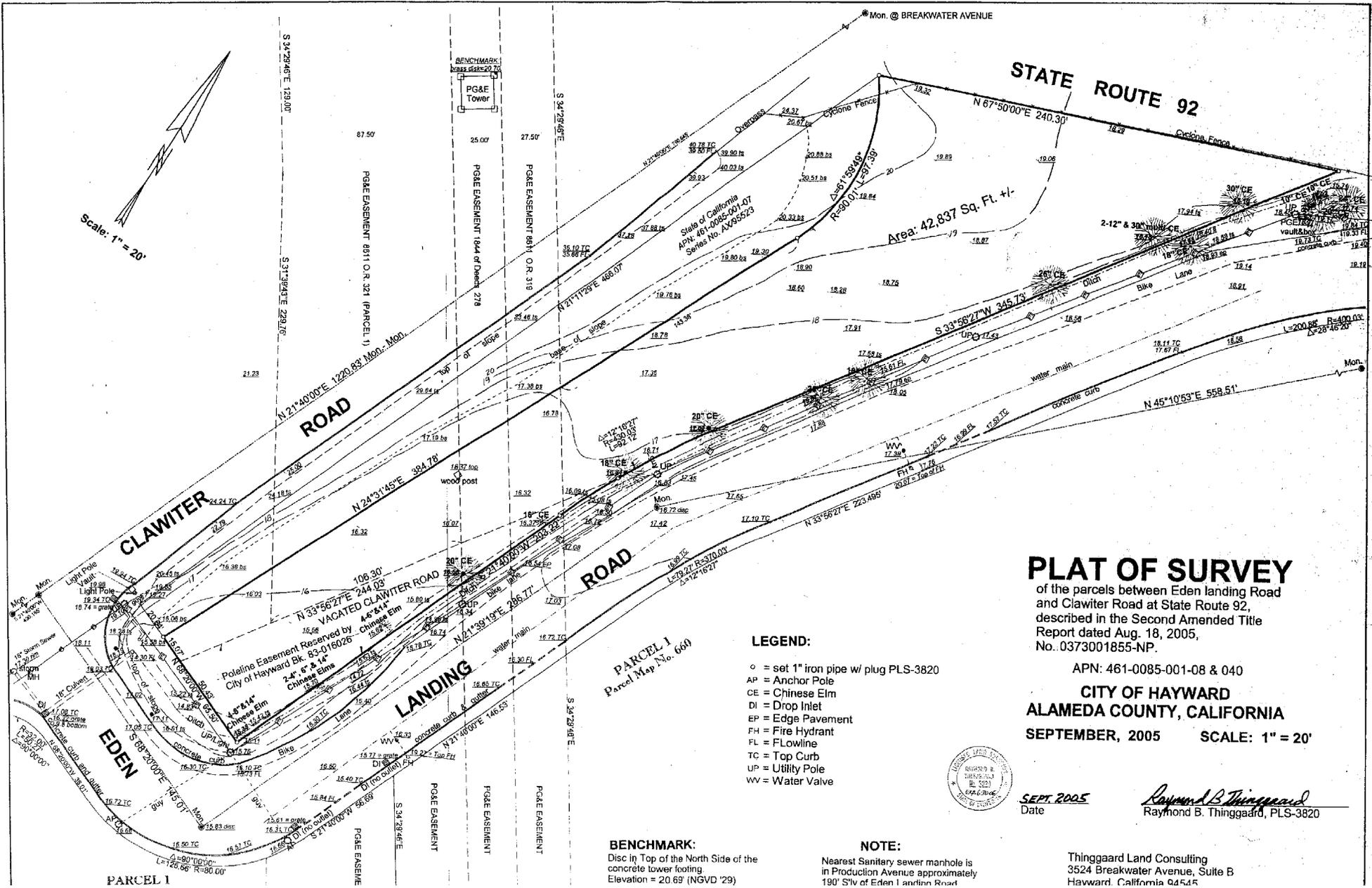


STOREFRONT FLOOR PLAN 1/8" = 1'-0"



**GATEWAY LANDING**  
 BR Co. Retail - Development  
 26025 Edan Landing Road  
 Hayward, California

Date: 07.23.05  
 Scale: NOTED  
 Drawn: JFD  
 and GATEWAY  
 Sheet: 3



# PLAT OF SURVEY

of the parcels between Eden landing Road and Clawiter Road at State Route 92, described in the Second Amended Title Report dated Aug. 18, 2005, No. 0373001855-NP.

APN: 461-0085-001-08 & 040

**CITY OF HAYWARD  
ALAMEDA COUNTY, CALIFORNIA**

SEPTEMBER, 2005 SCALE: 1" = 20'

### LEGEND:

- ◊ = set 1" iron pipe w/ plug PLS-3820
- AP = Anchor Pole
- CE = Chinese Elm
- DI = Drop Inlet
- EP = Edge Pavement
- FH = Fire Hydrant
- FL = Flowline
- TC = Top Curb
- UP = Utility Pole
- wv = Water Valve



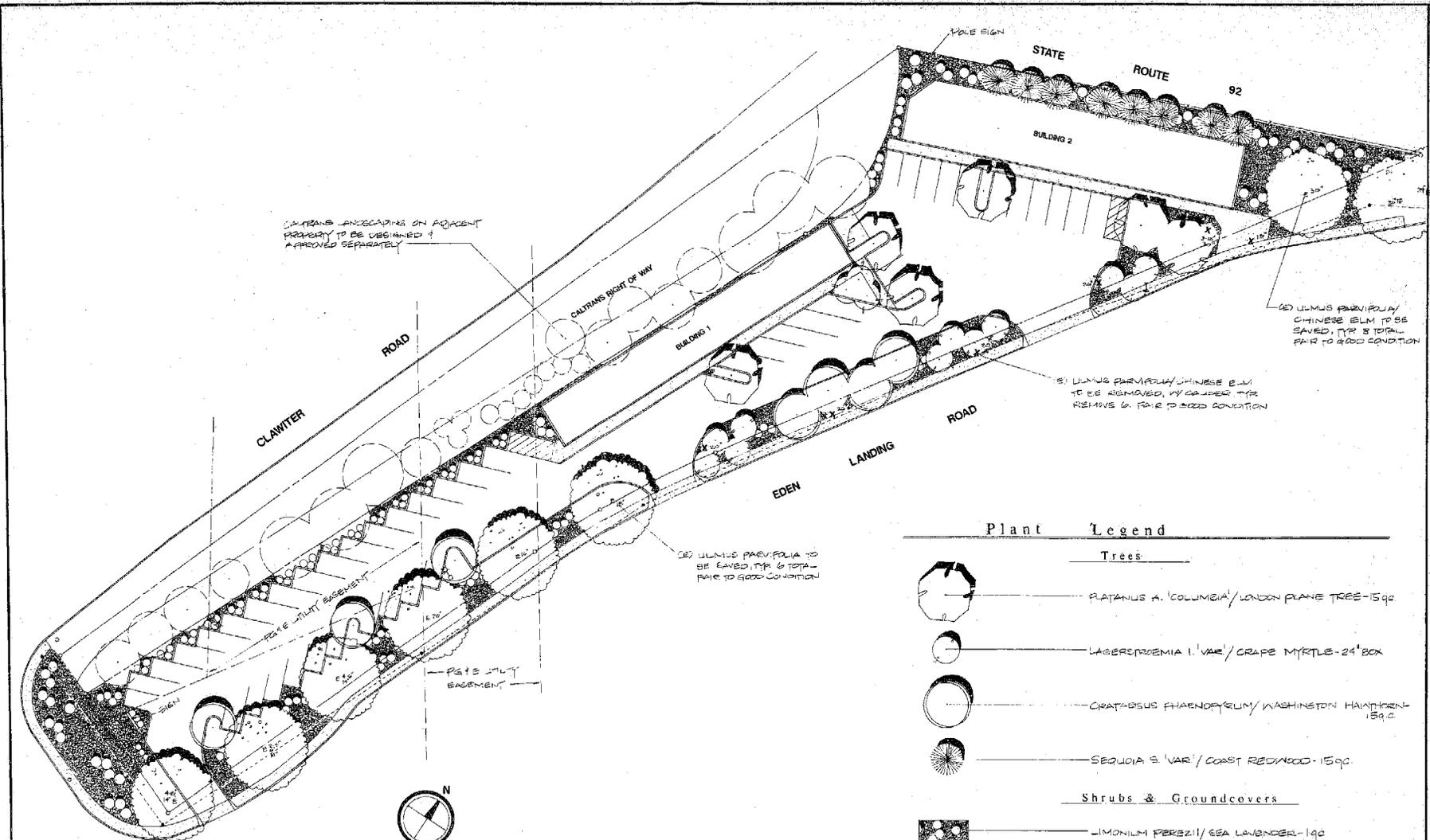
SEPT. 2005  
Date

*Raymond B. Thinggaard*  
Raymond B. Thinggaard, PLS-3820

**BENCHMARK:**  
Disc in Top of the North Side of the concrete lower footing  
Elevation = 20.69' (NGVD '29)

**NOTE:**  
Nearest Sanitary sewer manhole is in Production Avenue approximately 190' S'l/v of Eden Landing Road

Thinggaard Land Consulting  
3524 Breakwater Avenue, Suite B  
Hayward, California 94545



Plant Legend

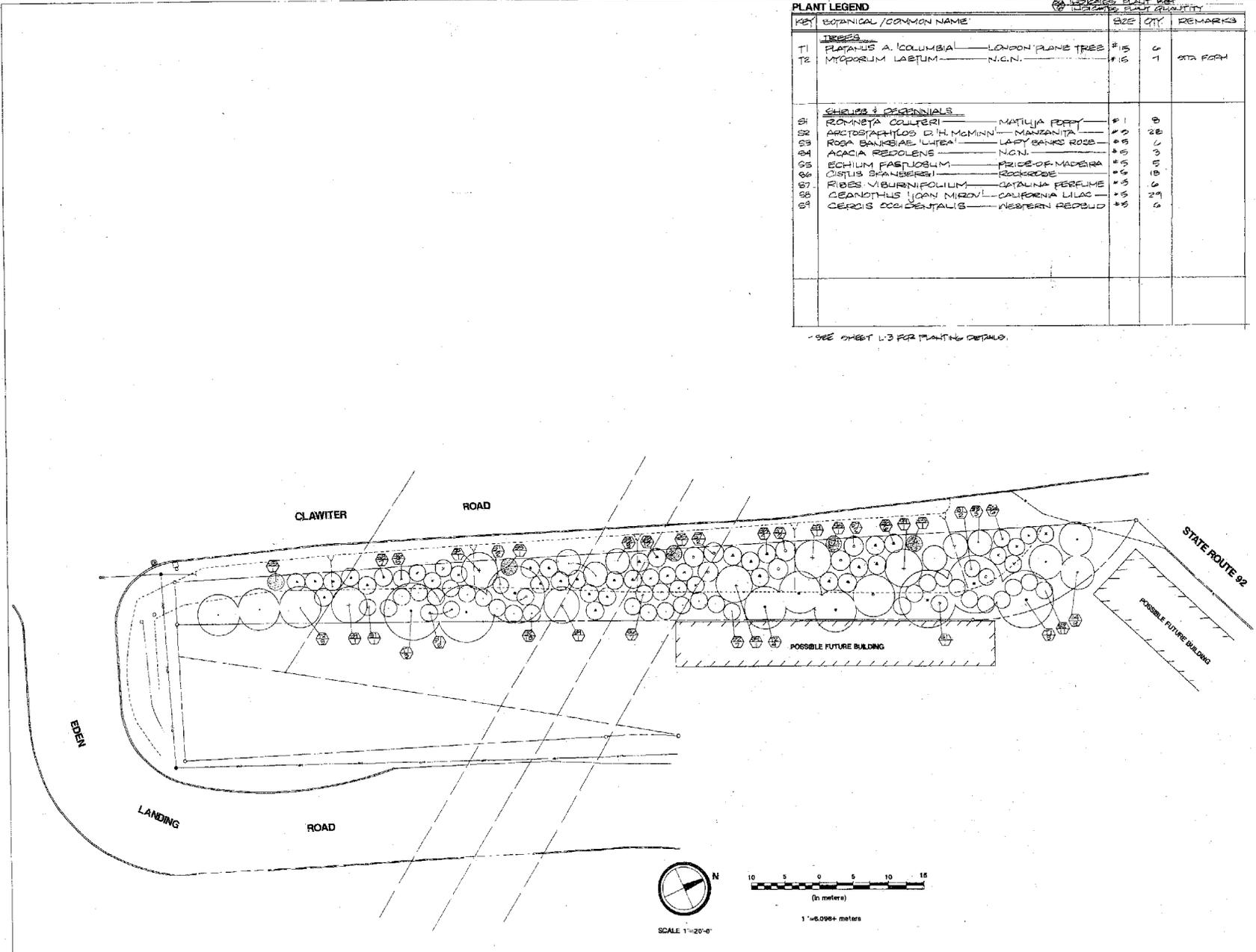
Trees

-  PLATANUS A. 'COLUMBIA' / LONDON PLANE TREE - 15' 90
-  LAGERHODIA I. 'VARE' / GRAPE MYRTLE - 24' 80X
-  CRATAEGUS PHAENOPYCNIS / WASHINGTON HAWTHORN - 15' 90
-  SEQUOIA S. 'VAR' / COAST REDWOOD - 15' 90

Shrubs & Groundcovers

-  LIMONILM PERBIZII / SEA LAVENDER - 1' 90
-  CISTUS SPANBERGII / ROCK ROSE - 5' 90
-  BATHYLOPIS L. 'VAR' / INDIA HAWTHORN - 5' 90
-  ESCALLONIA SP. / N.C.N. - 5' 90
-  NEROLIUM 'VAR' / OLEANDER - 1' 90

TFT



SEE SHEET L-3 FOR PLANTING DETAILS.

PLANT LEGEND			
KEY	BOTANICAL / COMMON NAME	SIZE	QTY
<u>TREES</u>			
T1	PLATANUS A. COLUMBIA — LONDON PLANE TREE	# 18	10
T2	MITROPORUM LAETUM — N.C.N.	# 18	10
<u>SHRUBS &amp; PERENNIALS</u>			
S1	ROMNEYA COULTERI — MATILDA POPPY	# 1	10
S2	ARCTOSTAPHYLOS D. H. McMINN — MANZANITA	# 10	28
S3	ROSA BANKSIAE 'LUTEA' — LADY BANKS ROSE	# 10	10
S4	ACACIA REDOLENS — N.C.N.	# 10	10
S5	ECHILUM FASTUOSUM — PRIDE OF MADERA	# 10	10
S6	CASTILUS SPANISHERI — ROCKROSE	# 10	10
S7	FRIBES VIBURNI-POLYUM — CALYANNA PERFUME	# 10	10
S8	CEANOTHUS 'JOAN MIZOV' — CALIFORNIA LILAC	# 10	29
S9	CERCIS OCCIDENTALIS — WESTERN REDBUD	# 10	5

REVISIONS

NO.	DATE	BY	DESCRIPTION

**W** WILSON & ASSOCIATES  
 LANDSCAPE ARCHITECTURE / SITE PLANNING / ASIA  
 20025 EDEN LANDING ROAD, FORTY-FOURTH PALM, CALIFORNIA 92704  
 TEL: 714.441.1111 FAX: 714.441.1112

**Eden Landing Road, Clawiter Road and Highway 92**  
 Edens Property Bounded by

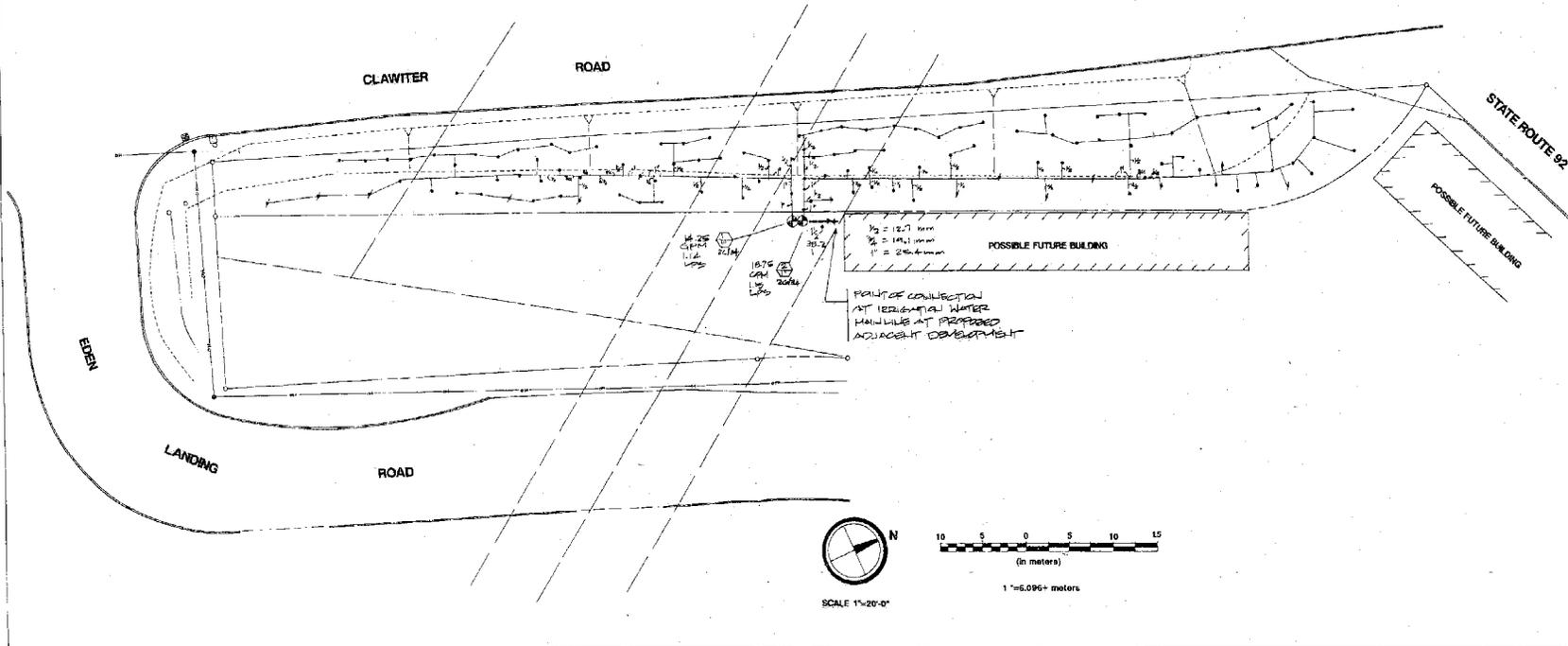
**PLANTING PLAN**

BY: JWA  
 L: JWA  
 DATE: 10/1/05  
**L-1**

**IRRIGATION LEGEND**

SYMBOL	EQUIPMENT DESCRIPTION	SPIN/LPS	1981/82
○	VALVES		
●	RAINBIRD 1401 TRICKLE PATTERN	0.25/0.02	22-40
●	" 1402 " "	0.50/0.03	14-62
—	PIPE MATERIALS		
—	CLASS 200 PVC LATERAL PIPE, SIZE AS NOTED.		
—	SCHEDULE 40 FIVE PRESSURE MAINLINE, SIZE AS NOTED.		
⊕	RAIN BIRD "30" SERIES CONTROL VALVE, SIZE AS NOTED, VALVES TO BE CONTROLLED FROM ADJACENT DEVELOPMENT'S CONTROLLER.		
⊕	1/2" SIZE GATE VALVE PER MAIN LINE SHUT-OFF.		

- SEE SHEET L-3 FOR IRRIGATION DETAILS.



NO.	DATE	REVISIONS

CalTrans Property Bounded by  
 Edler Landing Road, Clawiter Road and Highway 92  
 BR Commercial Developers  
 28008 Edler Landing Road Hayward, California

**W** WILSON & ASSOCIATES  
 CIVIL ENGINEERING, SITE PLANNING & SURVEYING  
 2540 NORTH STREYK, SUITE 311A - BERKELEY, CALIFORNIA 94704  
 TEL: 415/841-1000 FAX: 415/841-1001

**IRRIGATION PLAN**

BY: [Signature]  
 JOB: [Blank]  
 DATE: 6-7-05  
**L-2**  
 SHEET NO. 2 OF 2

