



CITY OF HAYWARD AGENDA REPORT

Meeting Date 06/22/06
Agenda Item 1

TO: Planning Commission

FROM: Erik J. Pearson, AICP, Associate Planner

SUBJECT: **Site Plan Review No. PL-2006-0196 and Parking Exception No. PL-2006-0197 — Eden Housing (Applicant)/ SCS Development Co. (Owner) – Request to Construct a Building with 60 Affordable Senior Apartments and 12,500 Square Feet of Office Space and a Parking Exception to Reduce the Required Number of On-Site Parking Spaces from 70 to 57**

The Project Is Located at 22645 Grand Street and 556 – 568 C Street, in the Central City-Commercial (CC-C) and Central City-Residential (CC-R) Zoning Districts and the Cannery Area Special Design District (SD-4)

RECOMMENDATION

Staff recommends that the Planning Commission find the proposed project Categorically Exempt from the California Environmental Quality Act (CEQA) guidelines; and approve the site plan review and parking exception applications, subject to the attached findings and conditions.

DISCUSSION

The site is located at the northwest corner of Grand and C Streets, directly across Grand Street from the Hayward BART station. To the west of the site is Sycamore Square, an affordable apartment community owned and managed by Eden Housing. To the south, across C Street, is a job training facility and automotive-related businesses. To the north are single and multi-family residential homes including three vacant parcels at the corner of B and Grand expected to be developed by Citation Homes. The 1.4-acre property was the site of Santos Produce, which included a potato washing and processing facility, from the 1950s until it closed in 1995. The site was then home to various light industrial tenants from 1995 until recently when the buildings were deconstructed and the site cleared.

The applicant proposes to construct 59 affordable rental apartments that would be made available to senior citizens, one apartment for an on-site manager, and office space to serve as the new home of Eden Housing. The 12,448-square-foot office space would occupy approximately one-half of the building's ground floor. The residential units would occupy the remainder of the ground floor as well as the total area of the second and third floors. Each of the 59 one-bedroom residential units would contain 591 square feet of living area; the single two-bedroom unit would contain 723 square feet.

The proposed building would be of a contemporary style that plays off the historic heavy-commercial/industrial nature of the rail side neighborhood, with architectural details that would add a warmer feel for the residents. The base of the building would take advantage of brick reused from the older cannery buildings to be deconstructed; the upper walls would be of stucco. Wood corbels and braces would provide an accent reminiscent of the historic architectural styles of the nearby Streetcar District along B Street. Sloping roofs would be of standing-seam metal; parapet walls would be capped with a simple cornice. In a few locations, false window shutters of corrugated metal would be used. Balconies would have metal railings with cable rails. The façade of the building would employ a regular series of protrusions that would extend forward of the primary building plane and would be taller than the background; these elements would provide for a good amount of visual movement as well as light and shadow. The ground-level windows of the foreground wall segments would be accented with sloping, metal awnings; the windows in the background wall segments would be covered with flat metal awnings supported by cables. An earth-tone color palette would complement and reinforce the brick used at the pedestrian level.

The entry to the office space is through a tower element at the corner of Grand and C Streets. This tower is the largest and tallest single element of the building and accents this intersection that also serves as the entry to the BART station. The residential units are accessed by lobbies accessible from both C Street and the parking lot. The roof shape changes to a gable roof to mark the C Street residential entrance.

The building would have an 'L' shape with the parking located away from the street. A new sidewalk would be constructed along Grand and C Streets with a planter strip along Grand Street and diagonal parking along C Street. Planter islands would be included among the parking spaces on C Street. The street corner would have decorative paving and accent landscaping to complement the tower element on the corner of the building. An easement along the north side of the building would provide access for emergency vehicles from Grand Street to the parking lot via a turf block driveway. A concrete culvert containing Sulphur Creek runs through the property. The Public Works Department and the Alameda County Flood Control District will ensure that the building's foundation would not exert any new load on the culvert.

The City Council Downtown Committee reviewed the project on May 22, 2006 and was generally very supportive of the proposal. The committee commented that the roof on the corner tower element does not fit well with the overall design of the building. A condition of approval has been included requiring the applicant to submit a revised design for the flat corner roof.

General Plan

The property has General Plan land use designations of High Density Residential (HDR) and Retail and Office Commercial (ROC). The ground level office space would be on the land designated ROC. The Downtown Hayward Design Plan allows up to 50 residential units per acre and the proposal has a density of 43 units per acre. The Cannery Area Plan suggested a large office building on the corner of C and Grand Streets with residential units to the west; however the proposal has more emphasis on housing and less on office space. Staff supports the proposal because the market for office space has diminished since the adoption of the Cannery Area Plan in 2001 and there is a significant demand for senior housing. In addition, this project would

provide stimulus to redevelopment of the west side of the BART station that was envisioned in the Cannery Area Plan.

The Regional Housing Needs Determination by the Association of Bay Area Governments (ABAG) showed that Hayward had a need for 625 units affordable to very low income households and 344 units affordable to low income households for the period between 1999 and 2006. There is still a great need for affordable housing in the City of Hayward as the only affordable housing projects approved during this time period have been Sara Connor Place, approved in 2004 for 57 units and 78 units approved in March, 2006 for the site at Saklan Road and North Lane.

The General Plan defines seniors as a "special needs" demographic and includes a strategy that promotes the development of permanent affordable housing units for special needs households. Other strategies and policies in the Housing Element of the General Plan include:

- *"Encourage the provision of an adequate supply of housing units in a variety of housing types which accommodate the diverse housing needs of those who live or wish to live in the city."*
- *"Promote development of infill housing units within existing residential neighborhoods in a variety of housing types."*
- *"Encourage high-density residential development along major arterials and near major activity or transit centers."*

The proposal meets the above strategies and policies in that it would provide the opportunity to increase the supply of sought after affordable rental housing units in Hayward. The proposal will also help to increase the variety of housing types within the Downtown area. The site is directly across Grand Street from the Hayward BART station and is near shopping, including a large grocery store two blocks away.

Another strategy of the City's Housing Element states, *"Encourage developers to create housing units that accommodate varied household sizes and income levels."* The proposed development is consistent with this strategy. The Housing Element also encourages the development of affordable housing. Suggested implementation measures include:

- *Generate housing affordable to low and moderate income households through participation in federal and state housing subsidy and mortgage bond programs and in county or non-governmental programs.*

The developer would seek either Federal Department of Housing and Urban Development Section 202 financing or State tax credits from the California Tax Credit Allocation Committee to construct the affordable rental housing.

- *Work with the for-profit and nonprofit development community to create affordable housing.*

The project is sponsored by Eden Housing, a non-profit developer of affordable housing projects.

Inclusionary Housing

According to the City's Inclusionary Zoning Ordinance, fifteen-percent of the units in all large for-sale residential projects (20+ units) must be set aside for occupancy by "moderate" income buyers (i.e., those whose household income does not exceed 110% of the Area Median Income). Furthermore, the Redevelopment Agency is required to assure that fifteen percent of all new housing in the Project Area is available to both very low and moderate income households for 45 years or the term of the Redevelopment Plan. In adopting the Cannery Area Plan, the City Council stated its desire to assure that there would be an economic mix of households in the new neighborhood being developed, in line with the requirements for affordable housing production set forth in State law for the Agency. All development in the former Cannery is required to ensure that nine percent of the units are available to moderate income households and six percent are set aside for "very low" income households (i.e., those whose incomes do not exceed 50% of the Area Median Income).

In December, 2005, the City Council approved 628 residential units in the Cannery Area to be developed by Citation Homes. It is anticipated that the property currently known as the Libitzky property will be developed with 166 units. In addition to the moderate income units being developed within the Cannery Area projects, developers have agreed or will agree to provide 48 very-low-income rental units in partnership with Eden Housing at this site. The remaining 12 units will more than offset the 15 percent, or 9-unit affordable housing requirement generated by the proposed project itself.

One of the findings that the City Council made when approving the Cannery Area projects that include the provision of required affordable units off-site is that "the off-site units are at least equal in size and amenities to affordable units which would be allowed in the project, or any comparative deficiency in size or amenities is compensated for by additional units, larger units or affordability to households with lower incomes." Although the proposed apartment units would be smaller than the condominiums and single family homes approved for the other projects, the difference is compensated by the fact that the rental apartments would be affordable to senior households with lower incomes and senior households are typically smaller than younger households.

Open Space

Approximately 1,368 square feet of outdoor space would be provided for use by employees of Eden Housing. For the residents, 2,700 square feet of group open space would be provided by interior spaces and 3,178 square feet would be provided as outdoor gardens. The total is only 122 square feet short of the 6,000 square feet of open space that would typically be required for the proposed number of residential units, regardless of number of bedrooms. Since these units would contain only one bedroom, resulting in a lower population than typical residential units, and given the proximity of the open space proposed under the Cannery Area Plan, staff recommends that additional open space not be required.

Parking Exception

An interior parking lot would be accessed from C Street. While the project requires 70 off-street parking spaces, 57 spaces would be provided. The Central Parking District requires only one-half parking space per senior residential unit and offices require one space per 315 square feet of gross floor area. Thirty covered parking spaces would be reserved for the residential units; the design of the carports is compatible with the primary building design. Of the 40 spaces required for the office space, 27 would be provided in the parking lot. The Planning Director, or the Planning Commission upon referral by the Planning Director, may grant an exception to the parking regulations. Because the requested exception is part of a larger development proposal, the matter is being referred to the Planning Commission, and it is recommended that the Planning Commission approve the parking exception.

One of the findings necessary to support a parking exception and that "*Literal interpretation of this article would cause a hardship or deprive the applicant of rights enjoyed by others in the same district, who have applied for parking since adoption of this ordinance.*" This finding relates only to parking exceptions and includes a provision for "hardship," which staff believes can be justified.

The Cannery Area Plan anticipated that only one-third of the required office parking would be provided on site, with the remainder provided by a future BART parking garage. In the meantime, additional parking for the office space, 25 diagonal spaces, would be provided along the C Street frontage. While the parking regulations require parking to be provided off the street, the 13 spaces not provided in the parking lot is more than compensated by the 25 diagonal spaces on C Street, which are expected to be available for use by the office. A survey of parking demand in the neighborhood shows that the BART garage is rarely full and C Street is not used for commuter parking.

ENVIRONMENTAL REVIEW (CEQA):

The proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) guidelines, pursuant to Sections 15332, *In-Fill Development Projects*.

Hazardous Materials

A Phase I Environmental Site Assessment was prepared for the site by Terrasearch, Inc., dated February 10, 2005. A copy of this Assessment is on file in the Planning Division offices. The Hazardous Materials Division of the Fire Department will ensure that the proper water quality and health-based clearances are obtained prior to construction.

Noise

A Noise Assessment study prepared by Shen Milsom Wilke, dated March 28, 2006 states that the primary sources of noise affecting the site are traffic on Grand and C Streets as well as the elevated BART tracks across Grand Street. In order to achieve the City's goal for acceptable noise within indoor areas of an L_{dn} of 45 dB, sound-rated window and door assemblies will be required on the Grand Street elevation. Also, because it is necessary to keep windows facing

Grand and C Streets closed to meet the indoor noise standard, the apartments facing Grand and C Streets are required to have a mechanical ventilation system such as air-conditioning.

PUBLIC NOTICE

Prior to submittal of the application, the applicant held a neighborhood meeting to describe the project and seek input from the community. Residents within 500 feet of the proposed project were notified about the meeting. Approximately 12 people attended the meeting and overall had positive comments. A few people raised concerns regarding traffic, graffiti and general neighborhood safety. The applicant has a policy making graffiti removal a very high priority. It is anticipated that crime will decline as more "eyes" are added to the neighborhood.

Upon receipt of the development application, a referral notice was mailed to every property owner and occupant within 300 feet of the subject site, as noted on the latest assessor's records asking for comments on the project.

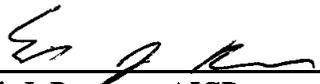
Staff received one e-mail and one phone call from neighbors with concerns about the project. The neighbors raised the issues of drainage, root intrusion from new trees and parking. When more detailed plans are submitted with a building permit application, staff will ensure that drainage is properly addressed. The tree species proposed to be planted along the perimeter of the site are good street trees and do not have invasive root systems. As noted above, parking demand is not expected to exceed supply.

On June 9, 2006, a notice of public hearing was mailed to property owners and occupants within 300 feet of the project boundaries, the Grand Terrace Homeowners Association, Burbank neighborhood Task Force, and to interested parties.

CONCLUSION

The requested Site Plan Review and Parking Exception are consistent with the Cannery Area Plan and the intent of the Housing Element to provide for affordable, high-density housing. The development proposal would provide much-needed affordable rental housing that meets site development standards and provides parking that is supportive of the needs of the residents.

Prepared by:



Erik J. Pearson, AICP
Associate Planner

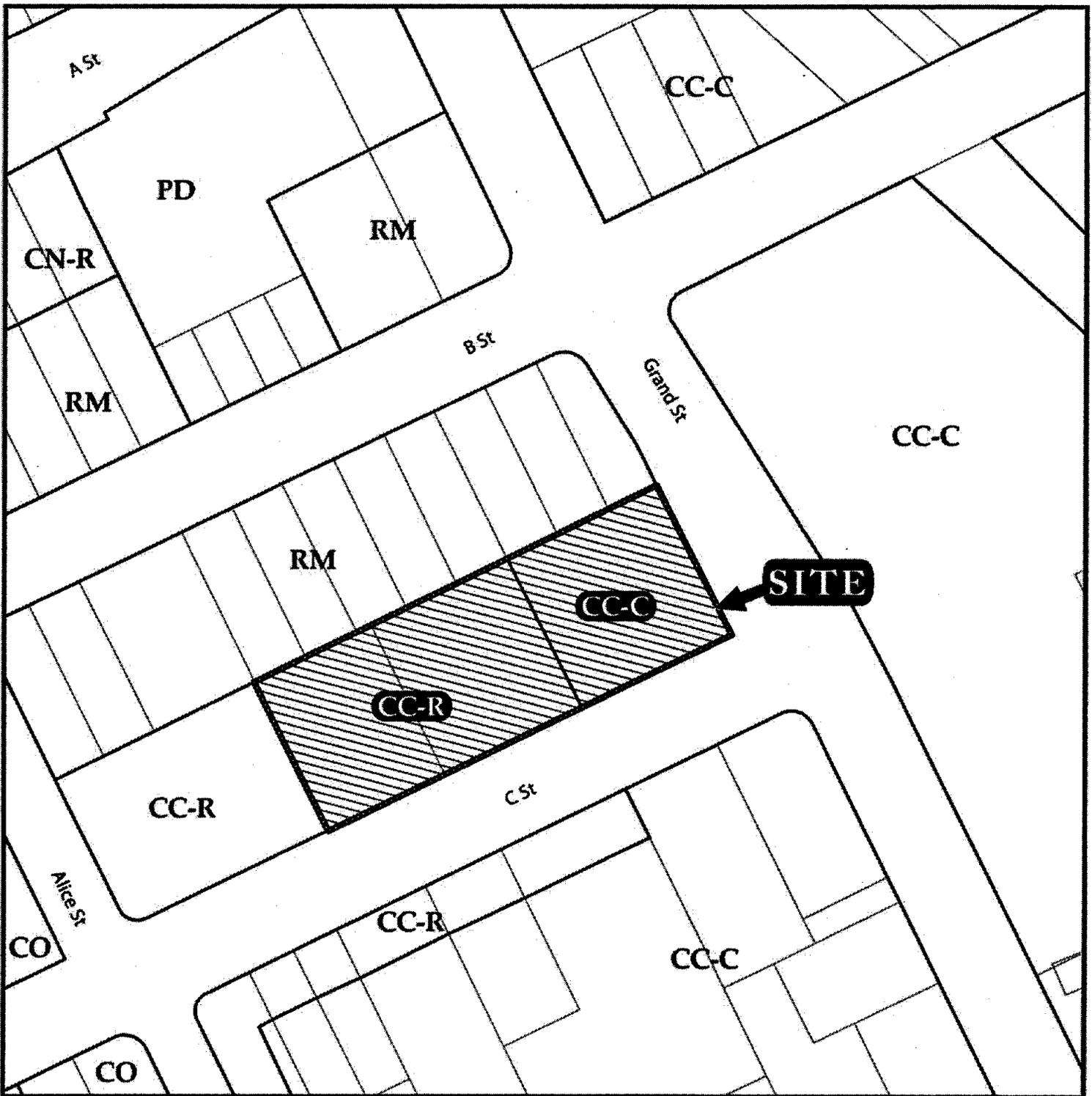
Recommended by:

A handwritten signature in black ink, appearing to be 'R. Patenaude', is written over a solid horizontal line.

Richard E. Patenaude, AICP
Principal Planner

Attachments:

- A. Area Map
- B. Findings for Approval
- C. Conditions of Approval
- D. E-mail from Neighbor
Plans



Area & Zoning Map

PL-2006-0196 SPR, PL-2006-0197 VAR

Address: 581, 585 & 597 B Street
 22645 Grand Steet,
 556 & 558 C Street

Applicant: Eden Housing, Inc.

Owner: SCS Development Co

FEET 100 200

Zoning Classifications

RESIDENTIAL

RM Medium Density Residential, min. lot size 2500 sqft

COMMERCIAL

CO Commercial Office

CR Commercial Retail

RO Residential Office

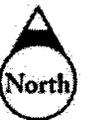
CENTRAL CITY

CC-C Central City - Commercial

CC-R Central City - Residential

OTHER

PD Planned Development



**CITY OF HAYWARD
PLANNING DIVISION
FINDINGS FOR APPROVAL**

June 22, 2006

**Site Plan Review No. PL-2006-0196 and Parking Exception No. PL-2006-0197
Eden Housing (Applicant)/ SCS Development Co. (Owner)**

Findings for Approval – California Environmental Quality Act:

- A. That approval of Site Plan Review Application No. PL-2006-0196 and Parking Exception No. PL-2006-0197 , to allow the construction of 60 Affordable Senior Apartments and 12,500 Square Feet of Office Space in the Central City-Commercial and Central City-Residential Districts is exempt from the provisions of the California Environmental Quality Act pursuant to Section 15332 (In-Fill Development Projects).

Findings for Approval – Site Plan Review:

- B. The development is compatible with on-site and surrounding structures and uses and is an attractive addition to the City in that the project has been designed to be compatible with the character of surrounding residential area, while being of a scale that will compliment the BART station.
- C. The development takes into consideration physical and environmental constraints in that the building is well designed given the size and shape of the parcel and that any underground equipment and/or hazardous materials will be required to be disposed of to the satisfaction of the Hayward Fire Department. Streets and sidewalks will be improved and measures will be taken to mitigate for the existing noise levels that affect the site.
- D. The development complies with the intent of City development policies and regulations including, but not limited to the Zoning Ordinance, the City's Design Guidelines, the Downtown Design Plan and the Cannery Area Plan in that the building will provide both commercial space and residential units, which will add to the vitality of the downtown.
- E. The development will be operated in a manner determined to be acceptable and compatible with surrounding development in that retail and residential use of the property is expected to have few if any external impacts. The new diagonal parking on C Street will absorb any parking demand exceeding that which will be accommodated on-site.

Findings for Approval – Parking Exception:

- F. There are special conditions or circumstances peculiar to the property involved that do not apply generally to property in the same district in that the property is near a BART station and the apartments will be dedicated to the sole use of low-income seniors who

are more likely to use public transportation and whose number of vehicles per dwelling unit have been shown to be less than the requirement of the City's Off-Street Parking Regulations.

- G. Literal interpretation of this ordinance would cause a hardship in that the actual parking demand is projected to be less than the number of parking stalls required and to require additional per/unit parking stalls would result in the loss of much-needed affordable housing units.
- H. The granting of the exception does not grant a special privilege inconsistent with the limitations on other properties in the same district in that a proposal with similar circumstances would be granted a similar exception.
- I. The granting of the exception will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the requirements set forth in this article as nearly as is reasonably possible, and because there will be street parking along C Street, any overspill parking is not likely to intrude into the adjacent neighborhood.
- J. The granting of the exception will not create a safety hazard or any other condition inconsistent with the purposes of this article in that adequate off-street parking will be provided.

CONDITIONS OF APPROVAL

**Site Plan Review No. PL-2006-0196
Parking Exception No. PL-2006-0197**

Eden Housing, Inc. (Applicant), SCS Development Co. (Owner)

1. Site Plan Review No. PL-2006-0196 and Parking Exception No. PL-2006-0197, are approved subject to the plans labeled Exhibit "A" and the conditions listed below. This permit becomes void one year after the effective date of approval, unless prior to that time a building permit application has been submitted and accepted for processing by the Building Official, or a time extension of this application is approved. A request for a one-year extension, approval of which is not guaranteed, must be submitted to the Planning Division at least 15 days prior to the above date.
2. If a building permit is issued for construction of improvements authorized by the site plan review and parking exception approvals, said approvals shall be void two years after issuance of the building permit, or three years after approval of the application, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance upon the zone change approval.
3. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
4. Prior to application for a Building Permit or a Grading Permit, the plans shall be revised to include the following:
 - a) A copy of these conditions of approval shall be included on a full-sized sheet(s) in the plans.
 - b) Detailed landscaping and irrigation plans shall be attached (see below).
 - c) The pavement at the driveway entry from the sidewalk to the first parking space shall be enhanced by the use of decorative pavement materials such as colored, stamped concrete (bomanite or equal), brick, concrete interlocking pavers or other approved materials. The location, design and materials shall be approved by the Planning Director.
 - d) A lighting plan, prepared by a qualified illumination engineer meeting the requirements of the City's Building Security Ordinance. Exterior lighting shall be erected and maintained so that adequate lighting is provided in all common areas. Exterior lighting shall be shielded and deflected away from neighboring properties and from windows of houses within the project.

The fixtures shall be decorative and designed to keep the light from spilling onto adjacent properties. Wall-mounted light fixtures shall not be mounted greater than 12 feet in height. Luminaires shall be of a design that complements the architectural style of the building and shall be approved by the Planning Director prior to issuance of the building permit. The maximum height of the luminaires shall be 12 feet unless otherwise permitted by the Planning Director. The lighting and its related photometric plan shall be reviewed and approved by the Planning Director. Lighting standards shall be placed so as to not conflict with the location of trees or where they would shine directly into windows.

- e) Recommendations included in the Noise Assessment study, prepared by Shen Milsom Wilke., dated March 28, 2006 shall be incorporated into the design of the project. Recommendations include, but are not necessarily limited to sound-rated window and door assemblies on selected exterior elevations, and mechanical ventilation systems such as air-conditioning or "z-ducts".
 - f) A color board shall be submitted for review and approval by the Planning Director.
 - g) Trash enclosures shall be constructed of a decorative material compatible with the main buildings to be approved by the Planning Director.
 - h) The roof on the corner tower element shall be redesigned to be more compatible with the overall building design.
5. Prior to issuance of a building permit:
- a) The developer shall cause to be recorded a covenant agreement to ensure that the 59 rental units remain affordable to low and very low income families for a minimum of 55 years. The agreement shall be approved by the Planning Director prior to recordation.
 - b) The developer shall cause the three parcels to be merged into one.
 - c) A drainage easement shall be recorded for the box culvert that runs through the property.
 - d) An easement shall be recorded for the emergency vehicle access across the property to the north.
 - e) If necessary, an easement shall be recorded for the building foundation to be constructed on the property to the north.
 - f) The developer shall submit a soils investigation report for review and approval by the City Engineer.
 - g) The developer shall submit improvement plans for review and approval by the City Engineer.
6. Prior to the installation of any signs, the applicant shall submit a Sign Permit Application to the Planning Director for review and approval.
7. The owner shall maintain in good repair all fencing, parking and driveway surfaces, common landscaping, lighting, exterior elevations, trash enclosures, drainage facilities,

project signs, etc. The premises shall be kept clean. Any graffiti painted on the property shall be painted out or removed within 72 hours of occurrence.

8. No mechanical equipment, or solar collectors, may be placed on the roof unless it is incorporated into the design of the roof. Prior to construction, documentation shall be provided that the roof-mounted mechanical equipment is adequately screened.
9. In the event that archaeological resources, prehistoric or historic artifacts are discovered during construction of excavation, the following procedures shall be followed: Construction and/or excavation activities shall cease immediately and the Planning Division shall be notified. A qualified archaeologist shall be consulted to determine whether any such materials are significant prior to resuming groundbreaking construction activities. Standardized procedure for evaluation accidental finds and discovery of human remains shall be followed as prescribed in Sections 15064.f and 151236.4 of the California Environmental Quality Act.
10. Construction noise from the development of this site shall adhere to standard restrictions on hours and days of operation as specified in the City of Hayward Municipal Code, Article 1, Section 4.103(2). Construction equipment is required to have sound reduction devices to reduce noise impacts on surrounding properties. The name and telephone number of an individual responsible for responding to complaints regarding noise, and who is hired by the developer, shall be posted at the site during construction.
11. Prior to final inspection all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the Planning Director.
12. Any proposal for alterations to the proposed site plan and/or design, which does not require a variance to any zoning code, must be approved by the Planning Director prior to implementation.
13. Any future modification to the approved site plan shall require review and approval by the Planning Commission.

Landscaping

14. Prior to the issuance of the first building permit, detailed landscaping and irrigation plans shall be prepared by a licensed landscape architect based on a survey by a licensed surveyor and submitted for review and approval by the City. Landscaping and irrigation plans shall comply with the City's Water Efficient Landscape Ordinance.
15. The park in-lieu fee for each of the units in the development shall be applied at the rate in effect at the time a building permit is issued. The fee schedule is updated annually with new fees taking effect on July 1 of each year.
16. Street trees shall be a minimum of 24" box and other required trees shall be a minimum of 15 gallons.
17. Evergreen screening trees at every 20 feet on center or equivalent quantity of trees shall be provided along the entire western and northern property lines. *Podocarpus gracilior* will be a good choice for this purpose at these locations.
18. A minimum interior width of planting areas including planting islands in the parking lot areas shall be 5 feet or 6 feet measuring from face of curb to face of curb.

19. All planting islands shall be landscaped with live plants. Please address blank triangular planting islands where no trees are proposed along C Street.
20. Trees shall be planted per City Standard SD-122.
21. Vine planting shall be provided on the trash enclosure wall and exterior stair enclosure wall at the northeastern corner of the development.
22. All above ground utilities and mechanical equipment such as a backflow preventor are to be screened and/or have protective steel caging from the street and drives with appropriate five gallon shrubs. If steel caging is proposed, a detail shall be submitted for review and approval.
23. Provide bark, pre-emergent, and groundcover in all shrub planting beds.
24. Provide automatic irrigation system that provides 100% coverage to the landscape area including parkway strips along Grand Street.
25. Drip emitters or a bubbler shall be provided to each tree. Bubblers shall not exceed 1.5 gallons per minute per device. Bubblers for trees shall be places on a separate valve.
26. Landscaping shall be installed and a Certificate of Substantial Completion and an Irrigation Schedule shall be submitted prior to issuance of a Certificate of Occupancy. A copy of final acceptance letter shall be submitted as an attachment to the certificate of substantial completion. The final acceptance letter shall include the information that all landscape installation is completed per landscape plan, irrigation plan and specifications; the reasons and lists of all planting and irrigation revisions and substitutions; the irrigation system has been field tested and adjusted; and the project landscape architect has performed the final inspection and completed the final acceptance (the date of the final acceptance shall be stated clearly).
27. Landscaping shall be maintained in a healthy, weed-free condition at all times. The owner's representative shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over 30% die-back) shall be replaced within ten days of the inspection. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected by, and size determined by the City Landscape Architect, within the timeframe established by the City and pursuant to Municipal Code.

Fire Department

28. Prior to occupancy of the building, the EVA (emergency vehicle access) and associated driveway on the north side of the building shall be completed to the satisfaction of the Fire Department and the Solid Waste and Recycling Division of the Public Works Department.
29. The proposed private driveway for the new development shall be a dedicated fire lane.
30. The minimum driveway (fire lane) width shall be 26 feet to accommodate the need for ladder truck operations.

31. The proposed Emergency Vehicle Access lane (EVA) shall be installed in the area of the development as indicated on the approved plans (interconnecting the parking lot to Grand Street).
32. EVA design and engineering shall be approved to meet Hayward Fire Department Standards.
33. The approved EVA shall remain unsecured (with no gate) and shall have a 6-inch vertical curb or other approved design as allowed by the Hayward Fire Department. The EVA will require fire lane signage posted at each entrance to discourage any parking of vehicles or other potential uses.
34. Parking of private vehicles shall only be allowed in the designated parking stalls that have been identified on the approved plans.
35. Red-painted curbing and fire lane signage shall be installed on the private driveway access lane (including the proposed EVA).
36. All streets within the proposed development shall be constructed with all-weather surface materials and designed and engineered to withstand 50,000 lbs. GVW.
37. The development will require both public and private fire hydrants. Fire hydrants shall be installed per COH Standards. New fire hydrants are required at the following locations:
 - New public fire hydrant along Grand Street at the EVA (property line of the proposed development and the future building to the north);
 - New public fire hydrant along C Street at the intersection area of C Street and Grand Street;
 - New public fire hydrant along C Street at the new driveway opening;
 - New private fire hydrant within the parking lot, preferably on the north side of the building in a landscape island.
38. The water line serving the fire hydrants for the proposed development shall be a looped system and shall meet design and engineering standards for installation as required by the City of Hayward Public Works Department.
39. A dedicated fire service lateral shall be installed for the proposed building and shall be a minimum 4-inches (or greater) in diameter. The fire service lateral shall be installed sub-grade and shall meet Hayward Fire Department Standards (SD-204).
40. The fire service lateral shall be equipped with a Fire Department Connection (FDC) and Post Indicator Valve (PIV). Locations of such equipment shall be approved by the Hayward Fire Department.
41. Fire flow requirements for this development shall meet a minimum of 5,000 gpm at 20 PSI. An allowance of up to 50% will be granted for fire sprinklers, which are required for the proposed building.
42. Fire hydrants shall be double steamer type with 2-4 ½" outlets and 1-2 ½" outlet.
43. Crash posts may be required for the fire hydrants if they are installed on the pavement without curb protection.

44. Blue reflective hydrant markers are required to be installed on the pavement at each fire hydrant location.
45. Vertical and horizontal separations shall be constructed between the 1st floor office space and 2nd floor residential as required by the CBC.
46. An approved address plan for the building shall be reviewed and approved by the Hayward Building and Fire Department.
47. Address numbers are required to be installed on the building. Address numbers shall be a minimum of 6-inches in height. If an address monument sign is installed, the sign shall be equipped with 6-inch numbers and lighting for night time vision.
48. Plans will be reviewed further when a building permit application is submitted, at which time additional requirements may be imposed.
49. The proposed building will be required to have an automatic fire sprinkler system installed per NFPA 13 Standards. This requirement includes the installation of fire sprinklers within all areas of the building as required by NFPA 13 Standards.
50. The building shall have a dedicated underground fire service lateral installed to supply the fire sprinkler system. Installation of the underground fire service line shall be in conformance with NFPA 24 Standards and Hayward Fire Department Standards (SD-204).
51. The building will require a Class 1 (combination) wet standpipe system to be installed within each stairwell landing. Design and installation of the Class 1 wet standpipe system shall be in conformance with NFPA 14 Standards. Hose outlets for the standpipe shall be installed in the stairwell landing as well as within interior corridors of the 2nd and 3rd floor.
52. The Fire Department Connections (FDC) and Post Indicator Valves (PIV) that serve the fire sprinkler system(s) shall be installed in acceptable locations as approved by the Hayward Fire Department.
53. Exterior local alarm bell(s) shall be installed on each fire sprinkler system riser.
54. Interior audible device(s) shall be installed within each living unit and within the commercial (office) space and shall be capable of activating upon any fire sprinkler system waterflow activity.
55. A manual and automatic fire alarm (evacuation) system shall be required for the building. The design and installation of the fire alarm system shall be in conformance with NFPA 72 Standards. The system shall include common area smoke detectors, manual pull stations, and audible and visual devices. The fire alarm system shall also meet ADA compliance.
56. Living units within the (residential) building that may be designated for handicap individuals will require additional life safety features which will include additional fire notification devices as part of the manual and automatic fire alarm (evacuation) system.
57. Central station monitoring is required for any fire sprinkler system installation which has more than 100 fire sprinkler heads.

58. Central station monitoring is required for the fire alarm system.
59. Interior (single-station) residential smoke detectors shall be installed within each living unit. Smoke detectors shall be installed per the California Building Code (CBC) and shall be hard-wired electric with battery back-up. Single-station smoke detectors shall not be interconnected to the buildings' main fire alarm system.
60. Portable fire extinguishers having a minimum rating of 2A:10BC will be required in the office space as well as all common areas within the residential use and other locations of the building as required by the Hayward Fire Department.
61. As part of the elevator installation, additional requirements will be imposed for elevator recall services. The Hayward Fire Department will need to determine how the elevator(s) are operated (hydraulically or electrically). Elevators and associated equipment are subject to further review and approval by the Fire Marshal.
62. If the recreation room has a kitchen with commercial cooking equipment installed, the hood and ducting for the cooking equipment shall be protected with an automatic fire extinguishing system.
63. If the recreation room is classified as an assembly use (A-3 occupancy capable of having an occupant load greater than 49 persons and up to 300 persons), additional requirements will be imposed at time of plan review. The requirements for building construction, exiting, and fire and life safety systems will need to be enforced.

Hazardous Materials

64. The applicant shall identify the state they are working with to obtain water quality and health-based clearance for the proposed residential/commercial development site.
65. The site clearances shall be obtained from either the California Regional Water Quality Control Board – San Francisco Bay Region or the California Department of Toxic Substance Control or the Hayward Fire Department prior to grading and residential occupancy of site (grading allowances may be granted if approved by either agency).

Utilities

66. Plan Sheet C-1 incorrectly identifies EBMUD as the water utility. The subject parcels are currently serviced by the City's Water System and the plans should reflect this.
67. Show location of existing and proposed water services, meters and sanitary sewer laterals on plans. No existing sanitary sewer laterals are shown on the plans. Plan Sheet C-2 shows five (5) water meters in the sidewalk along C St., but only two (2) of these are shown to be connected to the 8" water main. All water meters and services should be labeled and shown to connect to the City's water main. Field verification may be necessary. City records indicate that the subject parcels are currently served by three (3) 1" water services, each with 5/8" water meters, and one (1) 6" fire service:
 - 22645 Grand St, 1" water service with 5/8" meter, Service No. 2896
 - 570 C St., 1" water service with 5/8" meter, Service No. 3052
 - 556 C St., 1" water service with 5/8" meter, Service No. 25954

- 554 C St., 6" fire service (no additional information available)

Please refer to the attached 1983 as-built plan (partial) and make correction the plans.

68. Plan Sheet C-4 shows one (1) sanitary sewer lateral to serve the entire development. As a minimum, the development shall be served by three (3) sanitary sewer laterals: one to serve the office/commercial space (assuming it has water and sewer fixtures that are not shown – if any fixtures are planned, they must be shown); one to serve the dwelling units; and one to serve the Community Room Kitchen and adjacent two bathrooms on the 1st floor, and to serve the Laundry Rooms on the 2nd and 3rd floors. In addition, the Community Room Kitchen sink shall be equipped with a grease trap.
69. Plan Sheet C-4 shows one (1) 2" water service to supply potable water for the entire development. This is inadequate given that there are 60 dwelling units, 2 laundry rooms, a community kitchen and 2 community bathrooms (and unknown fixtures in the office/commercial space). As a minimum, the development shall be served by 3 water services: one for the office/commercial space (assuming it has water and sewer fixtures that are not shown – if any fixtures are planned, they must be shown); one to serve the dwelling units; and one to serve the Community Room Kitchen and adjacent two bathrooms on the 1st floor, and to serve the Laundry Rooms on the 2nd and 3rd floors. In addition, the calculated water demands and required supply sizing shall be shown on the plans.
70. Water meters and services are to be located a minimum of two (2) feet from top of driveway flares as per City of Hayward Standard Details 213 thru 218. Water meters and services must be located a minimum of six (6) feet from sanitary sewer laterals, per State Health Code.
71. All materials for water mains, services and appurtenances shall conform to the City's Water System Approved Materials List.
72. Install a separate irrigation water meters for landscaping purposes (plans currently conform to this requirement).
73. Reduced Pressure Backflow Prevention Assemblies per City of Hayward Standard Detail SD-202 are required on all metered industrial, commercial and irrigation water services. Class 1 and Class 2 Fire Sprinkler Systems are exempt from this requirement. Show location on plans.
74. Add the following notes to plans:
 - a. Only Water Distribution Personnel shall perform operation of valves on the Hayward Water System, install water meters and "wet" taps.
 - b. Gallon Per Minute Demand to determine proper size for water services and meters.
 - c. Applicant shall request the City abandon existing water services and meters that can not be reused by the project at the applicants' expense.
 - d. Water and sewer service available subject to standard conditions and fees in effect at time of application.

- e. Additional sewer system capacity to accommodate the volume and waste strength of wastewater to be discharged from the development must be purchased, at the rates in effect at the time of purchase, prior to discharge.

Engineering

75. The project plan shall identify Best Management Practices (BMPs) appropriate to the uses conducted on-site in order to limit the entry of pollutants into storm water runoff to the maximum extent practicable.
76. The proposed BMPs shall be designed to comply with the hydraulic sizing criteria listed in Provision C.3.d of the ACCWP NPDES permit (page 22). In addition, the California Stormwater Quality Association's Stormwater Best Management Practice Handbook New Development and Redevelopment, Subsection 5.5 on pages 5 – 12 has a section titled "BMP Design Criteria for Flow and Volume." This should be available on their website at www.cabmphandbooks.com.
77. Prior to the issuance of a grading permit and/or the beginning of any construction activity on-site, the Developer's Engineer shall complete the Development Building Application Form Information: 1) Impervious Material Form, and 2) Operation and Maintenance Information Form.
78. The owner shall prepare a Storm Treatment Measures Maintenance Agreement (available in the Engineering and Transportation Division); the Maintenance Agreement shall be recorded with the Alameda County Recorder's Office to ensure that the maintenance is bound to the property in perpetuity. The Agreement shall include maintenance of the underground (Sulphur Creek) culvert.
79. A copy of the Notice of Intent (NOI) from the State Water Resources Control Board shall be provided to the City prior to the start of grading.
80. Trash enclosures and/or recycling area(s) shall be covered.
81. Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration, and minimize the use of fertilizers and pesticides that can contribute to stormwater pollution. Where feasible, landscaping should be designed and operated to treat stormwater runoff. Landscaping shall also comply with the City's "water efficient landscape ordinance" or equivalent.
82. A Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to the City for review and approval by the City Engineer.
83. Any existing sidewalk that creates a tripping hazard shall be removed and replaced.
84. Install standard street lights along the property frontages.
85. The curb return at the corner of Grand Street and "C" Street shall have a 30 feet radius at the curb face.
86. The existing driveways on "B Street, Grand Street and "C" Street shall removed and replaced with standard curb, gutter and sidewalk.

87. The existing box culvert (Sulphur Creek) that runs through the proposed project shall not be subjected to any structural load. The culvert shall be video taped before and after the project construction. Prior to the approval of this project, all County's concerns shall be addressed.
88. Dedicate a storm drain easement along the entire length of the existing box culvert (Sulphur Creek) within the proposed project. The property owner shall continue to own the culvert.
89. Storm drainage shall be reviewed and approved by ACFC & WCD.
90. Manholes shall be constructed on top of the existing box culvert (Sulphur Creek) on "C" Street and Grand Street sidewalk area.
91. Preliminary Soils report shall be submitted for review and approval of the City Engineer prior to the issuance of a building permit.
92. Parking stalls proposed along C Street are in the public right of way and shall be available to the public.
93. The developer shall provide a detail for the pavement section at the C Street parking area.
94. C Street driveway entrance to development should have handicap ramps (2) at where the 6-foot sidewalk meets the driveway apron.
95. The developer shall provide detail for the concrete sidewalk section.

Solid Waste & Recycling

96. This approval is subject to the requirements contained in the memo from the Solid Waste and Recycling Division of the Public Works Department dated 6/14/2006.
97. No materials of any kind may be stored outside the trash enclosure or outside the building.

Erik Pearson

From: Bovero, Lena(Tom) [lbovero@ebmud.com]
Sent: Wednesday, May 17, 2006 2:11 PM
To: Erik Pearson
Subject: Public Comment for Eden Housing Inc. Project

Reference:

PL-2006-0196 SPR/PL-2006-0197 SPR/VAR and TPM 9100

Eden Housing, Inc. (Applicant)

SCS Development Co (Owner)

We wish to make a comment on this project.

The Tom Family Trust (561-563-565-567 B Street) property is adjacent to this property and project. We attended a community meeting on April 19, 2006 at the Hayward Salvation Army and were pleased with the proposed project.

We had some concerns and discussed these with the project manager at that time. The parking area with carport structures of the Eden Housing project will be next to our property. Our concerns would be proper drainage of rain water from the roofs of the carport structures during the wet weather season. The previous structure had corrugated metal roofing angled toward our property and all the rain water from that roof drained on to our property which flooded that area.

Also, some trees will be planted near our property line and we are concerned about root intrusion.

We understand that our concerns were heard during the community meeting, but we wanted to ensure that your staff has taken our concerns into consideration when reviewing Eden's plans. Please acknowledge our public comment and thank you in advance.

5/17/2006

ATTACHMENT D

SANTOS PROPERTY

IN
HAYWARD, CALIFORNIA

BY
EDEN HOUSING

CONSULTANTS

ARCHITECT
DANIEL BRUFF
3875 CROWN CANYON ROAD
SAN RAFAEL, CA 94589
F(510) 897-8086
F(510) 897-2848 FAX
ATTN: DEAN RETIGLOS

OWNER
EDEN HOUSING
4574 SACRAMENTO ST.
HAYWARD, CA 94544
800 394-8888
800 394-8888 FAX
ATTN: PEGGY KAMP

CIVIL ENGINEER
LUC & ASSOCIATES
700 ALFRED NOBEL DR.
MIRACLES, CA 94541
800 334-8888
800 334-8888 FAX
ATTN: GEORGE LUC

STRUCTURAL ENGINEER
H&K DESIGN
2885 CENTER DR.
MORGAN HILL, CA 95031
F(408) 780-8888
F(408) 780-8888 FAX
ATTN: H&K DESIGN

LANDSCAPE ARCHITECT
THE REDWOOD PARTNERSHIP, INC.
880 HORNBOURN ST.
SAN FRANCISCO, CA 94102
F(415) 462-4773 X 18
F(415) 462-8028 FAX
ATTN: JANEY C. HITTLE

DRAWING INDEX

LI	TITLE PAGE
L1	PRELIMINARY LANDSCAPE PLAN
A1	SWEEPSTAKES
A2	CONCEPTUAL SITE PLAN
A3	BUILDING PLAN 1ST FLOOR
A4	BUILDING PLAN 2ND FLOOR
A5	BUILDING PLAN 3RD FLOOR
AT	TYPICAL NET FLOOR PLAN
AT	ELEVATIONS AC' STREET AND GRAND STREET
AT	ELEVATIONS NORTH AND WEST ELEVATIONS & TYPICAL GARAGEPORT
CI	NOTES, LEGEND, DIMENSIONS AND DIMENSIONAL PLAN
CS	SCENICITY AND TOPOGRAPHIC STUDY
CS	PRELIMINARY GRADING PLAN
CS	PRELIMINARY UTILITY PLAN
CS	EMERIT

RESIDENTIAL UNIT COUNT	#	UNIT SQ.FT.	TOTAL SQ.FT.
1 Bedroom	24	571	13,664
2 Bedroom	1	128	128
Total this Court	25		13,792

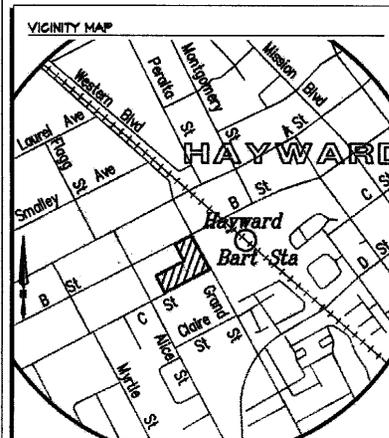
STORAGE SPACE	SQ.FT.	GUFT.
First Floor	181	1810
Second Floor	266	2658
Third Floor	800	2700
Total Storage	1247	4222
GUFT. per Unit		15

PARKING TOTALS	TOTAL/ REQUIRED
OFF-STREET	
Senior Housing	80/80
Office	21/44
Total OFF-Street Parking	101/124
ON-STREET	
10' Street Parking Total	28
TOTAL PARKING	129/144

PARKING ANALYSIS
REQUIRED OFF-STREET PARKING
RESIDENT VEHICLES - 80 covered spaces required
3 spaces per unit (Central Parking District)
OFFICE SPACE - 40 required - 40 (1/2) = 14 required spaces
1 space per 215 sq.ft. (Central Parking District)
(15 of required office spaces to be provided offsite (Hayward Community Design Plan))

AREA CALCULATIONS	SQ.FT.	SQ.FT.	SQ.FT.
FIRST FLOOR		SECOND FLOOR	THIRD FLOOR
Office	2405	Senior Housing (1 Bed.)	1478
Senior Housing (1 Bed.)	4723	Senior Housing (2 Bed.)	128
Community Room	1078	Plan Community Room	750
Lobby	892	Miscellaneous Space	4242
Residential Lobby	81	Second Floor Total	20828
Miscellaneous Space	8834		
First Floor Total	22224		BUILDING TOTAL: 62498

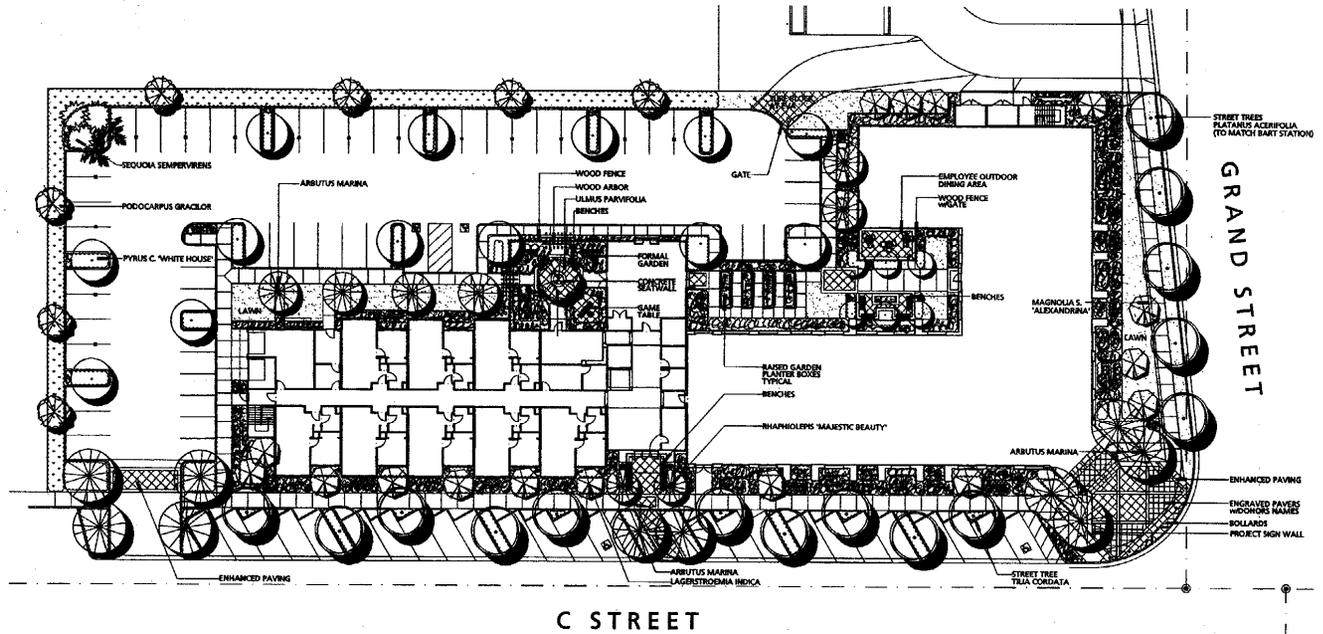
Project #
PL-2006-0196 SPR



PLANT PALETTE

TREES	BOTANICAL NAME	COMMON NAME	COMMENTS/SPACING
	<i>Acer palmatum</i>	Japanese Maple	
	<i>Arbutus Menziesii</i>	Maritime Arbutus	
	<i>Celtis sinensis</i>	Chinese Hackberry	standard
	<i>Lagerstroemia L. Hybrid</i>	Craps Myrtle	standard
	<i>Laurus n. Sasanqua</i>	Shinkai Laurel	
	<i>Magnolia g. 'Edith Brogue'</i>	Southern Magnolia	
	<i>Magnolia soulangiana 'Alexandrina'</i>	Alexander Saucer Magnolia	
	<i>Podocarpus gracilior</i>	Fern Pine	standard
	<i>Pyrus v. 'Alabaster'</i>	Alabaster Flowering Cherry	
	<i>Pyrus c. 'White House'</i>	Aristocrat Flowering Pear	
	<i>Rhapidolepis 'Majestic Beauty'</i>	Rhapidolepis	standard
	<i>Platanus s. 'Yanwood'</i>	London Plane Tree	
	<i>Sequoia sempervirens</i>	Coast Redwood	
	<i>Tilia cordata 'Chumelino'</i>	Chancellor Linden	
	<i>Tilia Parvifolia 'Tina Green'</i>	True Green Evergreen Elm	
SHRUBS			
	<i>Agapanthus 'Storm Cloud'</i>	Storm Cloud Agapanthus	
	<i>Arbutus unedo 'Compacta'</i>	Dwarf Strawberry Bush	
	<i>Buxus m. Japonica 'Green Beauty'</i>	Boxwood 'Green Beauty'	
	<i>Dioscorea antarctica</i>	Tussock Tree Fern	
	<i>Dietes bicolor</i>	Fortnight Lily	
	<i>Hemerocallis 'RED'</i>	Red Evergreen Daylily	
	<i>Liriodendron chinense 'Rubrum'</i>	Liriodendron	
	<i>Mahonia repens</i>	Creeping Oregon Grape	
	<i>Miscanthus transmontanusensis</i>	Evergreen Miscanthus	
	<i>Nephrolepis cordifolia</i>	Southern Sword Fern	
	<i>Phormium 'Maori Sunrise'</i>	Maori Sunrise Flax	
	<i>Pittosporum nigricans</i>	Pittosporum	
	<i>Pittosporum L. 'Whitaker's Dwarf'</i>	Whitaker's Dwarf	
	<i>Rhapidolepis indica 'Clara'</i>	White India Hawthorn	
	<i>Rhapidolepis umbellata 'Minor'</i>	Dwarf Yucca Hawthorn	
	<i>Sarcococca ruscifolia</i>	Prague Sarcococca	
GROUND COVERS and VINES			
	<i>Actinophylos 'Emerald Carpet'</i>	Emerald Carpet Manzanita	
	<i>Rice pennis</i>	Creeping Fig	
	<i>Hedera helix 'Hahn's'</i>	English Ivy	
	<i>Liriodendron 'Majestic'</i>	Majestic Lily Turf	
	<i>Tradescantia virginiana</i>	Star Jasmine	
	<i>Vinca minor 'Bowles Variety'</i>	Bowles Variety Periwinkle	
	<i>Wisteria sinensis</i>	Chinese Wisteria	
	<i>Lumn</i>		
	<i>Festuca rubra</i>	Red Fescue	

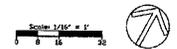
NOTES:
 All project landscape and irrigation shall conform to City of Hayward Landscape and Irrigation Guidelines.
 All planted areas are to be watered with an approved automatic underground irrigation system. The system shall be designed to make efficient use of water through conservation techniques. The backflow device shall be cleaned from view with paintings.
 All trees shall be a minimum of 15 gallon size. All shrubs shall be a minimum of 5 gallon size.
 The minimum slope in all planting areas shall be 2%.
 The minimum slope on landscape paving surfaces shall be 3/8% typically.



SANTOS PROPERTY
 HAYWARD, CALIFORNIA

EDEN HOUSING
 HAYWARD, CALIFORNIA

PRELIMINARY LANDSCAPE PLAN
 18 April 2006



THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects • Land Planners

836 Montgomery Street
 San Francisco, CA 94133
 T 415 433 4672
 F 415 433 5003

L-1



STREETSCAPE - OFFICE ENTRY AT CORNER OF C STREET AND GRAND STREET

SANTOS PROPERTY
EDEN HOUSING

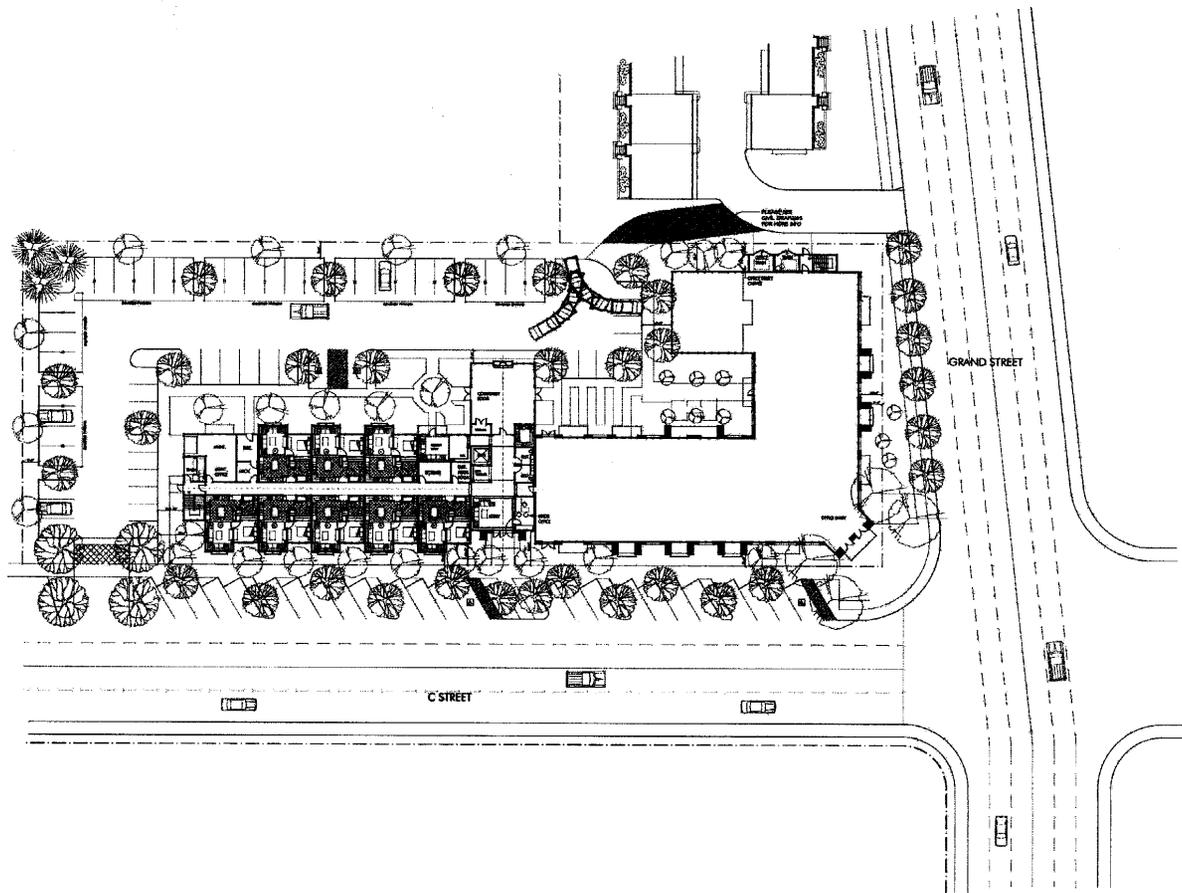
HAYWARD, CALIFORNIA

STREETSCAPE
C STREET & GRAND STREET
APRIL 19, 2008 Project No.: 251.001

DAHLLIN GROUP

2671 Crow Canyon Rd.
San Ramon, CA 94583
925.837.8284
925.837.2543 fax

A.1



SANTOS PROPERTY
EDEN HOUSING

HAYWARD, CALIFORNIA

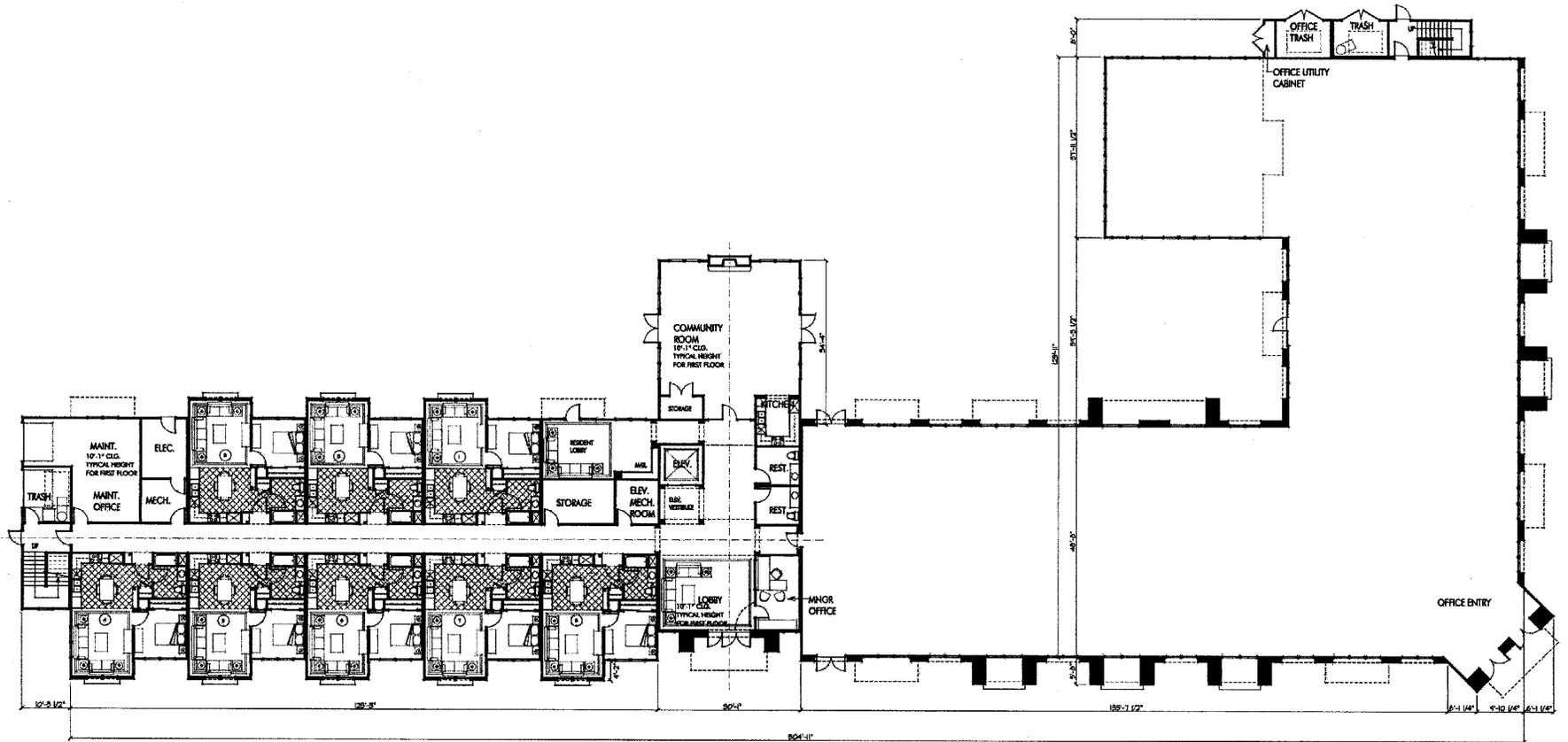


CONCEPTUAL
SITE PLAN
SCALE: 1"=20'
APRIL 19, 2006

Project No.: 221.001

DAHLIN GROUP

2671 Crow Canyon Rd.
San Ramon, CA 94583
925.837.6200
925.837.2543 Fax



SANTOS PROPERTY
EDEN HOUSING

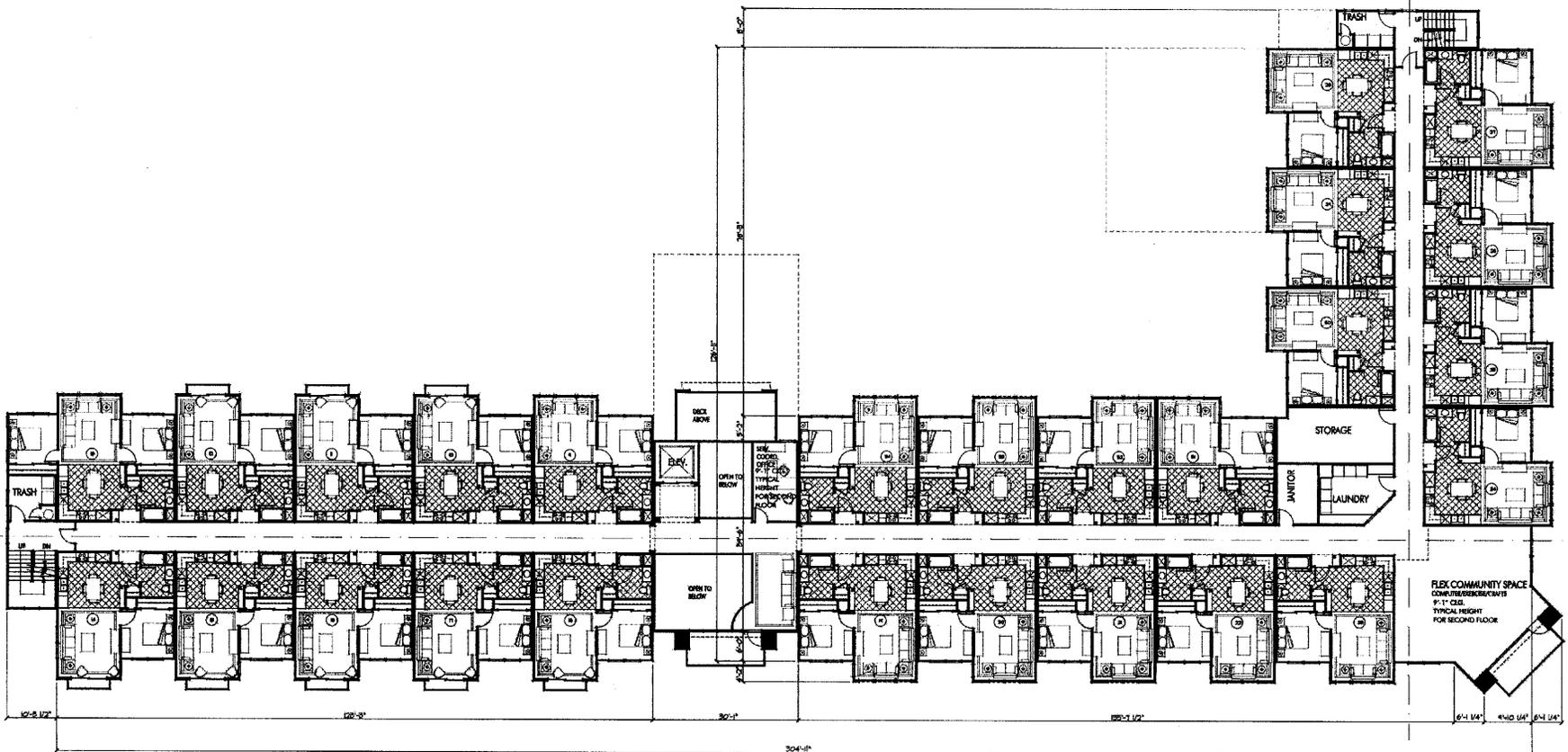
HAYWARD, CALIFORNIA

BUILDING PLAN
1ST FLOOR
SCALE: 1/8" = 1'-0"
APRIL 19, 2006 Project No.: 231.001

DAHLLIN GROUP

2471 Cowi Canyon Rd.
San Ramon, CA 94583
925.837.8200
925.837.2543 Fax

A.3



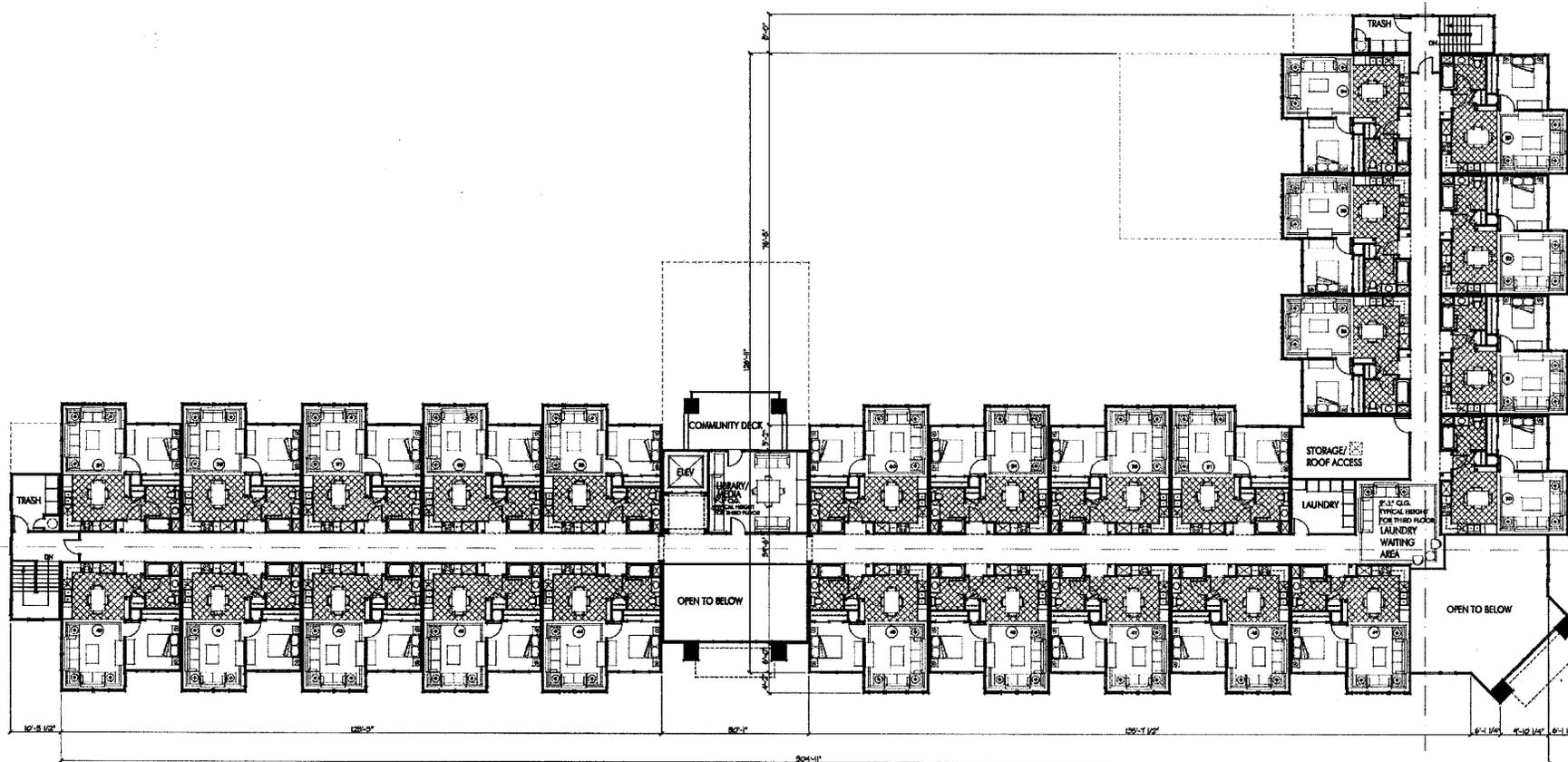
SANTOS PROPERTY
EDEN HOUSING

HAYWARD, CALIFORNIA

BUILDING PLAN
2ND FLOOR
SCALE: 1/8" = 1'-0"
APRIL 19, 2006 Project No.: 251.001

DAHLLIN GROUP

2871 Crow Canyon Rd.
San Ramon, CA 94583
925.837.8286
925.837.2543 fax



SANTOS PROPERTY
EDEN HOUSING

HAYWARD, CALIFORNIA

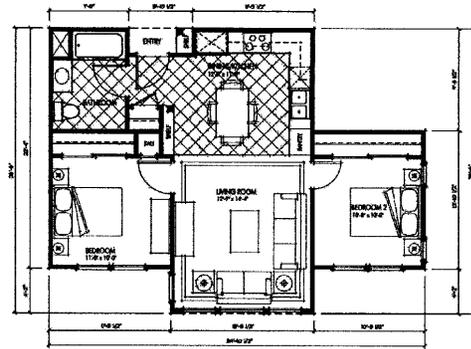
BUILDING PLAN
3RD FLOOR
SCALE: 1/8" = 1'-0"

APRIL 19, 2005 Project No: 281.001

DAHLIN GROUP

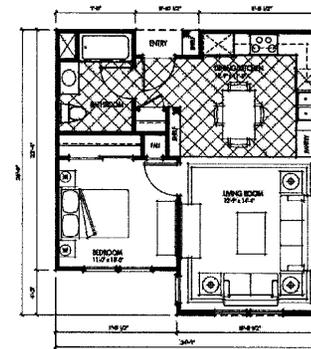
2871 Crane Company Rd.
San Ramon, CA 94583
925.837.6286
925.837.2543 fax

A.5



UNIT PLAN 2 - 2 BEDROOM

TOTAL 733 sq. ft.



UNIT PLAN 1 - 1 BEDROOM

TOTAL 691 sq. ft.

SANTOS PROPERTY
EDEN HOUSING

HAYWARD, CALIFORNIA

TYPICAL UNIT
FLOOR PLANS

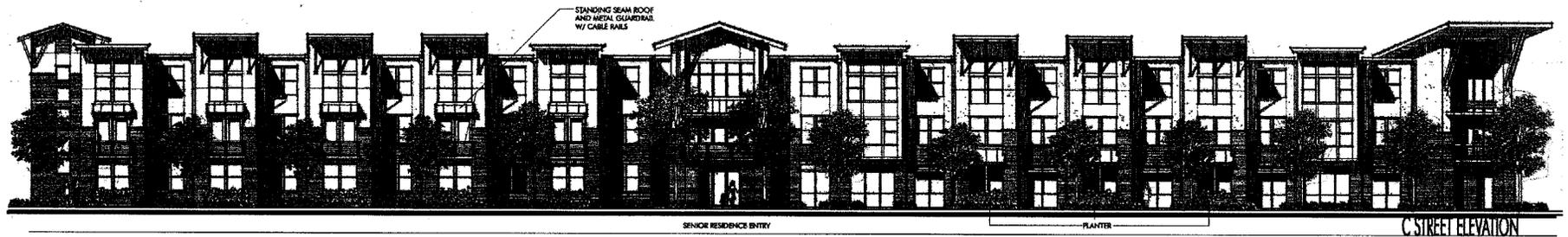
SCALE: 1/4" = 1'-0"

APRIL 19, 2006

Project No.: 231.001

DAHLIN GROUP

2671 Crow Canyon Rd.
San Ramon, CA 94583
925.833.8700
925.837.3343 fax



SANTOS PROPERTY
EDEN HOUSING

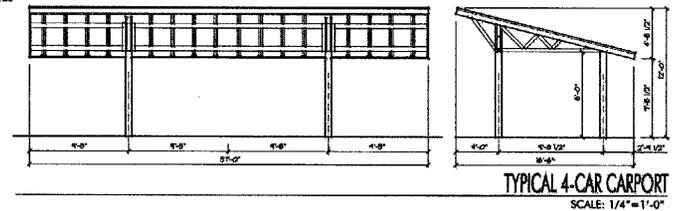
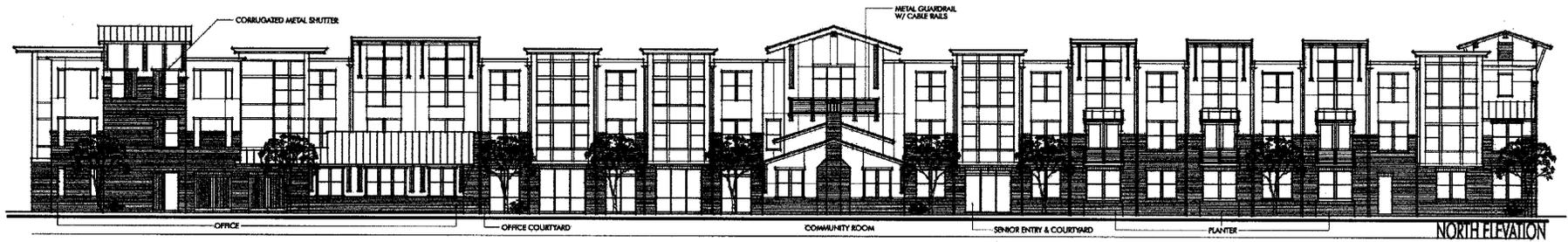
HAYWARD, CALIFORNIA

ELEVATIONS
C STREET & GRAND STREET
SCALE: 1/8" = 1'-0"
APRIL 19, 2006 Project No.: 291.001

DAHLIN GROUP

2671 Green Canyon Rd.
San Ramon, CA 94583
925.837.5036
925.837.5443 fax

A.7



SANTOS PROPERTY
EDEN HOUSING

HAYWARD, CALIFORNIA

ELEVATIONS
NORTH & WEST ELEVATION
& TYPICAL CARPORT
SCALE: 1/8" = 1'-0"
APRIL 19, 2008 Project No.: 231.001

DAHLIN GROUP

2871 Crane Canyon Rd.
San Ramon, CA 94583
925.837.8286
925.837.2543 fax

A.8

LEGEND:

SYMBOLS	DESCRIPTION
---	PRIORITY LINE
---	RIGHT OF WAY LINE
---	ORIGINAL (OLD) LOT LINES
---	EASEMENT ACCESS LINE
---	INTERIOR LOT LINES
---	ADJUMENT TO MONUMENT LINE
---	OLD LOT LINES
○	ADJUMENT LOT LINES
○	FOUND STANDARD CITY MONUMENT
○	FIRE HYDRANT
○	CATCH BASIN
○	AREA DRAIN
○	WATER METER
○	WATER METER
○	STORM DRAIN MANHOLE
○	SANITARY SEWER CLEANOUT
○	SANITARY SEWER MANHOLE
○	TELEPHONE MANHOLE
○	PACIFIC GAS AND ELECTRIC MANHOLE
○	WELL
○	ASPHALT CONCRETE DRAIN INLET
○	FIRE DEPARTMENT CONNECTION
○	JOINT POLE
○	TRAFFIC SIGNAL
○	TRAFFIC SIGNAL BOX
○	STREET LIGHT
○	STREET LIGHT BOX
○	PACIFIC GAS AND ELECTRIC BOX
○	POWER POLE
○	TELEVISION CABLE BOX
○	CONCRETE UTILITY BOX
○	ROOF DRAIN
○	4" WELLDOWN
○	WATER BOX
○	WATER METER
○	GRAVE COVER
○	ROOF DRAIN
○	GAS VALVE
○	SIGN
○	GROUND ELEVATION
○	TOP OF PAVEMENT ELEVATION
○	TOP OF CURB ELEVATION
○	FLOW LINE ELEVATION

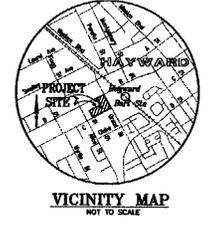
BENCHMARK
CITY OF HAYWARD BENCH MARK LOCATED IN THE INTERSECTION OF C STREET AND GRAND STREET. TOP OF PLATE SET IN MONUMENT WELL. ELEVATION 96.62. BENCHMARK#.

BENCHMARK
CITY OF HAYWARD BENCH MARK LOCATED IN THE INTERSECTION OF B STREET AND GRAND STREET. TOP OF PLATE SET IN MONUMENT WELL. ELEVATION 96.46. BENCHMARK#.

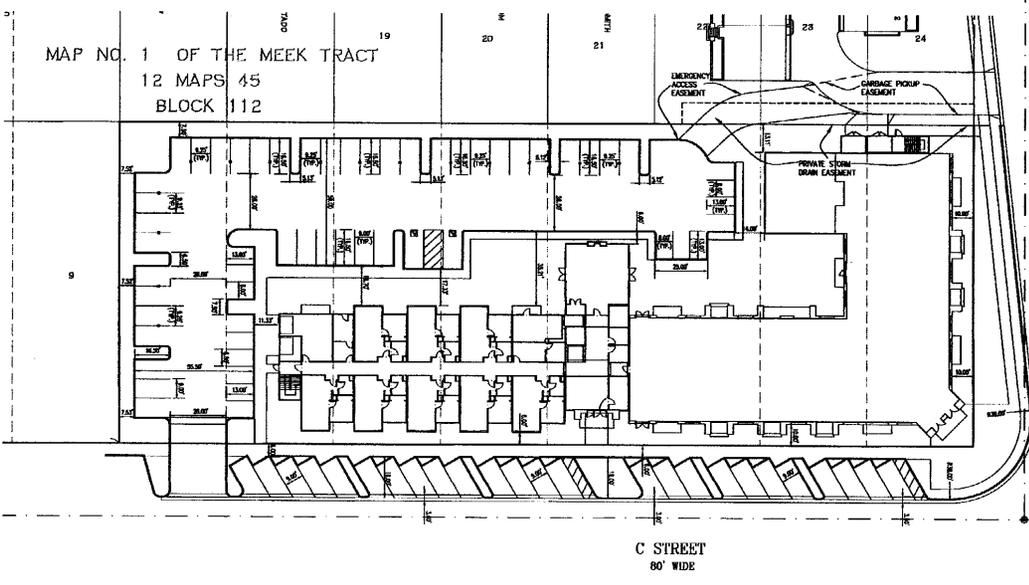
BASIS OF BEARING
FOUND TWO CITY MONUMENTS ALONG C STREET AT THE INTERSECTIONS OF ALICE AND GRANT STREET PER 3 AS BY TAKEN AS NORTH/00°E.

SHEET INDEX

SHEET NO.	DESCRIPTION
C-1	NOTES, LEGEND, EASEMENTS AND DIMENSIONAL PLAN
C-2	BOUNDARY AND TOPOGRAPHIC SURVEY
C-3	PRELIMINARY GRADING PLAN
C-4	PRELIMINARY UTILITY PLAN
C-5	CS COVER



Link and Associates
Civil Engineering
Land Planning
Land Surveying
730 Alfred Nobel Drive
Hayward, CA 94547
Phone (510) 724-3388
Fax (510) 724-3383
link.assoc@att.net



GENERAL NOTES:

1. RECORD OWNER: NISLEY SHOPS
2000 NISLEY DRIVE
SAN LEANDRO, CA 94588
2. DEVELOPER: 480 JACKSON STREET
HAYWARD, CA 94544
(510) 724-1484
3. ENGINEER/SURVEYOR: LINK & ASSOCIATES
730 ALFRED NOBEL DRIVE
HAYWARD, CA 94547
(510) 724-3388
4. ADJACENT: 500, 505 & 507 B STREET
505 & 507 C STREET
5. APTS: 42-499-000 (PARCEL 1)
42-499-000 (PARCEL 2)
42-499-000-02 (PARCEL 3)
42-499-000 (PARCEL 4)
42-499-000 (PARCEL 5)
6. TOTAL AREA: 32,499.52 SQ. FT. OR 0.74 ACRES
7. ZONING: COMMERCIAL MEDIUM DENSITY RESIDENTIAL (PARCELS 1-5)
COMMERCIAL CITY CENTER (PARCEL 6)
COMMERCIAL CITY CENTER (PARCELS 4-5)
PROPOSED: MEDIUM DENSITY RESIDENTIAL (PARCELS 1-3)
COMMERCIAL CITY CENTER (PARCELS 4-5)
8. LAND USE: EXISTING: MEDIUM DENSITY RESIDENTIAL
PROPOSED: COMMERCIAL/CORPORATE
9. LOT SIZE: MEDIUM LOT SIZE: 32,499.52 SQ. FT. OR 0.74 ACRES
MEDIUM LOT SIZE: 20,000 SQ. FT. OR 0.46 ACRES
10. VALUERS: SPECIAL CITY OF HAYWARD AND ALAMEDA COUNTY FLOOD CONTROL
SPECIAL CITY OF HAYWARD
SPECIAL CITY OF HAYWARD, UTILITY DISTRICT
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC COMPANY
TELEPHONE: PACIFIC BELL
11. COVERED AREAS: 2 FLOORS
12. BOUNDARY DETERMINED BY A SURVEY BASED UPON RECORDED INFORMATION AND FIELD MEASUREMENTS.
13. THE PROPERTY IS LOCATED IN ZONE 4, WHICH WITHIN LARSEN'S OF THE 1992 ZONING MAP AND 2004 ZONING ORDINANCE SUBJECT TO THE 2004 ZONING MAP AMENDMENTS. THE PROPERTY IS ZONED COMMERCIAL CITY CENTER. THE PROPERTY IS LOCATED WITHIN THE MEEK TRACT, 12 MAPS 45, BLOCK 112, COMMUNITY-PANEL NUMBER 10000 AND IS SITED VERTICALLY TO THE TRACT.
14. THE LOCATION OF THE OBJECTS IS BASED ON THE CITY OF HAYWARD STORM DRAINAGE MAP. THE USER SHALL BE RESPONSIBLE TO OBTAIN THE CORRECT OBJECT FROM THE RECORD.

TENTATIVE MAP TRACT 9100
COMMERCIAL AND RESIDENTIAL
CONDOMINIUM PURPOSES
FOR
EDEN HOUSING, INC.
BEING LOT NO. 1 TO 8
PORTION OF THE MEEK TRACT (12 MAPS 45)
HAYWARD, ALAMEDA COUNTY, CALIFORNIA

CONDOMINIUM MAP
GRAND AND C STREET
681, 585 AND 597 B STREET
HAYWARD, CA

REVISIONS

NO.	DATE	DESCRIPTION

Title: **TENTATIVE MAP TRACT 9100 COMMERCIAL/CONDOMINIUM/COMMERCIAL PLAN**

Date: **APRIL 2006**

Scale: **1" = 20'**

Drawn By: **D.A.D.**

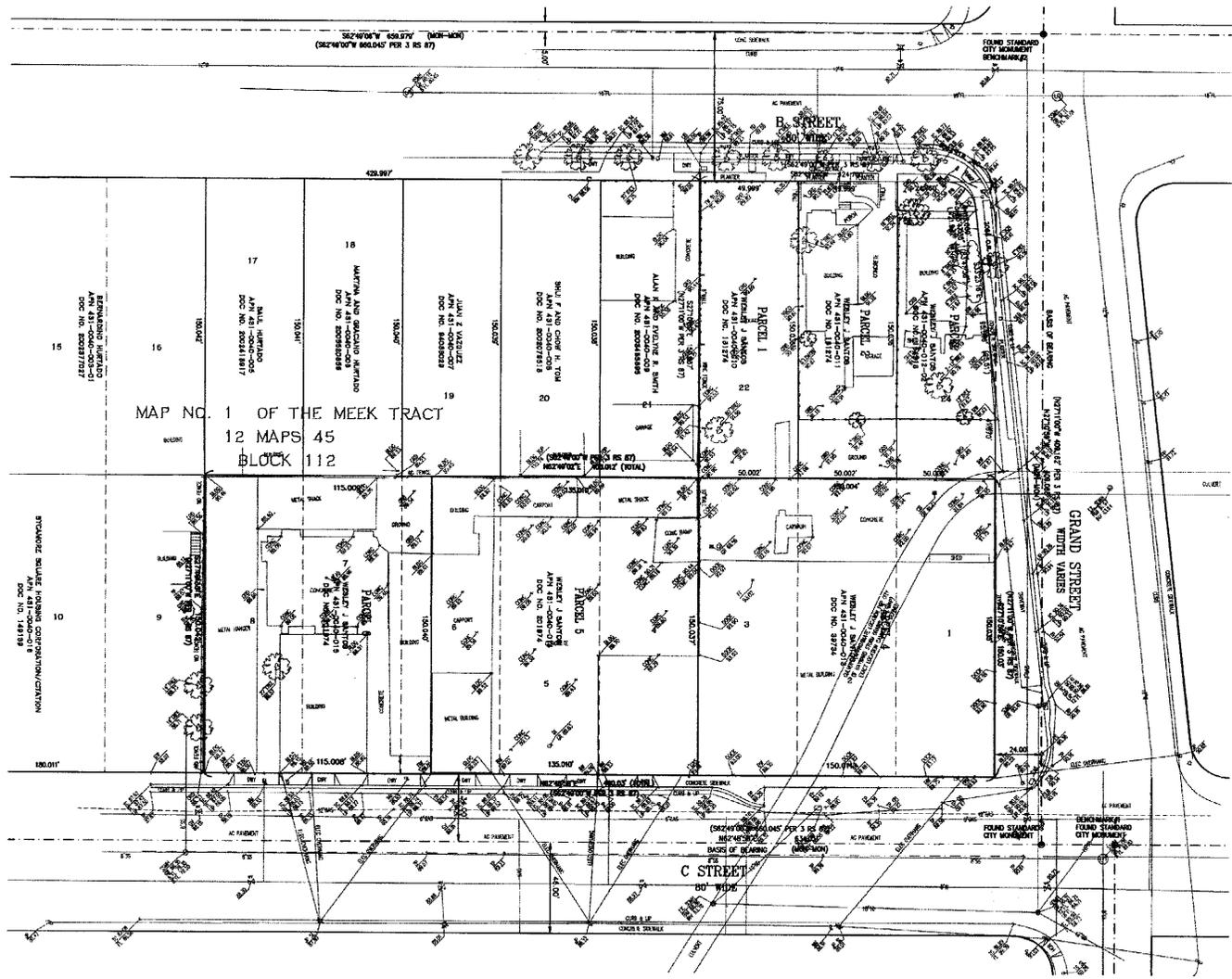
Checked By: **G.L.**

Job No.: **2006-40**

File No.: **PRELIMINARY/CONDOMINIUM**

Plot Date: **APRIL 20, 2006**

Sheet No.: **C-1**



MAP NO. 1 OF THE MEEK TRACT
12 MAPS 45
BLOCK 112

Luk and Associates
Civil Engineering
Land Planning
Land Surveying
738 Alfred Nobel Drive
Hayward, CA 94547
Phone (510) 724-3388
Fax (510) 724-3383
email: oluk@lukaassociates.com



CONDOMINIUM MAP
GRAND AND C STREET
581, 585 AND 597 B STREET
HAYWARD, CA

REVISION	DATE	BY
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

BOUNDARY AND TOPOGRAPHIC SURVEY

Date: FEBRUARY 2006
Scale: 1"=20'
Drawn By: D.A.D.
Checked By: G.L.
JOB NO.: 28945-10
File No.: VPL060401002026
Plot Date: APRIL 30, 2006
Sheet No.:

