



## CITY OF HAYWARD AGENDA REPORT

Meeting Date 06/14/07  
Agenda Item 1

**TO:** PLANNING COMMISSION

**FROM:** Arlynn J. Camire, AICP, Associate Planner

**SUBJECT:** Use Permit Application No. PL-2007-0019 – Xiao Yuan Lu (Applicant) / General Growth Properties (Owner) – Request to Operate Massage Establishment in a Retail Space in Southland Mall

The Property is Located at Southland Mall, Space LL43, near the food court, in the Central Business District (CB-B20)

### RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Find that the project is Categorical Exempt from CEQA pursuant to Section 15301, Class (b), Class 1, Existing Facilities; and
2. Approve the Use Permit application subject to the attached findings and conditions of approval.

### DISCUSSION:

Xiao Yuan Lu proposes to operate Far East Rehabilitation Center, a 685-square-foot massage establishment to be located on the lower level of Southland Mall adjacent to the Food Fair. The Zoning Ordinance requires a conditional use permit for a facility of this type regardless of size, to ensure the establishment would meet a community need and would be in harmony with adjacent uses. Adjacent uses include fast food restaurants, a common dining area, community rooms, mall management offices, the Senior Center, coin-operated amusement rides and public restrooms.

In addition, the Massage Permit Ordinance requires that the applicant apply for a Massage Establishment Permit from the Chief of Police. The applicant has complied with this requirement and has passed the background check to the satisfaction of the Police Department. All massage therapists are required by ordinance to obtain a separate Massage Therapy Technician Permit. To obtain a permit, a therapist must provide valid identification, proof of adequate training and employment with a massage establishment, and undergo a Police Department background check. As a condition of approval, the applicant and all massage therapists are required to obtain Massage Therapy Technician Permits from the Police Department. All permits are required to be renewed every two years.

The establishment would have two massage tables, a unisex handicap accessible restroom and a laundry/utility room. The waiting area and the area where massages would be administered are not separated. Chair massage, table massage and foot massage would be offered. Customers would not disrobe. The hours of operation would be 10:00 a.m. to 9:00 p.m. daily.

The applicant has discussed with staff the possibility of leasing an additional space in the concourse of Southland Mall for a massage chair. As a condition of approval, the applicant would be permitted to operate a satellite location within the Mall concourse subject to approval by the Police Department and the Planning Director, and maintenance of the Massage Establishment Permit at the lower-level retail space.

The lower level location of Far East Rehabilitation Center, adjacent to the food court, allows shoppers to take a break from the bustling activities of the general retail area. This establishment will provide a service that will enhance the spectrum of services offered at Southland Mall.

Southland Mall currently has one massage service, Quickfix, which has several massage chairs located in the concourse outside of Macys. They are currently operating without required permits and the Police Department informed the business operator that requirements of the Massage Permit Ordinance are to be met by July 21, 2007, or the business will be required to close.

#### **ENVIRONMENTAL REVIEW:**

The proposed project is categorically exempt from environmental review pursuant to Section 15301, Class 1, Existing Facilities, of the California Environmental Quality Act (CEQA) Guidelines.

#### **PUBLIC NOTICE:**

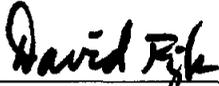
On January 18, 2007, a Referral Notice was mailed to every property owner and occupant as noted on the latest assessor's records within 300 feet of the Southland Mall property, the Longwood-Winton Grove and Southgate Task Forces, the Southgate Area Homeowners Association and the Longwood Area Neighborhood Group Improvement Association. On June 1, 2007, a notice of public hearing was mailed. No comments have been received.

Prepared by:



Arlyne J. Camire, AICP  
Associate Planner

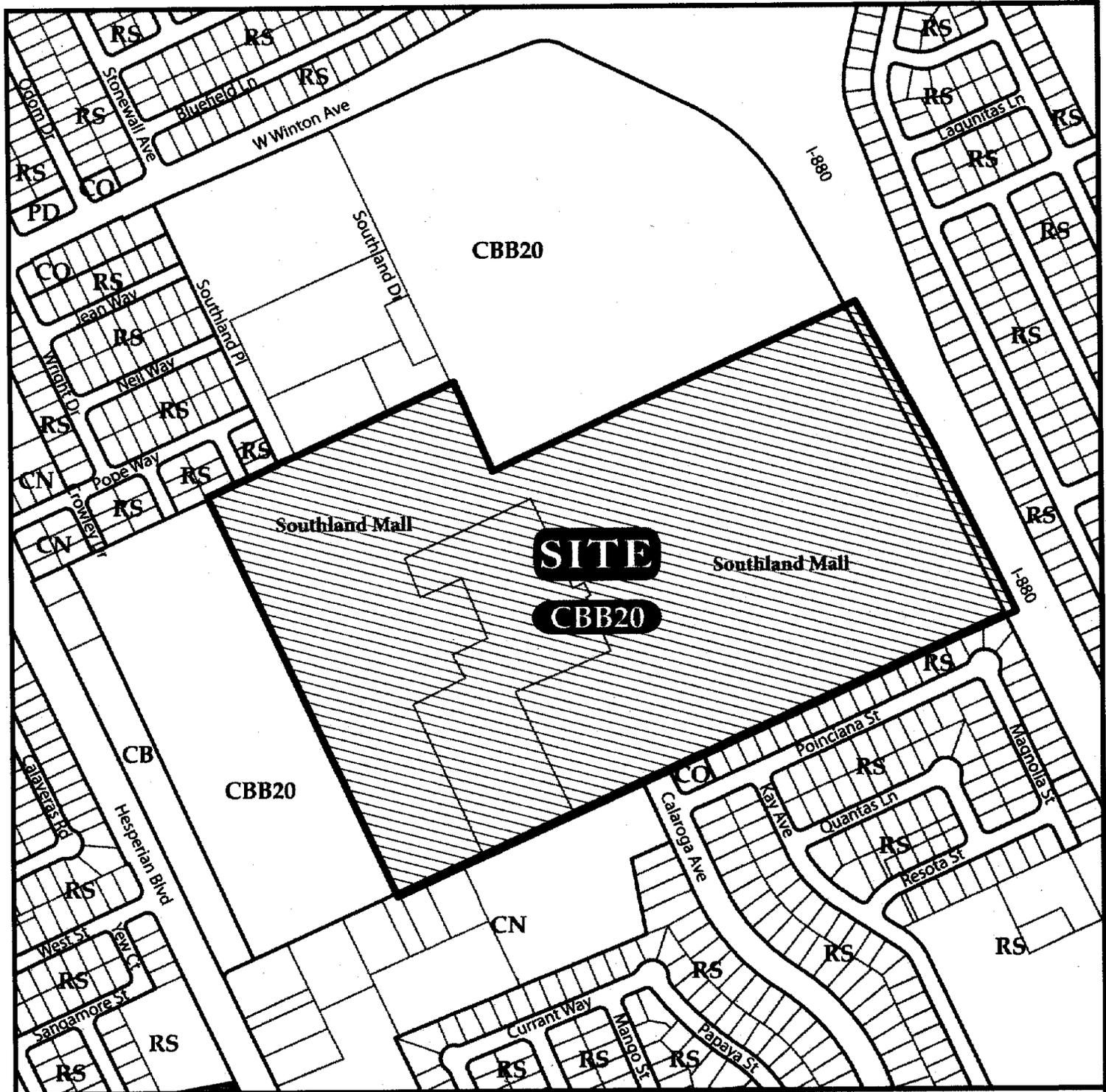
Recommended by:



David Rizk, AICP  
Planning Manager

Attachments:

- A Zoning Map
- B Mall Location Map
- C Findings for Approval
- D Conditions of Approval  
Plans



## Area & Zoning Map

PL-2007-0019 UP

Address: 1 Southland Mall Drive

Applicant: Xiao Yuan Lu

Owner: General Growth Properties, Inc.

### Zoning Classifications

#### RESIDENTIAL

RS Single Family Residential, min lot size 5000 sqft

#### COMMERCIAL

CB Central Business

CBB20 Central Business, min. lot size 20,000 sqft

CN Neighborhood Commercial

CO Commercial Office

#### OTHER

PD Planned Development



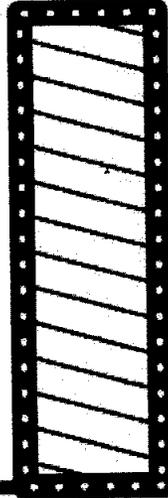
FEET 400 800

ATTACHMENT A



Southland  
Management  
Offices

Public  
Restrooms



Senior  
Center

Community  
Rooms

Coin-Operated  
Rides

**SITE**

Lower Level

Dining  
Area

Food  
Court

**USE PERMIT APPLICATION NO. PL-2007-0019**

**Xiao Yuan Lu (Applicant)**

**General Growth Properties (Owner)**

**One Southland Mall Drive, Space LL43**

Based on the staff report and the public record:

**FINDINGS FOR APPROVAL**

- A. Approval of Use Permit Application No. PL-2007-0019 to allow the operation of a massage establishment in the City Business Zoning District is exempt from the provisions of California Environmental Quality Act guidelines pursuant to Section 15301, *Existing Facilities*.
- B. The proposed massage establishment is a use that is desirable for the public convenience or welfare in that the chair, table and foot massage services offered will diversify the services offered at Southland Mall.
- C. The proposed massage establishment will not impair the character and integrity of the surrounding neighborhoods in that it will be located entirely within the lower level of the Southland Mall and conditions will be imposed to mitigate any unforeseen adverse impacts.
- D. The proposed massage establishment will not be detrimental to the public health, safety, or general welfare in that each massage therapist and the massage establish owner are required to meet all the requirements of the Municipal Code which regulate massage establishments. In addition, all massage therapists are required to obtain Massage Therapy Technician Permits issued by the Police Department, and the owner is required to obtain a Massage Establishment Permit issued by the Police Department. The business operator has passed the Police Department background check and has obtained the required Massage Establishment Permit.
- E. The proposed massage establishment is in harmony with applicable City policies as well as the intent and purpose of the Central Business District in that the use will be compatible with other commercial activity and services at Southland Mall without being detrimental to the public health, safety or general welfare of surrounding properties.

**USE PERMIT APPLICATION NO. PL-2007-0019**

**Xiao Yuan Lu (Applicant)**

**General Growth Properties (Owner)**

One Southland Mall Drive, Space LL43

Use Permit Application No. PL-2007-0019 to allow the operation of a massage establishment in the Central Business District, is approved subject to the plans labeled "Exhibit A", and the conditions listed below.

**CONDITIONS OF APPROVAL**

1. This permit becomes void one year after the effective dated of approval, unless prior to that time and a Massage Establishment Permit has been approved and operation of the establishment has commenced. A request for a one-year extension, approval of which is not guaranteed, must be submitted to the Planning Division at least 15 days prior to June 14, 2008.
2. Any modification to the approved plans or conditions shall require review and approval by the Planning Director.
3. In the event that the business owner intends to change the floor plan to provide separate massage therapy rooms, the business owner shall apply for a new conditional use permit.
4. Prior to the commencement of massage services, the following must be completed by the business owner and the applicant:
  - a. A Massage Establishment Permit shall be obtained and shall be maintained as long as massage services are offered. Operations are not permitted to begin prior to obtaining approval of a Massage Establishment Permit from the Hayward Police Department. The business owner or operator shall display the Massage Establishment Permit issued.
  - b. Obtain required building permits to install the required unisex restroom facilities and an employee wash basin. The unisex restroom and the employee wash basin shall be installed prior to commencement of operation of the business.
  - c. The Massage Establishment Permit shall be renewed with the Hayward Police Department every two years.
5. All massage technicians shall have a Massage Therapy Technician Permit. The permit shall be renewed with the Hayward Police Department every two years.
6. The massage establishment permit and a copy of the permit of each and every massage therapy technician employed in the establishment shall be displayed in an open and conspicuous place on the premises. The business owner or operator shall maintain a register of all persons employed as massage technicians and their permit numbers. Such register shall be available for inspection at all times during regular business hours.

7. The business owner/operator shall permit the City officials the right to enter the premises used by the massage technicians from time to time during regular business hours for the purpose of making reasonable inspections to enforce compliance with building, fire, electrical, plumbing, or health codes, the California Penal Code and the Hayward Municipal Code.
8. The massage establishment and every massage therapy technician shall comply with standards established by the Alameda County health services for such businesses and practitioners and the following facilities and operation requirements:
  - a. The massage establishments premises and facilities shall meet and be maintained in a condition to comply with all applicable code requirements of the city, county, and state, including, but not limited to, those related to the safety of structures, adequacy of the plumbing, lighting, heating, ventilation, waterproofing of rooms in which showers, water or steam baths are used, and the health and leanness of the facility.
  - b. The massage establishments and massage therapy technicians shall at all times have an adequate supply of clean sanitary towels, covering, and linens. Towels, non-disposable coverings, and linens shall not to be used on more than one client, unless they have first been laundered and disinfected. Disposable towels and disposable coverings shall not be used on more than one client. Soiled linens and paper towels shall be disposed in separate receptacles.
  - c. In the massage establishment the restroom and basin shall be thoroughly cleaned and disinfected as needed, and at least once a day when the premises are opened, with a disinfected. All walls, ceilings, floors, and other fiscal facilities for the establishment shall be in good repair, and maintained in a clean and sanitary condition.
  - d. All equipment used in the massage therapy operation shall be maintained in a clean and sanitary condition. Instruments utilized in performing massage therapy shall not be used on more than one client unless they have been sterilized, using standard sterilization methods.
  - e. Toilet facilities shall be provided in a convenient location within the massage establishment and shall consist of at least one unisex toilet with laboratories or wash basins provided with soap and both hot and cold running water either in the toilet room or vestibule.
  - f. A minimum of one wash basin for employees shall be provided at all times. The basin shall be located within or as close as possible to the area devoted to performing of massage therapy services. Soap and sanitary towels shall also be provided at each basin
  - g. Massage therapy shall be provided or given only between the hours of 10:00 am to 9:00 pm. The massage establishment shall not be opened and no client shall be in the establishment between 9:00 pm and 10:00 am.
  - h. No alcoholic beverages shall be sold, served, furnished, kept, consumed, or possessed on the premises.

- i. Controlled substances must not be consumed in the massage establishment and unless the person has a prescription for the substance.
  - j. Only massage services shall be provided on the premises.
  - k. No permittee or employee of the massage establishment shall place, publish or distribute or cause to be placed, published or distributed by any advertising matter that depicts any portion of the human body that would reasonably suggest to prospective customers that a service is available that is prohibited under the provisions of the Massage Ordinance, nor shall any massage establishment employ language in any advertising text or business name that would reasonably suggest to a prospective client that any service is available that is prohibited by the provisions of the Massage Ordinance.
  - l. The use or possession of adult oriented merchandise in any part of the massage establishment is prohibited.
  - m. Condoms must not be kept on the premises or used for any purpose in the massage establishment.
  - n. No electrical, mechanical or artificial device shall be used by the operator and or manager, massage therapy technician and any employee of the massage establishment for audio and/or recording for monitoring the performance of the massage therapy, or the conversation or other sounds in the massage room without the knowledge and written consent of the patron.
  - o. Surveillance cameras may not be installed on the interior of the massage establishment. Other surveillance cameras must be maintained or operated so as to provide surveillance of the exterior of the massage establishment or the surrounding area.
  - p. No massage therapy shall be conducted within any space on the premises of the massage therapy business which is fitted with a lock.
  - q. All entrance and exit doors on the premises of the massage therapy business shall remain unlocked during business hours.
  - r. All massage services shall be paid for in the reception area. The massage establishment may utilize a system where tip envelopes are provided in the in the massage area and at each massage station, to be utilized and deposited by the client in the reception area.
  - s. The massage establishment must not be used for residential or sleeping purposes.
  - t. Massage establishment personnel or any massage technician may not inquire as to whether any client is a police officer.
9. In the event that the business operator wishes to operate a massage chair in the concourse adjacent to massage establishment tenant space, approval by the Hayward Police Department is required and the Massage Establishment Permit shall be maintained. In addition, the satellite massage chair location shall be approved by the Planning Director. In the event that the Massage Establishment Permit is not renewed or revoked for the lower level retail space, the satellite massage chair operation is to cease.

10. If it comes to the attention of the Planning Director that there are problems occurring as a result of the massage services, the Director may call the use permit application up to the Planning Commission for consideration of imposing additional conditions or revocation.

**GENERAL NOTES**

**BIDDING**

1) ALL ITEMS AND INSTALLATIONS BY EQUIPMENT CONTRACTOR, DECOR CONTRACTORS AND SIGN FABRICATOR ARE UNDER A SEPARATE CONTRACT AND NOT PART OF GENERAL CONSTRUCTION BID. GENERAL CONTRACTOR AND SUBS ARE RESPONSIBLE FOR RELATED WORK AS OUTLINED IN THE DRAWINGS. GC PROVIDE POWER TO SPECIFIED LOCATION FOR SIGN, BUT SIGNAGE CONTRACTOR SHALL FABRICATE ITEM AND INSTALL.

2) EXTERIOR ILLUMINATED OR NON-ILLUMINATED SIGN, AWNING, IF APPLICABLE, ETC. SHALL BE UNDER SEPARATE CONTRACTS AND PERMITS. APPLICATION FOR PERMITS SHALL BE FILED WITH LOCAL AUTHORITY PRIOR TO FABRICATION AND INSTALLATION.

**APPROVAL OF SUBSTITUTIONS**

1) WHEN A SPECIFIC REFERENCE TO AN ARTICLE, MANUFACTURER, PROPERTY, NAME, DEVICE, PRODUCT, MATERIAL OR FIXTURE IS MADE IN GENERAL DOCUMENTS, IT IS TO ESTABLISH A STANDARD OF QUALITY AND SHALL NOT BE CONSTRUED AS LIMITING COMPETITION. IF THE CONTRACTOR, SUB-CONTRACTOR, SUPPLIER, MANUFACTURER'S REPRESENTATIVE, ETC. INVOLVED IN THE PROJECT DESIRES TO BID MATERIALS OTHER THAN THE SPECIFIED ITEMS, A REQUEST FOR APPROVAL OF LIKE ITEMS SHALL BE MADE IN WRITING TO ARCHITECT/OWNER NOT LATER THAN 5 CALENDAR DAYS PRIOR TO SPECIFIED TIME FOR GENERAL CONSTRUCTION BID OPENING. MATERIALS ACCEPTABLE FOR SUBSTITUTIONS WILL BE APPROVED BY A DULY AUTHORIZED ADDENDUM ISSUED BY ARCHITECT TO ALL CONTRACT DOCUMENT HOLDERS OF RECORD. MATERIALS NOT LISTED IN THE CONTRACT DOCUMENTS OR ADDENDUM WILL NOT BE ACCEPTABLE FOR THIS PROJECT.

2) SUBMITTAL FOR APPROVAL OF MATERIALS OR PRODUCTS SHALL CONTAIN SUFFICIENT INFORMATION, DESCRIPTION BROCHURES, DRAWINGS, SAMPLES OR OTHER DATA AS NECESSARY OR REQUIRED TO DETERMINE WHETHER THE PROPOSED SUBSTITUTION IS EQUAL TO SPECIFIED. EACH SUBMITTAL SHALL BE WELL MARKED AND IDENTIFIED AS TO TYPE AND KIND OF ITEMS BEING MADE. EACH SUBMITTAL FOR APPROVAL OF LIKE ITEMS, MATERIALS, PRODUCTS, WILL BE COMPLETE WITH SUBSTANTIATING DATA. REFERENCE TO CATALOGS THAT DESIGN CONSTRUCTION COORDINATOR MAY OR MAY NOT HAVE, WILL NOT BE ACCEPTABLE.

**CHANGE IN THE WORK**

1. THE CONTRACTOR SHALL NOT MAKE AN ADDITION, DELETION, OR REVISION TO THE CONTRACT DOCUMENTS WHICH WOULD AFFECT THE CONTRACT SUM OR CONTRACT TIME WITHOUT A WRITTEN CHANGE ORDER AUTHORIZED AND SIGNED BY BOTH THE OWNER AND ARCHITECT.

**ABBREVIATIONS**

A.D.A.	AMERICAN WITH DISABILITIES ACT	JAN.	JANITOR
A.F.F.	ABOVE FINISH FLOOR	KIT.	KITCHEN
○	AT CENTER LINE	LAM.	LAMINATE
#	POUND OR NUMBER	LAV.	LAVATORY
(E)	EXISTING	LKR.	LOCKER
(N)	NEW	LT.	LIGHT
ADJ.	ADJACENT	LTG.	LIGHTING
ADJ.	ADJUSTABLE	MTL.	METAL
CLG.	CEILING	MAX.	MAXIMUM
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
CONSTR.	CONSTRUCTION	OPG.	OPENING
CONT.	CONTINUOUS	O.C.	ON CENTER
CORR.	CORRIDOR	P.C.	PLUMBING CONTRACTOR
CNTR	COUNTER	P LAM.	PLASTIC LAMINATE
D.F.	DOUG FIR	PLYWD.	PLYWOOD
DWG.	DRAWING	P.T.	PRESSURE TREATED
ELEC.	ELECTRICAL	R	RADIUS
ELEV.	ELEVATION	REQ'D.	REQUIRED
EQ.	EQUAL	RM.	ROOM
EXT.	EXTERIOR	R.O.	ROUGH OPENING
F.D.	FLOOR DRAIN	U.O.N.	UNLESS OTHERWISE NOTED
FDN.	FOUNDATION	STN. STL.	STAINLESS STEEL
FL.	FLOOR	SHT.	SHEET
F.O.W.	FACE OF FINISH WALL	SHWR.	SHOWER
F.O.S.	FACE OF STUD	SQ.	SQUARE
FURR.	FURRING	SO.	TO BE DETERMINED
G.C.	GENERAL CONTRACTOR	T.B.D.	TYPICAL
GA.	GAUGE	TYP.	TELEPHONE
GALV.	GALVANIZED	TEL.	TELEPHONE
GYP.	GYP SUM	VCT.	VINYL COMPOSITION TILE
HR.	HOUR	VERT.	VERTICAL
HT.	HEIGHT	V.I.F.	VERIFY IN FIELD
H.W.H.	HOT WATER HEATER	W.C.	WATER CLOSET
		WT.	WEIGHT
		W.W.M.	WELDED WIRE MESH

**DEMOLITION NOTES**

1) COMPLETE ALL DEMOLITION WORK INDICATED OR NECESSARY FOR COMPLETION OF THE NEW WORK INCLUDING LABOR, SUPERVISION, TOOLS, MATERIALS, PERMITS, ETC. REQUIRED FOR REMOVAL OF FLOORS, WALLS, CEILINGS, FIXTURES DUCTWORK, STOREFRONTS, ETC.

2) ALL WORK MUST COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES, STANDARDS, ETC.

3) WORKMANSHIP SHALL BE FIRST CLASS, FINISHED, SAFE, NEAT THROUGHOUT AND PERFORMED BY COMPETENT AND EXPERIENCED WORKMEN. CONSTANT SUPERVISION OF WORK BY CONTRACTOR SHALL BE MAINTAINED.

4) UPON TERMINATION OF WORK, PROMPTLY REMOVE ALL TOOLS, SCAFFOLDS, SURPLUS MATERIALS, DEBRIS, RUBBISH AND OTHER ITEMS RESULTING FROM DEMOLITION OF WORK.

5) THE OWNER, ARCHITECT, DESIGNER ASSUME NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES, EQUIPMENT, ETC. TO BE DEMOLISHED.

6) OWNER RESERVES THE RIGHT TO REMOVE AND SALVAGE ITEMS PRIOR TO THE START OF THE WORK SUCH AS DOORS, WINDOWS, HARDWARE, LIGHT FIXTURES, PLUMBING FIXTURES, LUMBER, ETC. UNLESS OTHERWISE NOTED OR SPECIFIED.

7) REMOVE ITEMS WITH CARE AND STACK NEATLY. NO SPECIAL CLEANING AND STRIPPING OF SALVAGE ITEMS IS REQUIRED UNLESS THEY ARE TO BE REINSTALLED.

8) REMOVE ITEMS FROM PREMISES AS WORK PROGRESSES. STORAGE OR SALE OF ITEMS ON SITE IS NOT PERMITTED WITHOUT PERMISSION BY OWNER.

9) USE OF EXPLOSIVES WILL NOT BE PERMITTED.

10. CONDUCT DEMOLITION AND REMOVAL OF DEBRIS TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.

11) PROVIDE PROTECTIVE DEVICES TO INSURE THE SAFE PASSAGE OF PERSONS AROUND THE DEMOLITION AREA. CONDUCT OPERATIONS TO PREVENT DAMAGE BY FALLING DEBRIS TO ADJACENT BUILDINGS, TREES, STRUCTURES, PERSONS, ETC. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, ETC. TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND FACILITIES TO REMAIN. IF REQUIRED, ERECT A 2 X 4 FRAME WITH MINIMUM 3/8" EXT. PLYWOOD SHEATHING CONSTRUCTION BARRIER ON THE SIDEWALK AROUND PERIMETER OF BUILDING. THE BARRIER SHALL BE 8'-0" HIGH AND HAVE A LOCKED DOOR FOR ACCESS. THE TOP PLATE SHALL BE BRACED BACK TO BUILDING STRUCTURE. MINIMIZE AMOUNT OF POWER SHOOT INTO SIDEWALK (MAKE ANY REQUIRED REPAIRS TO SIDEWALK WHEN BARRIER IS REMOVED). LOCATE BARRIER NO MORE THAN 4'-0" FROM BUILDING LINE (LESS IF REQUIRED BY BUILDING DEPARTMENT).

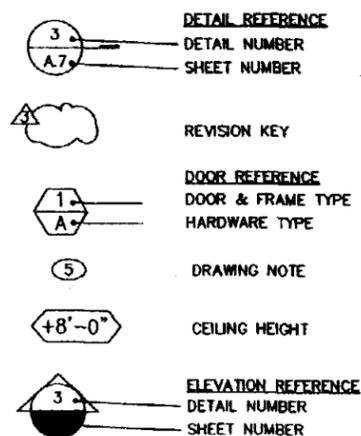
12) PROVIDE ADEQUATE FIRE PROTECTION DURING DEMOLITION WORK. PLACE FIRE EXTINGUISHERS AT JOB SITE (TYPE AND LOCATION AS DIRECTED BY FIRE INSPECTOR). ALSO, ANY EXISTING SPRINKLER SYSTEM SHALL BE RETAINED AND NOT SHUT DOWN (WHERE NECESSARY, PROVIDE TEMPORARY SUPPORT UNTIL NEW PIPING LAYOUT IS COMPLETED).

13) PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS OR AS DIRECTED AND AT NO COST TO THE OWNER.

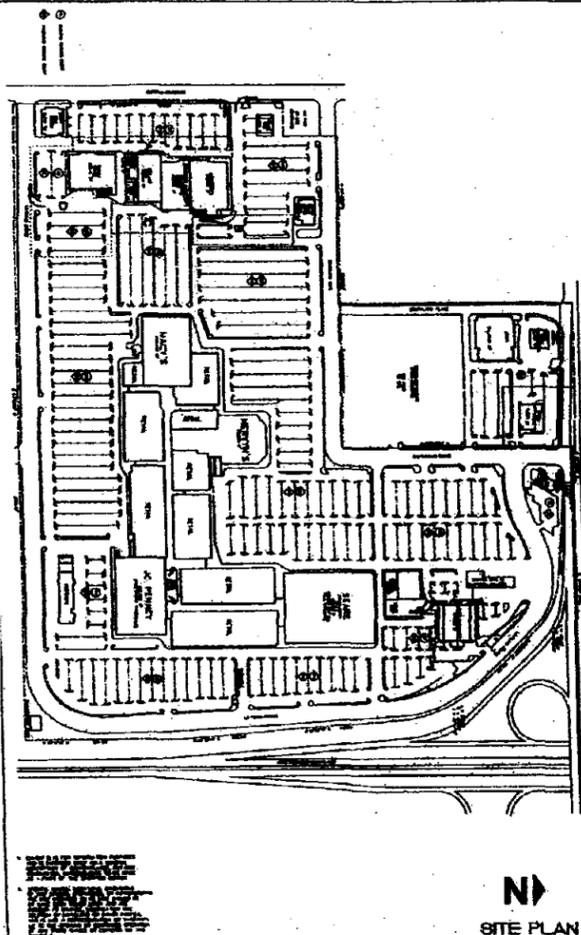
14) SHUT OFF AND/OR DISCONNECT UTILITIES SERVICING THE PROJECT AS REQUIRED BY WORK. IF POSSIBLE REMOVE UTILITY LINES BACK TO MAIN SWITCHES, SHUT-OFF VALVES OR METERS. PROVIDE TEMPORARY POWER OUTLETS, LIGHTS (AS REQUIRED), HOSE BIBB WITH WATER TO ALLOW FOR DEMOLITION WORK.

15) USE SUITABLE METHODS AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL OF AIR POLLUTION PRACTICAL FOR THE CONDITION OF WORK; COMPLY WITH GOVERNING REGULATIONS.

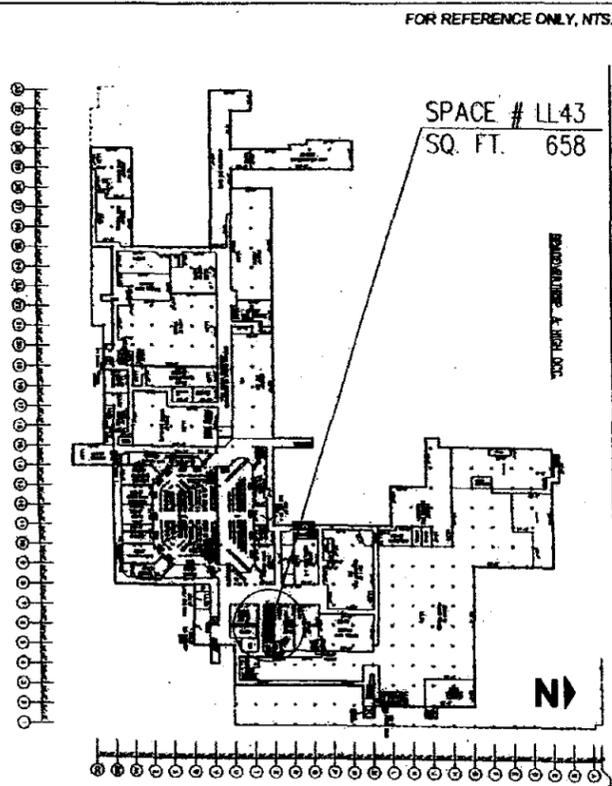
**SYMBOLS**



**SOUTHLAND MALL COMPLEX**



**SOUTHLAND MALL BASEMENT**



**SITE LOCATION**



**FAR EAST REHABILITATION CENTER**

SOUTHLAND MALL  
ONE SOUTHLAND MALL DR.  
HAYWARD, CALIFORNIA 94545  
SPACE # LL43  
T. (510) XXX-XXXX  
F. (510) XXX-XXXX

**BEN TARCHER ARCHITECT**  
4400 MARKET STREET  
OAKLAND, CA 94608



**RECEIVED**

JAN 10 2007

PLANNING DIVISION

**Project #**  
**PL-2007-0019 UP**

**PROJECT DATA**

PROJECT NAME: FAR EAST REHAB CENTER  
PROJECT ADDRESS: ONE SOUTHLAND MALL DR.  
HAYWARD, CA 94545  
SPACE #LL43

PROJECT SCOPE: TENANT IMPROVEMENT

TOTAL AREA:	658 SQ. FT.
STORIES (BUILDING):	2
STORIES (PROJECT):	1
CONSTRUCTION TYPE:	V - RATED
FIRE SPRINKLER:	YES
OCCUPANCY:	B

**CONSULTANT INFORMATION**

ARCHITECT: BENJAMIN TARCHER  
4400 MARKET STREET  
OAKLAND, CA 94608

MECHANICAL ENGINEER

CONTRACTOR: ALL APPLIED

ELECTRICAL ENGINEER

BUILDING PERMIT & LANDLORD REVIEW	12/18/06
DESIGN REVIEW	10/19/06
DESCRIPTION	ONE

**INDEX OF DRAWINGS**

SHEET#	DESCRIPTION
A0	COVER SHEET
A1	EXISTING PLAN AND DEMOLITION PLAN
A2	PARTITION PLAN, EQUIPMENT PLAN, DOOR SCHEDULE
A2.1	ADA / RESTROOM & PARTITION DETAILS
A3	ELECTRICAL PLAN, SYMBOLS AND NOTE
A4	PLUMBING PLAN, SYMBOLS AND DETAILS
A5	FINISH PLAN & SCHEDULE
A6	REFLECTED CEILING PLAN & LIGHTING SCHEDULE
A7	ELEVATIONS
A8	DETAILS

**PROJECT #**  
**PL-2007-0019 UP**

Ref. North Sheet Number

**A0**

# FAR EAST REHABILITATION CENTER

SOUTHLAND MALL  
ONE SOUTHLAND MALL DR.  
HAYWARD, CALIFORNIA 94545  
SPACE # LL43  
T. (510) XXX-XXXX  
F. (510) XXX-XXXX

**BEN TARCHER ARCHITECT**  
4400 MARKET STREET  
OAKLAND, CA 94608



DESCRIPTION	DATE
BUILDING PERMIT & LANDLORD REVIEW	12/18/06
DESIGN REVIEW	10/19/06

ALL DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBODIED WITHIN THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORKS OF ARCHITECT BEN TARCHER. NO PART OF THESE MATERIALS MAY BE REPRODUCED, COPIED, REPRODUCED, DISCLOSED OR REPRODUCED IN ANY AND ALL MANNER OR BY ANY AND ALL MEANS, FOR DESIGN, CONSTRUCTION OR RELATED PURPOSES, OR ANY OTHER PURPOSES, WITHOUT PRIOR WRITTEN CONSENT OF ARCHITECT.

Date: 12/18/06  
Proj. FAR EAST REHAB CENTER  
Proj. No. 061001  
Scale: AS NOTED  
Sheet Title:

## PARTITION PLAN EQUIPMENT PLAN DOOR SCHEDULE

Ref. North Sheet Number

↑ N  
**A2**

DOOR	QTY.	DOOR SCHEDULE
(A)	1 EA	36"W X 84"H BLACK ANODIZED ALUM. TEMPERED GLASS DOOR W/ 10" BOTTOM RAIL. G.C. TO PROVIDE SIGNAGE. SEE NOTE #4. TO MATCH BUILDING STANDARD
(B)	2 EA	36"W X 80"H X 1-1/2" THK. SOLID WOOD CORE DOOR. BLDG. STANDARD. PAINT PER FINISH SCHEDULE.
(C)		NOT USED

**NOTES**

- GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL DOOR HARDWARE TO MEET SECTION 11338.2.5.1. G.C. TO PROVIDE DOOR CLOSER FORCE 8.5 LBS FOR EXTERIOR DOOR, 5 LBS FOR INTERIOR DOORS, AND 15 LBS FOR FIRE DOORS.
- GENERAL CONTRACTOR TO PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ALL ENTRANCES.
- THE CONSTRUCTION SHALL COMPLY WITH THE 2004 UNIFORM BUILDING CODE, UNIFORM MECHANICAL CODE, AND THE 2005 NATIONAL ELECTRICAL CODE.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL HANDICAPPED SYMBOL ON ADJACENT WALL TO MAIN ENTRANCE DOOR AT THE REQUIRED HEIGHT AND POST SIGN TO READ: "THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS."
- ALL EXISTING TEMPERED SAFETY GLASS STORE FRONT AND DOORS TO REMAIN, UNLESS OTHERWISE NOTED. ALL NEW DOORS SUPPLIED AND INSTALLED BY G.C.
- ALL DIMENSIONS ARE TO FACE OF STUD U.O.N.

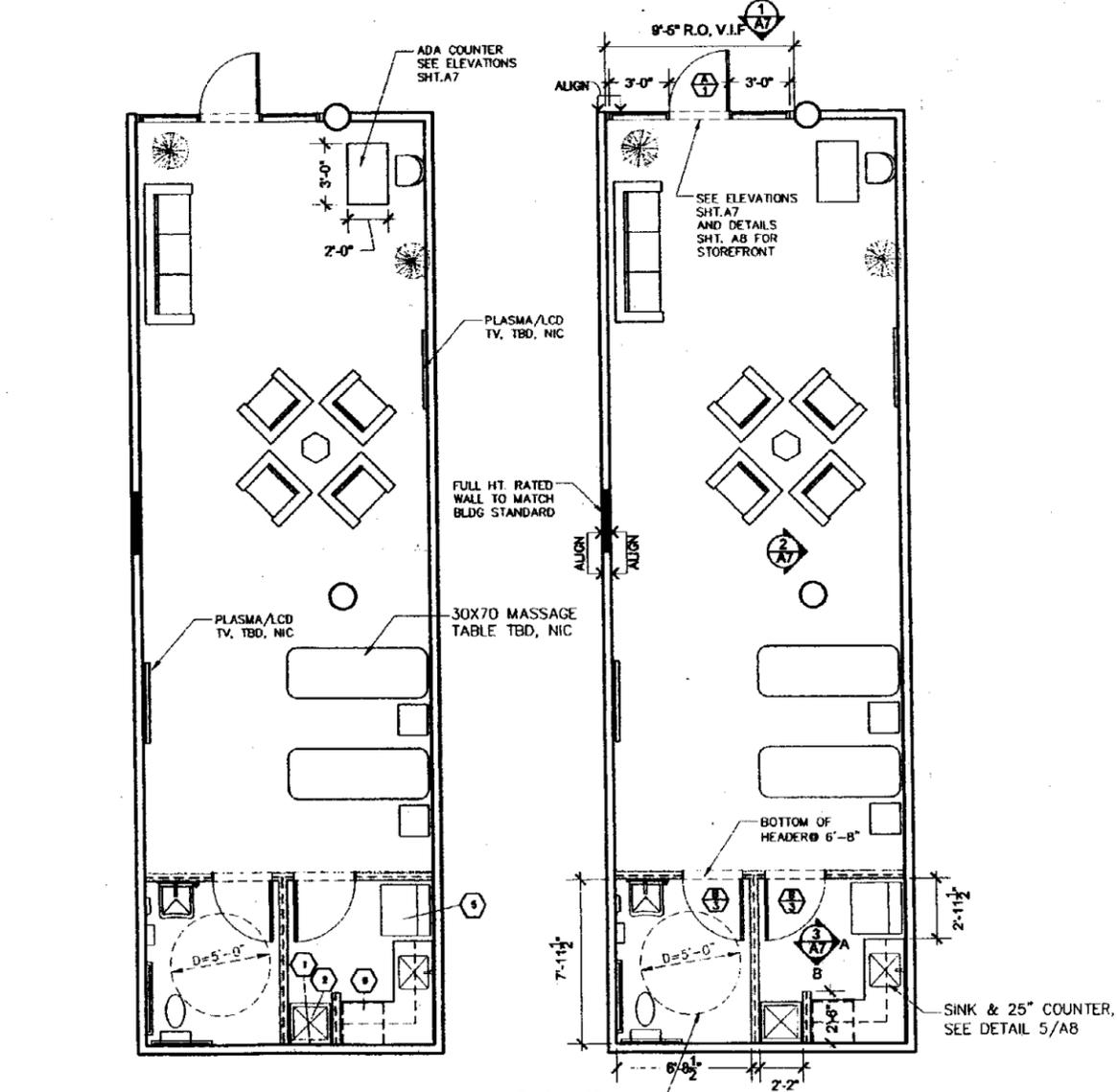
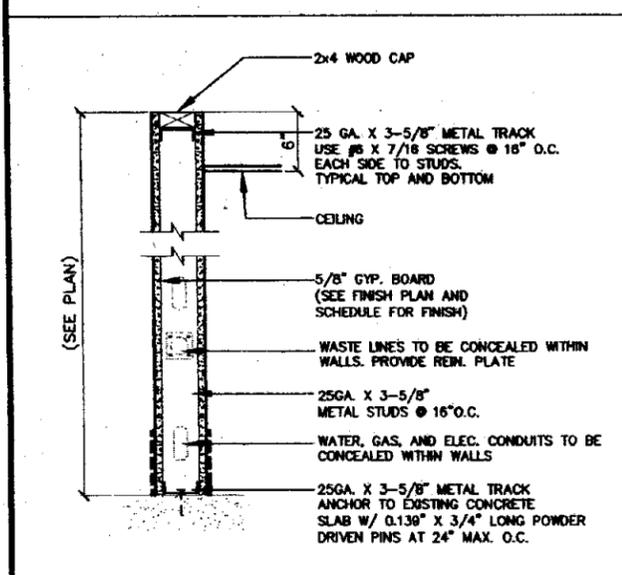
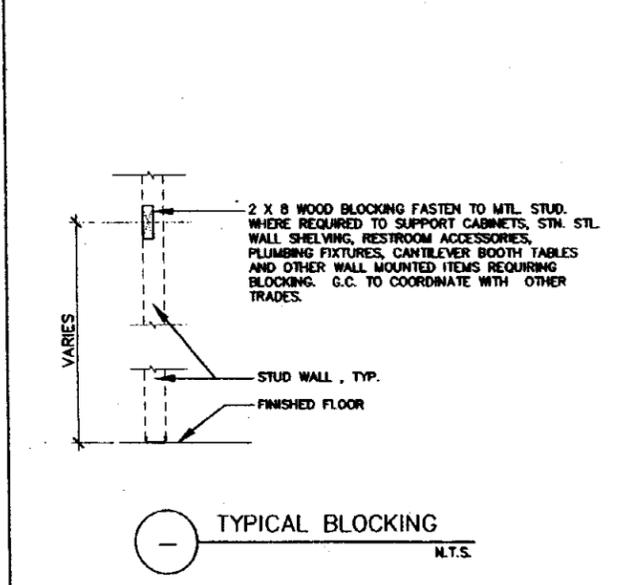
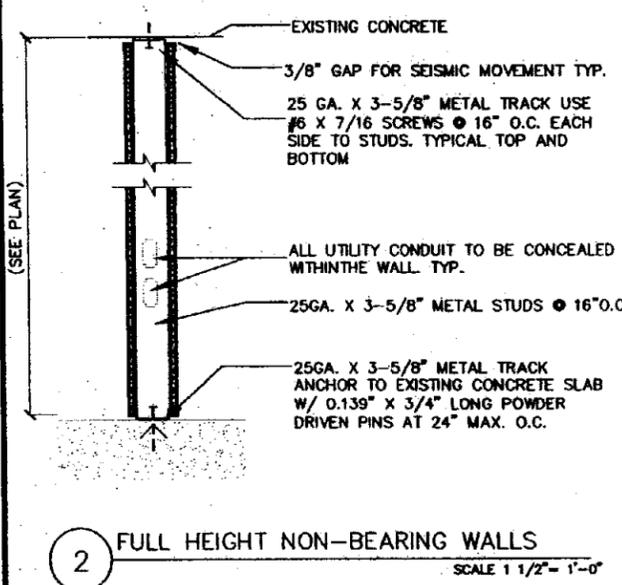
**PARTITION LEGEND**

- EXISTING WALL TO REMAIN
- NEW FULL HEIGHT PARTITION, DETAIL 2
- NEW LOW WALL, SEE DETAIL 1
- EXISTING CONCRETE WALL
- EXISTING MASONRY WALL

DOOR	HARDWARE SCHEDULE
(1)	PANIC HARDWARE, HANDICAP LEVER HARDWARE OUTSIDE WITH SELF CLOSER, KEY ENTRY
(2)	NOT USED
(3)	HANDICAP LEVER HARDWARE, 10" KICK PLATE, SELF CLOSER, KEY ENTRY

**EQUIPMENT PLAN**

ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL
(1)	1 EA.	MOP SINK FAUCET WITH VACUUM BREAKER.		
(2)	1 EA.	MOP SINK, FLOOR UNIT.		
(3)		NOT USED		
(4)		NOT USED		
(5)	1 EA.	STACKED WASHER / DRYER	OWNER PROVIDE	
(6)	1 EA.	UNDER COUNTER REFRIGERATOR	OWNER PROVIDE	



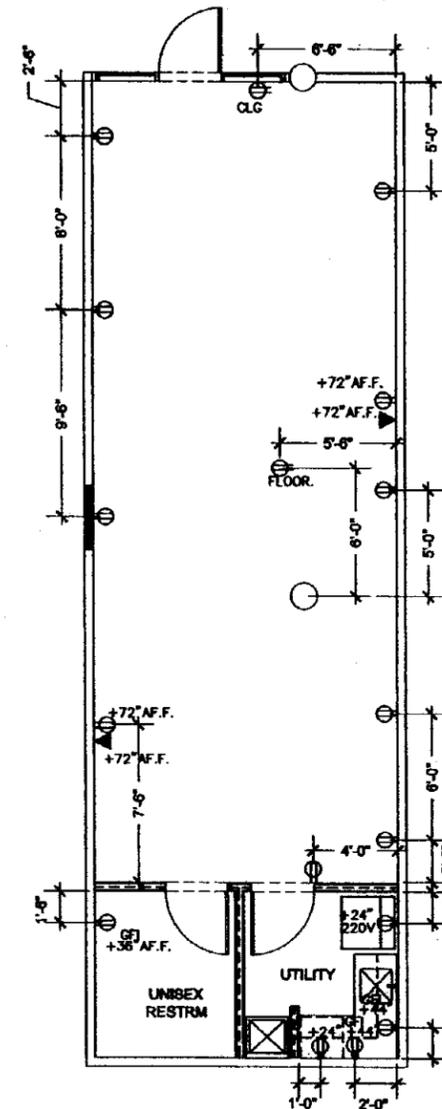
**1 NEW MTL STUD LOW WALL**  
SCALE 1 1/2" = 1'-0"

**FURNITURE PLAN**  
ALL FURNITURES ARE N.I.C. SCALE: 1/4" = 1'-0"

**PARTITION PLAN**  
SCALE: 1/4" = 1'-0"

## ELECTRICAL NOTES

- 1) FURNISH AND INSTALL, INCLUDING LABOR, SUPERVISION, MATERIALS, TOOLS, SERVICES, TRANSPORTATION, OVERHEAD COSTS, FEES, PLAN CHECK FEES, INSPECTION CHARGES, ROYALTIES, ETC. A COMPLETE ELECTRICAL INSTALLATION AS SPECIFIED HEREIN AND INDICATED ON ALL ELECTRICAL AND OTHER DRAWINGS, E.G. CONTROL WIRING FOR MECHANICAL SYSTEMS, IN AN APPROVED, NEAT, FIRST CLASS, FINISHED, SAFE, WORKMANSHIP LIKE MANNER THAT COMPLIES WITH ALL APPLICABLE LOCAL, STATE, FEDERAL AND SERVING ELECTRICAL AND TELEPHONE UTILITIES, ETC. CODES, ORDINANCES, RULES, REGULATIONS, STANDARDS, ETC. INCLUDING CURRENT ADDENDA AND ERRATA. THE ENTIRE ELECTRICAL INSTALLATION SHALL COMPLY OR SURPASS THE MOST RECENT EDITION OF THE NATIONAL ELECTRICAL CODE PER OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- 2) REFER TO ALL SHEETS AND SPECIFICATIONS PRIOR TO ANY BIDDING. ANY DISCREPANCIES IN DRAWINGS OR JOB SITE CONDITIONS SHALL BE NOTED AND INDICATED ON THE BID SUBMITTAL.
- 3) ALTHOUGH THE DRAWINGS HAVE ENDEAVORED TO SHOW ALL UTILITIES AT THE PROJECT SITE, ALL UTILITY LOCATIONS ARE NOT NECESSARILY KNOWN OR SHOWN. ELECTRICIAN SHALL DETERMINE ELECTRICAL SERVICE TO EXISTING RETAIL SPACE. ALSO, WITHOUT LIMITATION, THE ELECTRICIAN SHALL BE RESPONSIBLE AT HIS OWN COST FOR ALL WORK EXPENSES OR PRECAUTIONS CAUSED BY THE EXISTENCE OR PROXIMITY OF UTILITIES ENCOUNTERED AT THE SITE (MAY INCLUDE COMMUNICATIONS CABLES OR HIGH VOLTAGE CABLES). WHEN CORE DRILLING, CUTTING, ETC. IN THE VICINITY OF THE CABLES, SPECIAL PRECAUTIONS SHALL BE OBSERVED BY THE ELECTRICIAN TO GUARD AGAINST ANY DAMAGE OR INJURY.
- 4) ELECTRICIAN SHALL MAINTAIN ELECTRICAL SERVICE (EVEN TEMPORARY WIRING AND POWER) TO BUILDING SPACE. IF NECESSARY TO CUT OFF POWER, PROPER AND TIMELY NOTICE SHALL BE GIVEN TO OWNER AND SUB-CONTRACTORS. DURATION OF POWER CUT OFF SHALL BE KEPT TO A MINIMUM.
- 5) ELECTRICIAN SHALL COMPLETE ANY DEMOLITION WORK AS REQUIRED FOR NEW WORK, SUCH AS REMOVING EXISTING DRYWALL, PLASTER, STUDS AND RELOCATING EXISTING UTILITIES AS REQUIRED.
- 6) ELECTRICIAN SHALL DETERMINE THE NEW ELECTRICAL SERVICE LOAD REQUIRED FOR EQUIPMENT, LIGHTING, ETC. IF NECESSARY, INCREASE SIZE OF SERVICE AS REQUIRED. REVIEW POWER SUPPLY WITH LOCAL ELECTRICAL POWER AGENT AS SOON AS POSSIBLE IN ORDER TO MEET HIS WORK SCHEDULE. ELECTRICIAN TO SIZE AND INSTALL POWER PANELS AND MAIN SWITCHBOARDS/GEAR. IF POSSIBLE, ELECTRICIAN SHALL MODIFY EXISTING POWER PANELS AND INSTALL CIRCUIT BREAKERS AS REQUIRED. ELECTRICIAN TO SIZE AND PROVIDE ELECTRICAL STEP DOWN TRANSFORMER IF VOLTAGE OTHER THAN 115/208 VOLT IS AVAILABLE (VERIFY WITH LANDLORD).
- 7) ELECTRICIAN TO LABEL ALL PANELS AND CIRCUIT BREAKERS IN PANELS FOR EASE OF IDENTIFICATION.
- 8) ALL WIRING MUST BE IN RIGID CONDUIT OR EMT (ELECTRICMETALLIC CONDUIT) OR FLEX METAL CONDUIT (PICTAILS TO UNITS ON DIRECT CONNECTIONS), OR SEAL-TIGHT FLEX CONDUIT. ALL CONDUITS SHALL BE INSTALLED INSIDE WALLS OR CABINETS AND CONCEALED WHEREVER POSSIBLE.
- 9) ELECTRICIAN TO CONNECT AND PROVIDE POWER TO ALL FIXTURES SUPPLIED BY ELECTRICIAN, EQUIPMENT CONTRACTOR, DECOR CONTRACTOR, OR OWNER. IF NOT POSSIBLE OVERHEAD OR IN WALL, ELECTRICIAN SHALL DRILL THROUGH FLOOR AND RUN UNDERGROUND FOR FEEDS TO ITEMS OR GENERAL AREA FEEDS.
- 10) ELECTRICIAN TO SIZE ALL ELECTRICAL CIRCUIT BREAKERS, WIRE DIAMETERS, CONDUITS, J-BOXES, ETC. FOR LOAD REQUIREMENTS. ELECTRICIAN TO PROVIDE ALL JUNCTION BOXES AND OUTLETS IN WALLS; INSTALL FLUSH WITH FINISHED WALL OR SPLASH UNLESS OTHERWISE NOTED. EXTERNAL WIRING FOR FIXTURES TO BE CONNECTED BY ELECTRICIAN. NO EXPOSED LINES. WHERE NECESSARY, INSTALL EXTENSION RINGS ON OUTLETS THROUGH CABINET OR EQUIPMENT BACK SPLASHES.
- 11) ELECTRICIAN SHALL BE RESPONSIBLE FOR VERIFYING THE ELECTRICAL CHARACTERISTICS AND ADDITIONAL REQUIREMENTS OF ALL THE ELECTRICAL FOOD SERVICE EQUIPMENT, INCLUDING OUTLETS, PLUGS AND ANY EXTERNAL OR INTERNAL WIRING (FLEX CONDUIT DIRECT CONNECTIONS FROM J-BOX TO UNIT). EQUIPMENT CUT SHEETS SHALL BE PROVIDED. VERIFY AND COORDINATE WITH EQUIPMENT SUPPLIER AND COMPLY AS REQUIRED.
- 12) ELECTRICIAN SHALL VERIFY AND COORDINATE WITH MECHANICAL CONTRACTOR ON THE LOCATION OF MECHANICAL EQUIPMENT SUCH AS EXHAUST FANS (E.G. VOLTAGE, PHASE, HP, AMPERAGE, CONTROL WIRING, NUMBER OF CONNECTIONS, ETC. AND COMPLY AS REQUIRED).
- 13) ALL HORIZONTAL DIMENSIONS ARE TAKEN FROM FACE OF STUD (FOS) OR FACE OF WALL (FOW) TO CENTERLINE OF OUTLET, UNLESS OTHERWISE NOTED.
- 14) ALL OUTLETS TO BE 15" MIN. CENTER OF PLATE IN WALL EXCEPT WERE NOTED (HEIGHT IS MEASURED FROM FINISHED FLOOR NOT FROM CONCRETE SLAB, WOOD SUB-FLOOR OR TOP OF EQUIPMENT BASE) TO CENTERLINE OF OUTLET.
- 15) INSTALL OUTLETS WHERE DIMENSIONED. IF NECESSARY, INSTALL BLOCKING OR FRAMING BRACKETS BETWEEN STUDS.
- 16) NOT USED
- 17) ELECTRICIAN TO CONNECT ALL COMPRESSORS AND FAN MOTORS WITH DISCONNECT, MAGNETIC STARTER OR CONTROL SWITCHES. PROVIDE OVER-CURRENT PROTECTION FOR MOTORS NOT FURNISHED WITH INTEGRAL ITEM.
- 18) LIGHTING, POWER, TELEPHONE AND COMMUNICATION OUTLETS SHALL NOT BE PLACED BACK TO BACK IN COMMON WALLS.
- 19) NO MORE THAN (3) UTILITY OUTLETS SHALL BE ON ONE CIRCUIT.
- 20) PROVIDE PLUGS AND CORDS FOR MOVABLE EQUIPMENT WHERE THEY ARE NOT STANDARD WITH MANUFACTURER. SHORTEN CORDS IF REQUESTED BY EQUIPMENT SUPPLIER OR OWNER.
- 21) ELECTRICIAN TO INSTALL 1 INCH METAL CHASE CONDUIT FOR CASH REGISTER COMPUTER CABLE BETWEEN EACH UNIT. PROVIDE PULL CORD FOR FUTURE CASH REGISTER CABLE (SHIELDED, 4 WIRE, TWISTED PAIRS WITH SEPARATE GROUND WIRE) OR INSTALL CABLE IF PROVIDED BY OWNER OR CASH REGISTER SUPPLIER.
- 22) AT ISOLATED CLEAN CIRCUITS, USE RED COLOR OUTLETS AS INDICATION OF SPECIAL USE (SPECIAL OUTLETS FOR CASH REGISTER, COMPUTER, PRINTERS, OR OTHER USE).
- 23) ELECTRICIAN AND GENERAL CONTRACTOR TO COORDINATE FLOOR, WALL AND CEILING PENETRATIONS WITH OTHER TRADES AND WORK TO AVOID CONFLICTING ROUGH-IN INSTALLATIONS. REVIEW WITH PROJECT COORDINATOR.
- 24) ELECTRICIAN TO PROVIDE AND RUN CONDUIT CHASE FOR TELEPHONE AS INDICATED. INSTALL J-BOXES WITH COVER PLATES AND PULL CORD FOR TELEPHONE INSTALLER. RUN BACK TO BUILDING.
- 25) ALL CONDUIT PENETRATIONS THROUGH FIRE RATED FLOORS, WALLS OR CEILINGS SHALL BE SEALED TO MAINTAIN THE FIRE SEPARATION AS REQUIRED. ELECTRICIAN SHALL VERIFY AND RECEIVE APPROVAL FROM LANDLORD AND/OR BUILDING ARCHITECT/ENGINEER PRIOR TO ANY SLAB CORE DRILLING ON PENETRATING STRUCTURAL MEMBERS (E.G. POST TENSION SLAB WITH CABLES). IF NECESSARY, ELECTRICIAN SHALL BE RESPONSIBLE FOR X-RAYING SLAB TO DETERMINE CONCEALED MEMBERS.
- 26) INSTALL A POLYETHYLENE PULL ROPE IN ALL EMPTY CONDUITS.
- 27) IN ALL KITCHEN FOOD PREPARATION, DISHWASHING AND SERVING AREAS, PROVIDE STAINLESS STEEL OUTLET COVER PLATES. IN OTHER AREAS, PROVIDE STANDARD WHITE, IVORY OR BROWN COVER PLATES AS DIRECTED, OR MATCH ADJACENT FINISH COLOR.
- 28) ALL LIGHTING CIRCUITS TO BE THE RESPONSIBILITY OF THE ELECTRICIAN. IF ANY DISCREPANCIES WITH THE SWITCHING LAYOUT, VERIFY WITH ARCHITECT. SWITCHING SHALL MEET TITLE 24 REQUIREMENTS.
- 29) ALL LIGHT FIXTURES SHALL CONTAIN NEW LAMPS OF POWER, TYPE AND SIZE SHALL BE FURNISHED BY ELECTRICIAN UNLESS OTHERWISE NOTED.
- 30) FURNISH TWO SPARE LAMPS FOR EACH TYPE OF LIGHT FIXTURE USED.
- 31) ELECTRICIAN SHALL VERIFY ALL FIXTURE LOCATIONS PRIOR TO INSTALLING OR CUTTING HOLES IN CEILING.
- 32) ALL LIGHT SWITCHES AT +48" TO MEET HANDICAPPED REQUIREMENTS.
- 33) IF ANY EXPOSED INCANDESCENT LAMPS AND/OR FLUORESCENT TUBES ARE INSTALLED, THEY SHALL BE PROVIDED WITH SAFETY "TUBE-GARD" UNBREAKABLE PLASTIC SLEEVES OR PLASTIC LENS WHEN REQUIRED BY CODE.
- 34) FLUORESCENT FIXTURES SHALL BE PROVIDED WITH ENERGY SAVER BALLASTS AND LAMPS. THIS WILL PROVIDE 76 WATTS FOR 2-LAMP FIXTURES AND 152 WATTS FOR 4-LAMP FIXTURES.
- 35) ELECTRICIAN SHALL PROVIDE EMERGENCY POWER SYSTEM, LIGHTS AND EXIT SIGNS AS REQUIRED BY BUILDING DEPARTMENT CODES ON LIGHTING (1-1/2 HR. ENDURANCE BATTERIES WITH UNIT ON SEPARATE CIRCUIT OR WIRED AHEAD OF MAIN DISCONNECT).
- 36) IF REQUIRED BY BUILDING DEPARTMENT, THE ELECTRICIAN, UNDER HIS PERMIT APPLICATION, SHALL PROVIDE DRAWINGS OR DIAGRAMS OF WIRE, BREAKER ARRANGEMENT, ETC.
- 37) ELECTRICIAN SHALL REVIEW OPERATION OF EQUIPMENT CIRCUIT BREAKERS, ETC. WITH OWNER AND/ OR HIS REPRESENTATIVE AT COMPLETION OF THE PROJECT.
- 38) ALL OUTLETS WITHIN 6'-0" OF WATER SOURCE SHALL BE "GFI" (GROUND FAUCET INTERRUPTER) TYPE FOR ELECTRIC SHOCK PROTECTION.



## ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

### SYMBOLS

- DUPLEX CONVENIENCE OUTLET 115V 1-PHASE UNLESS OTHERWISE NOTED
- 4 PLEX CONVENIENCE OUTLET 115V 1-PHASE UNLESS OTHERWISE NOTED
- GFI GROUND FAUCET INTERRUPT DUPLEX CONVENIENCE OUTLET 115V 1-PHASE UNLESS OTHERWISE NOTED
- JUNCTION BOX
- POWER PANEL
- METER

### NOTES

- 1) TELEPHONE, INTERCOMS, P.O.S. SYSTEM, MUSIC SOUND SYSTEM, SECURITY SYSTEMS, COMPUTER WIRING SYSTEM AND CABLE T.V. CONNECTION AND WIRING BY OTHERS. IN ALL ROOMS, WHERE POSSIBLE, ALL EXISTING CONVENIENCE OUTLETS TO REMAIN.
- 2) E.E./G.C. TO CALCULATE ALL LOADS TO EXISTING PANELS. E.E. TO COORDINATE WITH E.C. ALL REQUIRED MODIFICATION TO ELEC. PANEL AND METER. G.C. TO COORDINATE WITH PG&E ANY SPECIAL CONDITIONS TO BE MET PRIOR TO POWER CONNECTION.
- 3) E.E./G.C. TO PROVIDE ALL T-24 CALCULATIONS THAT WILL BE REQUIRED BY LOCAL BUILDING DEPARTMENT AND STATE COMPLIANCE AUTHORITIES.
- 4) SWITCH AND DIMMER LOCATIONS: E.E./G.C. TO COORDINATE ALL FINAL LIGHT SWITCH AND DIMMER SWITCH LOCATIONS WITH OWNER.
- 5) G.C./E.C. FINAL BID TO BE BASED ON FINAL APPROVED SET OF CONSTRUCTION DOCUMENTS ONLY.
- 6) \*\* NOT FOR CONSTRUCTION UNLESS APPROVED AND PERMITTED. FINAL BID TO BE BASED ON APPROVED PERMIT SET.

## FAR EAST REHABILITATION CENTER

SOUTHLAND MALL  
ONE SOUTHLAND MALL DR.  
HAYWARD, CALIFORNIA 94545  
SPACE # LL43  
T. (510) XXX-XXXX  
F. (510) XXX-XXXX

**BEN TARCHER ARCHITECT**  
4400 MARKET STREET  
OAKLAND, CA 94608



DESCRIPTION	DATE
BUILDING PERMIT & LANDLORD REVIEW	12/18/06
DESIGN REVIEW	10/19/06

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 Proj. FAR EAST REHAB CENTER  
 Proj. No. 061001  
 Scale: AS NOTED  
 Sheet Title:

## ELECTRICAL PLAN SYMBOLS, NOTES

Ref. North Sheet Number

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**A3**

# FAR EAST REHABILITATION CENTER

SOUTHLAND MALL  
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SPACE # LL43  
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4400 MARKET STREET  
OAKLAND, CA 94608



BUILDING PERMIT & LANDLORD REVIEW	12/18/06
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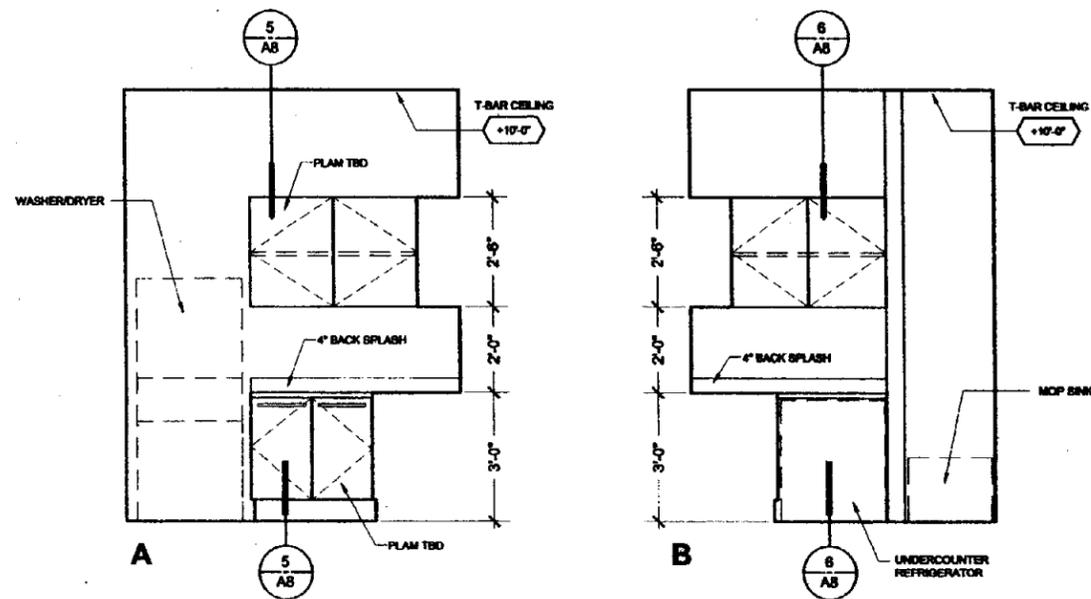
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Sheet Title:	

## ELEVATIONS

Ref. North      Sheet Number

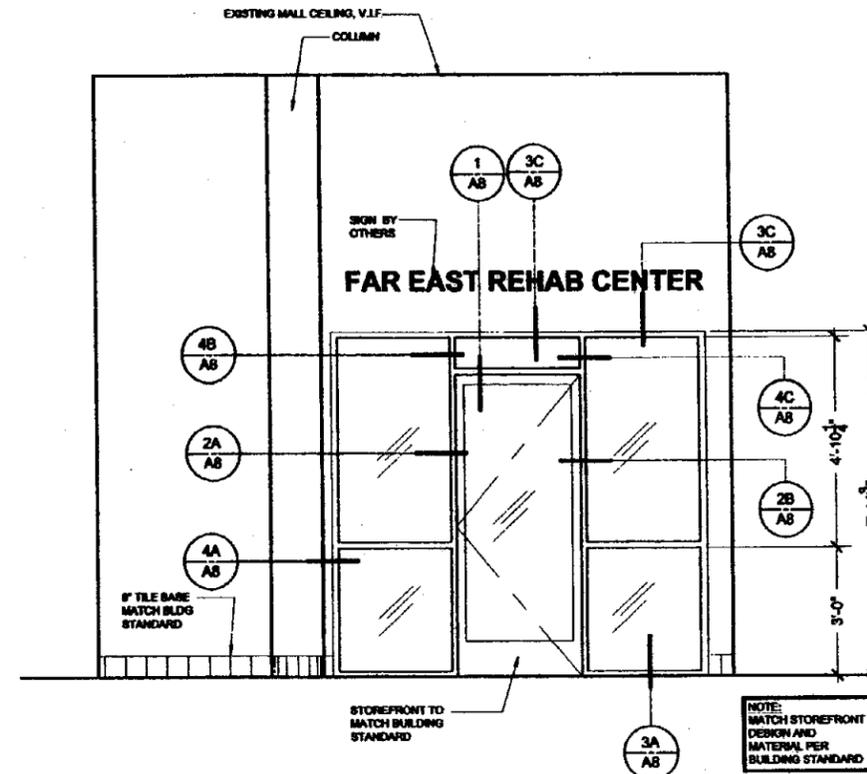


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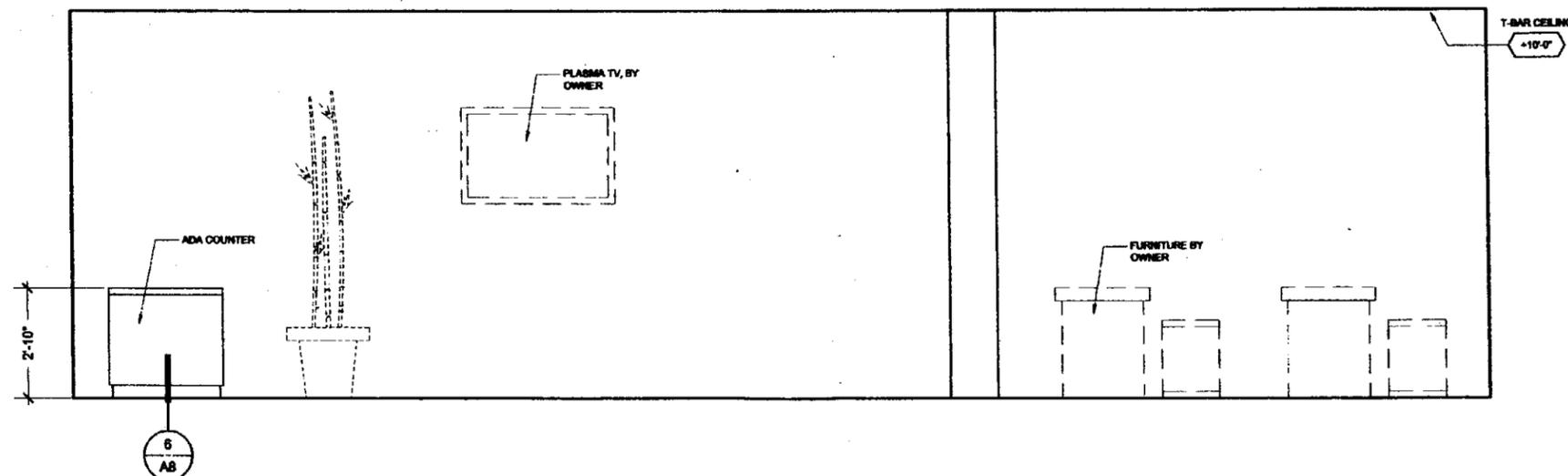
**2 UTILITY ROOM ELEVATIONS**

SCALE: 1/2" = 1'-0"



**1 STOREFRONT ELEVATIONS**

SCALE: 1/2" = 1'-0"



**3 MAIN ELEVATIONS**

SCALE: 1/2" = 1'-0"