



CITY OF  
**HAYWARD**  
HEART OF THE BAY

1

**DATE:** March 13, 2008  
**TO:** Planning Commission  
**FROM:** Carl T. Emura, Associate Planner  
**SUBJECT:** **Tentative Tract Map No. 7699/PL-2007-0566** – Ali Adib (Applicant/Owner) – Request for a One-Year Extension of Tentative Tract Map 7699 (PL-2005-0527)

The property is located at 420 Smalley Avenue, between Flagg and Princeton Streets, in a Medium Density Residential (RM) Zoning District

**RECOMMENDATION:**

It is recommended that the Planning Commission rely on the previously approved categorical exemption under the California Environmental Quality Act (CEQA) and approve a one-year extension for Tentative Tract Map 7699.

**DISCUSSION:**

On December 15, 2005, the Planning Commission approved (6:0:1) Site Plan Review (PL-2005-0525) and Tentative Tract Map 7699 (PL-2005-0527). The proposed subdivision would create five townhouses with one common lot for the driveway and open space. The Site Plan Review and Tentative Tract Map were valid for two years. Prior to the expiration of the approvals, the applicant applied for extensions in November 2007 in accordance with the provisions of the City's Zoning and Subdivision Ordinances. The Site Plan Review was administratively approved for a one-year extension; however, the Tentative Tract Map extension must be approved by the Planning Commission. Therefore, it is being brought back to the Planning Commission for consideration of extension.

The applicant requests the extension because he acquired the project one year ago and was not able to complete the construction plans before the expiration date. The applicant assumed he could make revisions to eliminate the breaks in the roof and provide one continuous roof line. Staff informed him the roof design as approved had to be maintained (see Attachment A and Plan, Sheets A1.2 and A2). In addition, he had to incorporate storage areas in the garages as a condition of approval. The applicant required additional time to revise his plans to work out the structural components of the approved roof design and incorporate storage areas in the garages.

Staff is supportive of the extension with a modification to the Tentative Tract Map's condition number fourteen. The modification would bring the project in compliance with the Clean Water Act's current requirements (see Attachment C).

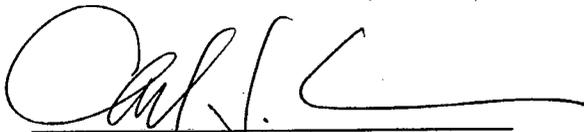
## ENVIRONMENTAL REVIEW

The original project was determined to be categorically exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15332, Infill Development. Because the application is a request for an extension of time only and a modification of a condition to ensure compliance with current clean water act requirements, there would be no environmental impact, and no additional environmental review is required under CEQA.

## PUBLIC NOTICE

On February 15, 2008, a public hearing notice was mailed to every property owner and occupant within 300 feet of the subject site, as noted on the latest assessor's records. Notice was also provided to the Burbank Neighborhood Task Force. No comments were received.

Prepared by:



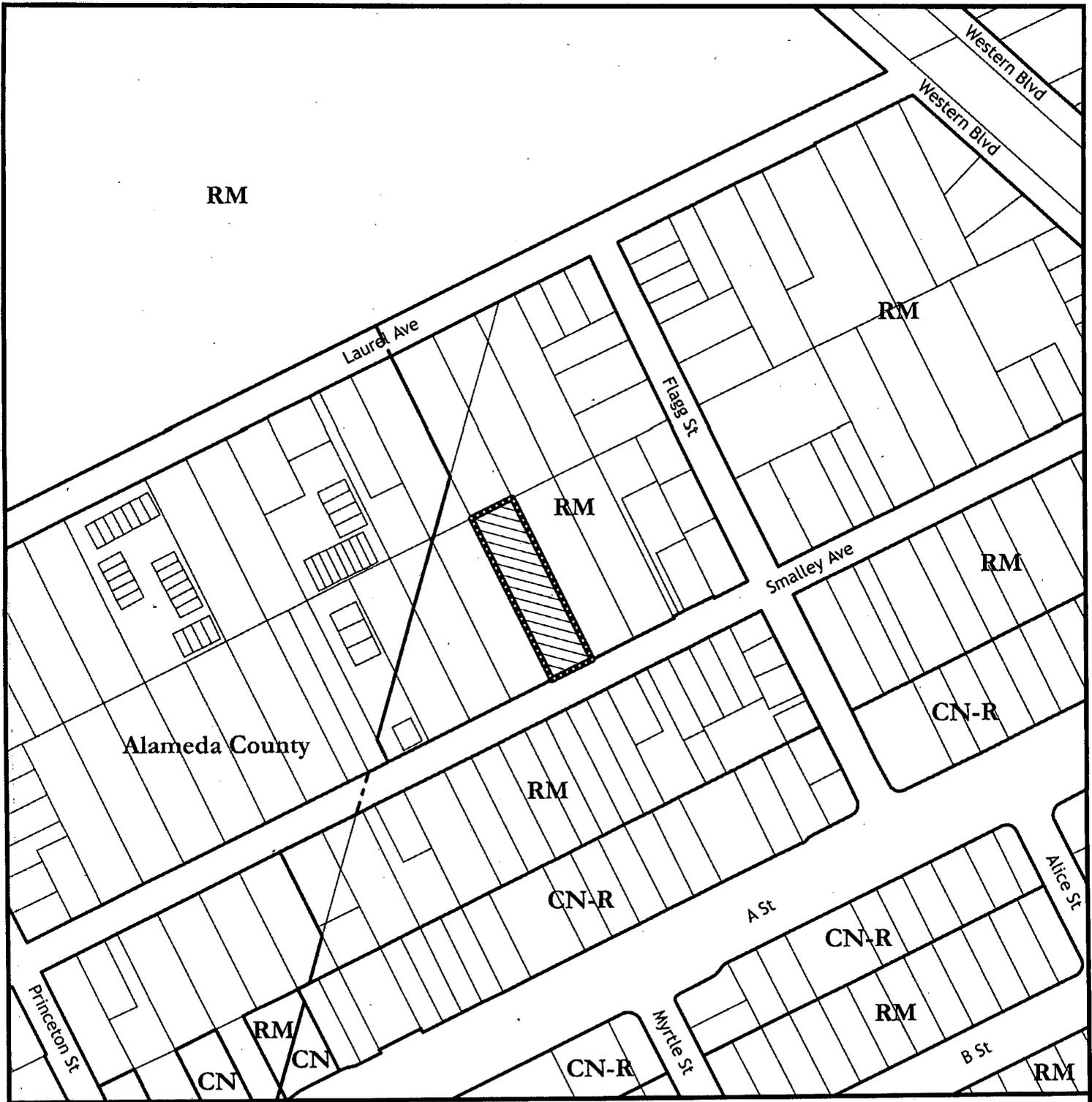
Carl T. Emtra, ASLA  
Associate Planner

Recommended by:



David Rizk, AICP  
Planning Manager

- Attachment A: Area Map
- Attachment B: Vicinity Map
- Attachment C: Letter from Ali Adib, property owner dated 11/5/07
- Attachment D: Findings for Approval of Tentative Tract Map extension
- Attachment E: Revised Tentative Tract Map Conditions of Approval (revised condition #14)  
Plans/Map

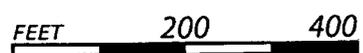


# Area & Zoning Map

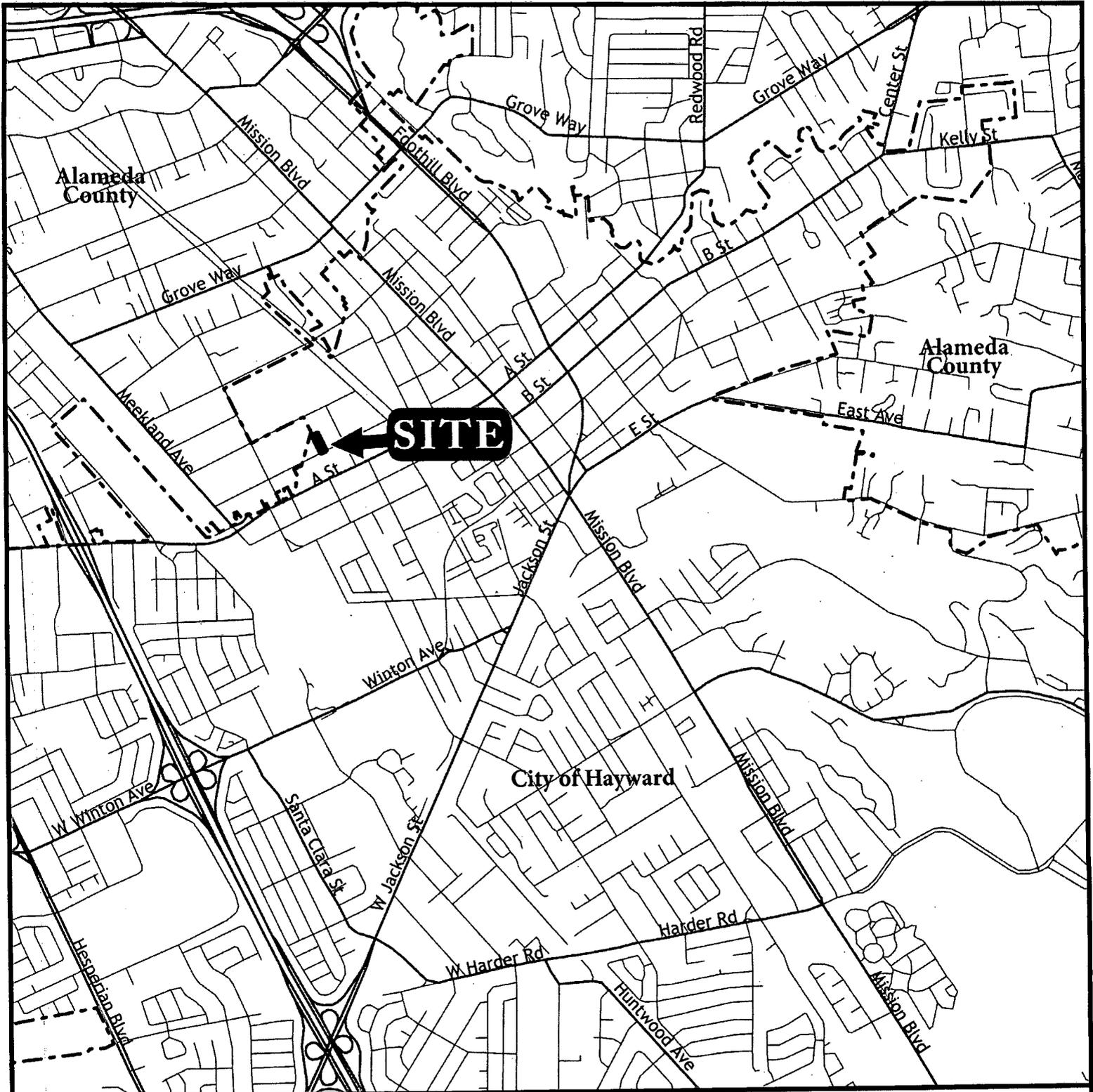
Extension of PL-2005-0527 TTM 7699  
 Address: 420 Smalley Avenue  
 Applicant: Ali Adib  
 Owner:

## Zoning Classifications

- RESIDENTIAL**
- RM Medium Density Residential, min lot size 2500 sqft
- COMMERCIAL**
- CN Neighborhood Commercial
- CN-R Neighborhood Commercial/Residential



**ATTACHMENT A**



# Vicinity Map

Extension of PL-2005-0527 TTM 7699

420 Smalley Avenue

FEET 2000 4000



Ali Adib, P.E.



1202 Main Street  
Redwood City, CA 94063

Office: 650.363.2338  
Fax: 650.363.2031  
Email: ataengineering@sbcglobal.net

11/5/07

REGARDING: 420 SMALLEY AVE, HAYWARD, CA  
ONE YEAR EXTENSION FOR  
MEETING CONDITIONS OF APPROVAL  
FOR SITE PLAN REVIEW & TENTATIVE  
TRACK MAP

DEAR PLANNING DIRECTOR:

I KINDLY REQUEST A ONE YEAR EXTENSION. WE  
ACQUIRED THE PROPERTY ALMOST ONE YEAR AFTER  
SITE PLAN & TENTATIVE MAP APPROVAL DATE OF 12/15/05.

WE ARE CURRENTLY DEVELOPING PLANS FOR MEETING  
ALL THE CONDITIONS. HOWEVER, WE HAVE ENCOUNTERED SOME  
DESIGN CHALLENGES WHICH REQUIRE ADDITIONAL TIME.

I AM THE OWNER AS WELL AS A REGISTERED PROFESSIONAL  
ENGINEER IN CALIFORNIA. I HAVE FOUND SOME AREAS  
THAT DO NOT WORK WELL STRUCTURALLY.

THE EXTRA TIME REQUESTED WILL ALLOW ME TO FIND  
A STRUCTURAL SOLUTION WHICH MAINTAINING THE INTENT OF  
THE ARCHITECTURAL DESIGN AS WELL AS PLANNING  
REQUIREMENTS.

SINCERELY,  
ALI ADIB

A handwritten signature in black ink, appearing to read "Ali Adib".

ATTACHMENT C

## FINDINGS FOR APPROVAL

### EXTENSION OF TENTATIVE TRACT MAP 7699

1. Reliance on the previously approved categorically exemption is appropriate for the approval of a one-year extension for Tentative Map Tract 7699, because there has been no changes in circumstances requiring additional environmental review.
2. The tentative tract map substantially conforms to the State Subdivision Map Act, the City's Subdivision Regulations, the General Policies Plan, the Downtown Design Plan, and the City of Hayward Zoning Ordinance.
3. The site is physically suitable for the proposed type of development.
4. The design of the subdivision and the proposed improvements are **not** likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
5. The design of the subdivision and the proposed improvements are **not** likely to cause serious health problems.
6. Existing streets and utilities are adequate to serve the project.
7. None of the findings set forth in Section 64474 of the Subdivision Map Act<sup>1</sup> have been made.

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<sup>1</sup> The findings of Section 66474 set forth the grounds for denial of a tentative map which are as follows:

- (a) That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.
- (b) That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.
- (c) That the site is not physically suitable for the type of development.
- (d) That the site is not physically suitable for the proposed density of development.
- (e) That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- (f) That the design of the subdivision or type of improvements is likely to cause serious public health problems.
- (g) That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property with the proposed subdivision.

**CONDITIONS OF APPROVAL  
TENTATIVE TRACT MAP 7699  
420 Smalley Avenue**

Unless otherwise stated, all necessary easements shall be dedicated, and all improvements shall be designed and installed at no cost to the City of Hayward.

All improvements shall be designed and constructed in accordance with the City of Hayward Municipal Code – Chapter 10, Article 3, and Standard Specifications and Details – unless otherwise indicated hereinafter.

The applicant/developer's engineer shall perform all design work unless otherwise indicated.

**IMPROVEMENTS**

Improvement plans shall be submitted to the City Engineer for review and approval. Subject plans shall, in addition to the standard improvements, incorporate the following special design requirements:

**STREETS**

**Public Street**

1. New curb, gutter, sidewalk and tie-in paving, shall be installed along the project frontage of Smalley Ave. Any failed pavement in Smalley Ave. adjacent to the project site, shall be removed and replaced. Improvements shall conform to City Standard Details and shall be approved by the City Engineer.
2. The driveway entrance off of Smalley Ave. shall be 24 feet wide and shall be designed to meet City of Hayward Standard Detail SD-110.

**Private Driveway**

3. The private driveway shall have a 20-foot-wide curb-to-curb width allowing for two 10-foot-wide travel lanes. The design, and improvement plans, shall be approved by the City Engineer.
4. No parking shall be allowed within the private driveway or fire truck turn-around. Curbs shall be painted red and "No Parking" signs shall be installed along the sides of the private drive.
5. Decorative pavement e.g. interlocking pavers or stamped colored concrete, or bands of decorative paving, etc. shall be installed at the entrance and various locations within the subdivision. The Planning Director shall approve the material, color and design and the City Engineer shall approve the pavement section for the decorative paving.

6. The onsite streetlights and pedestrian lighting shall have a decorative design approved by the Planning Director and the City Engineer. The locations of the lights shall be shown on the improvement plans and shall be approved by the City Engineer.
7. Upon any necessary repairs to the facilities under the on-site decorative paved areas, the City shall not be responsible for the replacement cost of the decorative paving. The replacement cost shall be borne by the homeowners association established to maintain the common areas within the subdivision boundary.
8. The CC&R's shall include provisions for maintenance of the driveway, decorative pavement, and onsite lighting.

### **Storm Drainage**

9. The subdivision storm drain system shall be a private system owned and maintained by the homeowners association.
10. Prior to the issuance of a grading permit and/or the beginning of any construction activity on-site, the Developer's Engineer shall complete the Development Building Application Form Information: 1) Impervious Material Form and 2) Operation and Maintenance Information Form.
11. The Hydrology and Hydraulics Criteria Summary, Alameda County Flood Control and Water Conservation District, latest edition shall be used to determine storm drainage runoff. A detailed grading and drainage plan with supporting calculations and a completed Drainage Review Checklist shall be approved by the Alameda County Flood Control and the City Engineer. Development of this site is not to augment runoff to the District flood control facility downstream. The hydrology study shall substantiate that there will be no net increase in the quantity of runoff from the site versus the flow rate derived from the original design of downstream facilities. If there is augmented runoff, off-site and/or on-site mitigation measures will be necessary.
12. A Storm Water Pollution Prevention Plan (SWPPP) shall be submitted with a design to reduce discharge of pollutants and sediments into the downstream storm drain system. The plan shall meet the approval of the City Engineer.
13. The developer shall provide a copy of the Notice of Intent filed with the State Water Resources Control Board, prior to the issuance of a grading permit for the project site.
14. The project plans shall include storm water pollution prevention and control measures for the operation and maintenance of the project during and after construction for review and approval of the City Engineer. The project plan shall identify Best Management Practices (BMPs) appropriate to the uses conducted onsite to effectively prevent the entry of pollutants into storm water runoff. Options include utilization of a grassy swale, use of unit pavers for all paved areas or installation of an inline treatment system.

*The proposed BMPs shall be designed to comply with the hydraulic sizing criteria listed in Provision C.3 of the Alameda County Clean Water Program (ACCWP) NPDES permit (page 22). In addition, the California Stormwater Quality Association's Stormwater Best Management Practice Handbook New Development and Redevelopment, Subsection 5.5 on pages 5 – 12 has a section titled "BMP Design Criteria for Flow and Volume." Those materials are available in the internet at [www.cabmphandbooks.com](http://www.cabmphandbooks.com) for your reference.*

The project should be designed to direct runoff to the landscaped yards and common space, prior to entry into the storm drain system. Unit pavers should also be used for impervious areas such as the driveway, parking areas and fire truck turn around. If these methods are utilized, the inline treatment system may not be required.

15. The project plan measures shall also include erosion control measures to prevent soil, dirt, debris and contaminated materials from entering the storm drain system, in accordance with the regulations outlined in the ABAG Erosion and Sediment Control Handbook.
16. The applicant/developer is responsible for ensuring that all contractors are aware of all storm water quality measures and implement such measures. Failure to comply with the approved construction BMPs will result in the issuance of correction notices, citations or a project stop order.
17. The project shall not block runoff from, or augment runoff to, adjacent properties. The drainage area map developed for the hydrology design shall clearly indicate all areas tributary to the project area. The developer is required to mitigate augmented runoffs with off-site and/or on-site improvements.
18. No surface runoff is allowed to flow over the sidewalk and /or driveway. Area drains shall be installed behind the sidewalk area to collect all runoff from the project site.
19. All storm drain inlets must be labeled "No Dumping - Drains to Bay" using City approved methods.

#### **Sanitary Sewer System**

20. The sanitary sewer system shall be designed in accordance with the City of Hayward Standard Details, particularly the Building Court Sewer Main.
21. Onsite sanitary sewer mains shall be located 6 feet from the face of curb within the private driveway.
22. Each residential unit shall have a separate sanitary sewer lateral.
23. All existing sanitary sewer laterals that are not to be reused shall be abandoned. The laterals shall be severed at the sewer main and the wyes shall be plugged using a mechanical plug. This work shall be done by City forces and will be paid for by the developer.

### Water System

24. Water service is available subject to standard conditions and fees in effect at the time of application.
25. The looped water main shown is not acceptable. The water services for the townhouses shall be served by a service manifold to be located in the Smalley Ave. ROW. The service manifold shall be located 6 feet from sanitary sewer laterals.
26. Each residential unit shall have an individual radio read water meter.
27. The fire service line for the fire hydrant shall have a double check detector assembly with trim meter located in Smalley Ave.
28. All existing water services to be abandoned shall be abandoned by turning off the corporation stop and cutting the existing line. This work shall be done under the direct supervision of the City Inspector.

### Fire Protection

29. Fire Department requirements shall be as follows:
  - a. The private driveway is shown on the plan with a 20-foot roadway width. This driveway shall be posted as a fire lane and no parking of vehicles shall be allowed on either side. Red curbing will be required for the entire length of the driveway. Signs shall be posted to allow towing of illegally parked vehicles to ensure adequate fire truck access.
  - b. The private driveway shall be designed and engineered to withstand 50,000 lbs. GVW of fire apparatus. In addition, where pavers or decorative concrete is being used, the installation shall also meet the same engineering and design.
  - c. The fire truck turn around shall be designed to the same standards and shall also be red-curbed and posted with "No Parking" signage.
  - d. Addressing of the buildings shall be in agreement with the Hayward Fire Department. All buildings shall have a minimum 4 inch self-illuminated address installed on the front of the building so as to be visible from the street. Provide an address monument sign at the new driveway entrance on Smalley Ave. reflecting the building addresses for lots #2, #3, #4 and #5. Minimum size numbers shall be 6 inches in height on a contrasting background.
  - e. One new fire hydrant shall be installed along the private driveway within the development. The type of fire hydrant shall be a modified steamer, capable of flowing 1500 GPM at 20 PSI for a 2-hour duration (includes allowance granted 50 percent for fire sprinklers). The design and layout of the hydrants shall be reviewed and approved by the Fire Department prior to construction.

- f. Blue reflective pavement markers shall be installed at fire hydrant locations.
- g. If fire hydrants are located so as to be subjected to vehicle impact, crash posts shall be installed around the fire hydrant(s).
- h. Fire hydrants for the development shall be operational and in-service prior to the start of any combustible construction and /or storage of combustible construction materials.
- i. The proposed development is for (2) buildings, 2 stories in height. The units will be residential townhouses (R-3 occupancies) constructed with a common wall (1-hour rated each side). Each building will be of Type V-N construction. Building permits shall be reviewed and approved by the Fire Department prior to the start of construction.
- j. Each building shall have an automatic fire sprinkler system installed in conformance with NFPA13-D (Modified) Standards, which includes fire sprinkler protection within all living areas, garage and attic areas. The design and installation shall be by a state licensed C-16 fire sprinkler contractor. A separate Fire Department permit will be required for each of the fire sprinkler system installations.
- k. The fire sprinkler protection system shall be supplied from the domestic water line and be independently controlled. Minimum 1-inch meters with 1 ½ " services shall be required for each townhouse unit.
- l. Each townhouse shall have an interior alarm system signaling device which will activate upon waterflow of the fire sprinkler system.
- m. Each townhouse shall have an exterior alarm bell installed in an approved location.
- n. Each fire sprinkler system shall be equipped with a spare sprinkler head box located at the riser.
- o. Smoke detectors shall be installed in each dwelling unit. Installation of the smoke detectors shall meet the State of California Building Code and shall be hard wired electrically with battery back up.
- p. Each townhouse unit shall have an approved spark arrestor installed on the chimney cap if a fireplace is constructed.

### Utilities

- 30. All service to dwellings shall be an "underground service" designed and installed in accordance with the Pacific Gas and Electric Company, SBC (phone) Company and local

cable company regulations. All facilities necessary to provide service to the dwellings, including transformers and switchgear, shall also be undergrounded.

31. The joint trench shall be located under the pedestrian walkway and grooved concrete driveways.
32. All utilities, including water mains, located underneath decorative paving or "turf block" shall be encased in steel sleeves.
33. All surface-mounted hardware (fire hydrants, electroliers, etc.) along the proposed driveway or public streets shall be located outside of the sidewalk within the Public Utility Easement in accordance with the requirements of the City Engineer or, where applicable, the Hayward Fire Chief.
34. All utilities shall be designed in accordance with the requirements of the City of Hayward and applicable public agency standards.

#### **Walls, Fences and Retaining Walls**

35. A perimeter retaining wall with a 6 foot fence on top, is shown on the plans. The developer shall work with the adjacent property owners to have one fence along the property line, rather than two fences back to back. The design and location of this wall/fence will need to be reviewed and approved by the Planning Director and City Engineer. A separate building permit will be required for this structure.

#### **Dedications, Easements and Encroachment Permits**

36. The final map shall reflect all easements needed to accommodate the public portions of the sanitary sewer and water systems that are outside of the private driveway. The easements shall be a minimum of 12 feet wide. The private driveway shall be designated as a Public Utility Easement, (PUE) Sanitary Sewer Easement (SSE) and Emergency Vehicle Easement (EVAE).
37. Prior to the approval of the final map, all documents that need to be recorded with the final map, shall be approved by the City Engineer and any unpaid invoices or other outstanding charges accrued to the City for the processing of the subdivision application shall be paid.
38. An encroachment permit shall be obtained by the Developer/Contractor prior to commencement of any work within the right-of-way of any public street.

#### **Subdivision Agreement**

39. The developer shall execute a subdivision agreement and post bonds with the City that shall secure the construction of the public improvements per Section 10-3.332, Security for Installation of Improvements, of the Municipal Code. Insurance shall be provided per the terms of the subdivision agreement.

## PRIOR TO CONSTRUCTION WITH COMBUSTIBLE MATERIALS

40. Required water system improvements shall be completed and operational prior to the start of combustible construction.

## DURING CONSTRUCTION

41. The following control measures for construction noise, grading and construction activities shall be adhered to, unless otherwise approved by the Planning Director or City Engineer:
- a. Grading and construction activities shall be limited to the hours 7:00 AM to 6:00 PM on weekdays; there shall be no grading or construction activities on the weekend or national holidays;
  - b. Grading and construction equipment shall be properly muffled;
  - c. Unnecessary idling of grading and construction equipment is prohibited;
  - d. Stationary noise-generating construction equipment, such as compressors, shall be located as far as practical from occupied residential housing units;
  - e. Applicant/developer shall designate a "noise disturbance coordinator" who will be responsible for responding to any local complaints about construction noise;
  - f. The developer shall participate in the City's recycling program during construction.
  - g. Daily clean up of trash and debris shall occur along all 4 peripheral streets;
  - h. The site shall be watered twice daily during site grading and earth removal work, or at other times as may be needed to control dust emissions;
  - i. All grading and earth removal work shall follow remediation plan requirements, if soil contamination is found to exist on the site;
  - j. Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites;
  - k. Sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at construction sites;
  - l. Apply (non-toxic) soil stabilizers or hydroseed to inactive construction areas (previously graded areas inactive for 10-days or more);
  - m. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.);
  - n. Gather all construction debris on a regular basis and place them in a dumpster or

other container that is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water pollution;

- o. Remove all dirt, gravel, rubbish, refuse and green waste from the sidewalk, street pavement, and storm drain system adjoining the project site. During wet weather, avoid driving vehicles off paved areas and other outdoor work;
  - p. Broom sweep the sidewalk and public street pavement adjoining the project site on a daily basis. Caked on mud or dirt shall be scraped from these areas before sweeping;
  - q. No site grading shall occur during the rainy season, between October 15 and April 15, unless approved erosion control measures are in place;
  - r. Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site prior to: 1) start of the rainy season; 2) site dewatering activities; or 3) street washing activities; and 4) saw cutting asphalt or concrete, or in order to retain any debris or dirt flowing into the City storm drain system. Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and prevent street flooding. Dispose of filter particles in the trash;
  - s. Create a contained and covered area on the site for the storage of bags of cement, paints, flammables, oils, fertilizers, pesticides or any other materials used on the project site that have the potential for being discharged to the storm drain system through being windblown or in the event of a material spill;
  - t. Never clean machinery, tools, brushes, etc., or rinse containers into a street, gutter, storm drain or stream. See "*Building Maintenance/Remodeling*" flyer for more information;
  - u. Ensure that concrete/gunite supply trucks or concrete/plasters finishing operations do not discharge washwater into street gutters or drains; and
  - v. The applicant/developer shall immediately report any soil or water contamination noticed during construction to the City Fire Department Hazardous Materials Division, the Alameda County Department of Health and the Regional Water Quality Control Board.
42. A representative of the soils engineer shall be on the site during grading operations and shall perform such testing as deemed necessary by the City Engineer. The representative of the soils engineer shall observe grading operations with recommended corrective measures given to the contractor and the City Engineer.

43. The minimum soils sampling and testing frequency shall conform to Chapter 8 of the Caltrans Construction Manual. The subdivider shall require the soils engineer to daily submit all testing and sampling and reports to the City Engineer.

**PRIOR TO CONNECTION OF UTILITIES AND ISSUANCE OF CERTIFICATES OF OCCUPANCY**

44. The applicant/developer shall pay the following fees;
- a. Supplemental Building Construction and Improvement Tax;
  - b. School Tax; and
  - c. Park Dedication in-lieu fees for each unit. The amount of the fee shall be in accordance with the fee schedule in effect at the time the vesting tentative map was accepted as complete.
  - d. Water Facilities Fee and Sewer Connection Fee for each dwelling unit at the rate in effect when the utility service permit for the dwelling unit is issued.
45. A reduced pressure backflow preventer shall be installed behind the water meter per City of Hayward Standard Detail 202.
46. Prior to granting occupancy, water services shall be installed by City crews at the developer's expense. The application for water services shall be presented to the City Inspector.
47. Prior to the City setting the water meters, the subdivider shall provide the Water Department with certified costs covering the installation of the public water mains and appurtenances.
48. All common area landscaping, irrigation and other required improvements shall be installed according to the approved plans.

**PRIOR TO CITY APPROVAL OF THE TRACT IMPROVEMENTS AS BEING COMPLETED**

49. All tract improvements, including the complete installation of all improvements relative to streets, fencing, sanitary sewer, storm drainage, water system, underground utilities, etc., shall be completed and attested to by the City Engineer before approval of occupancy of any unit. Where facilities of other agencies are involved, such installation shall be verified as having been completed and accepted by those agencies.
50. All common area landscaping, irrigation and other required improvements shall be installed prior to acceptance of tract improvements, or occupancy of 80 percent of the dwelling units, whichever first occurs.

51. The improvements associated with the Pacific Gas and Electric Company, SBC (phone) company and local cable company shall be installed to the satisfaction of the respective companies.
52. The subdivider shall submit an "as built" plan indicating the following:
  - a. All the underground facilities, sanitary sewer mains and laterals, water services (including meter locations), Pacific Gas and Electric, SBC (phone) facilities, local cable company, etc; and;
  - b. All the site improvements, except landscaping species, buildings and appurtenant structures.

**PROJECT CONTACTS**

**CLIENT**  
DECOTO VILLAS LLC  
SHYAM GOPAL  
226, AIRPORT PKWY, SUITE 390  
SAN JOSE, CA 95110

**OWNER**  
DANIEL ROBERTS, CHING KANG CHOU  
3853 DECOTO ROAD,  
FREMONT, CA 94555

**DESIGN CONSULTANT**  
EDGE CONCEPTS INC  
39675 CEDAR BLVD, SUITE 135  
NEWARK, CA 94560  
PH: 510 353 1100 / FAX: 510 353 0200

**CIVIL ENGINEER**  
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39675 CEDAR BLVD, SUITE 135  
NEWARK, CA 94560  
PH: (510) 440-0300 FAX: (510) 353-0200

**GEOTECHNICAL ENGINEER**  
MARC HACHEY  
2001 CROW CANYON ROAD, SUITE 100  
SAN RAMON, CA 94583  
PLEASANTON, CA 94566  
PH: 925-317-7100/ FAX: 925-855-7140

**LAND SURVEYOR**  
RAYMOND B. THINGGAARD  
THINGGAARD LAND CONSULTING  
3254 BREAKWATER AVENUE, SUITE B  
HAYWARD, CALIFORNIA 94545  
PH: (510)-732-6608

**LANDSCAPE ARCHITECT**  
WESLEY T. SAKAMOTO  
665 HOLLYHOCK DR,  
SAN LEANDRO, CA 94578  
PH: (510) 882-0864 FAX: (510) 351-6302

**PROJECT DATA: 15 UNITS**

APN: 4310008020

**ZONING**  
USE RM  
CONSTRUCTION TYPE FOR SALE TOWNHOMES  
FIRE SPRINKLERS V-NR  
NUMBER OF STORIES NO  
2

**APPLICATION:** SMALLEY TOWNHOMES

**PROJECT SITE:** 420 SMALLEY AVE, HAYWARD, CA 94541

**ZONING INFO:**  
SITE AREA 20,437.77 SQ.FT. (0.469 AC.)  
EXISTING ZONING MEDIUM DENSITY RES.,  
EXISTING GENERAL PLAN 5-6 UNITS ON THIS PARCEL  
DENSITY ALLOWED

**BUILDING INFO:**  
BUILDING FOOTPRINT 10,850.43 SQ.FT.  
GROUND COVERAGE 36.30%  
PARKING & CIRCULATION 10,153.47 SQ.FT.  
TOTAL BUILDING AREA 30,343.7 SQ.FT.  
F.A.R. 1.015  
COMMON OPEN SPACE 1509.87 SQ.FT.

**PARKING REQUIREMENTS**

REQUIRED PARKING			PROVIDED		
OWNER'S PARKING	GUESTS	REQUIRED	PROVIDED SPACES	GUESTS	TOTAL PROVIDED
COVERED	UNCOVERED		COVERED		TOTAL
10	0	2	10	2	12

**AREA: HABITABLE/NON-HABITABLE**

LOT NUMBER	HABITABLE AREA PER FLOOR	HABITABLE AREA/UNIT	NON-HABIT. AREA/UNIT	BEDRMS /BATHS
LOT 1	FF AREA = 1508.0 SQ.FT. SF AREA = 828.5 SQ.FT. TOTAL	2138.5 SQ.FT.	406 SQ.FT.	4/3
LOT 2	FF AREA = 813.18 SQ.FT. SF AREA = 1080.8 SQ.FT. TOTAL	1693.78 SQ.FT.	406 SQ.FT.	3/3
LOT 3	FF AREA = 813.18 SQ.FT. SF AREA = 1080.8 SQ.FT. TOTAL	1693.78 SQ.FT.	406 SQ.FT.	3/3
LOT 4	FF AREA = 608.5 SQ.FT. SF AREA = 1079.1 SQ.FT. TOTAL	1685.8 SQ.FT.	406 SQ.FT.	3/3
LOT 5	FF AREA = 608.5 SQ.FT. SF AREA = 1079.1 SQ.FT. TOTAL	1685.8 SQ.FT.	406 SQ.FT.	3/3
TOTAL BUILDING AREA		8895.28 SQ.FT.	2030 SQ.FT.	

**SMALLEY TOWNHOMES**

Proposed Multifamily Attached  
Townhomes  
Hayward, California

**AREA: FOOTPRINTS/CIRCULATION**

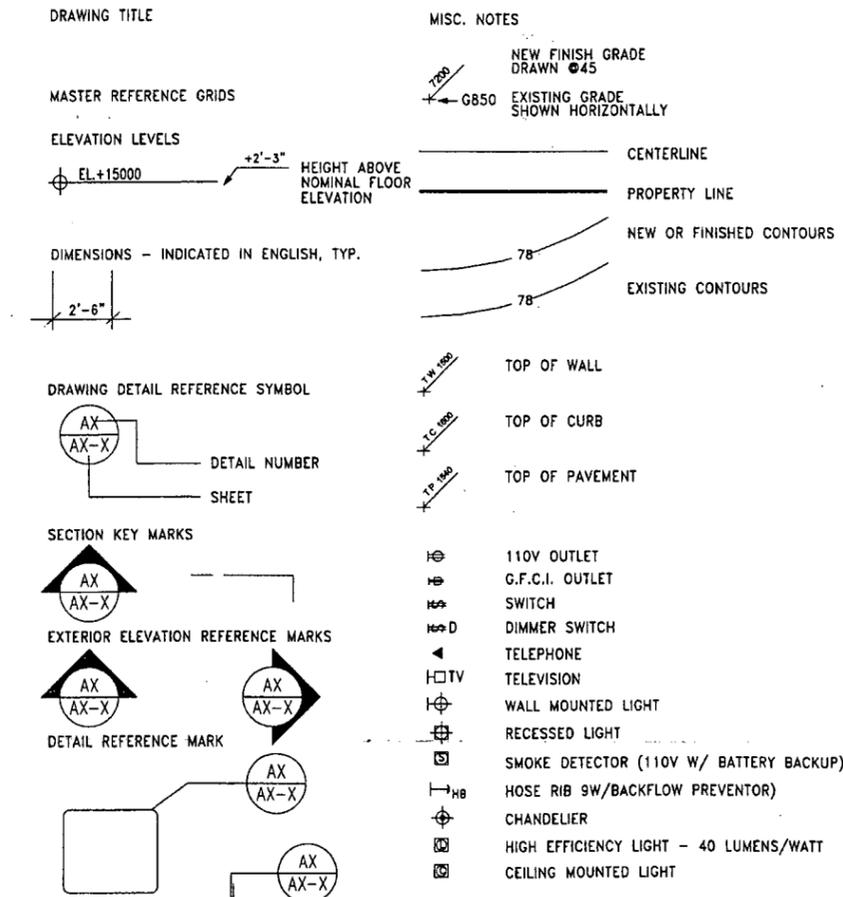
PAD AREA BLD 1 3031.4 SQ.FT.  
PAD AREA BLD 2 3050.54 SQ.FT.  
STREET/PARKING/WALKWAYS 7601.73 SQ.FT.  
PRIVATE PATIOS 954.33 SQ.FT.  
PICNIC TABLES 270 SQ.FT.

**TOTAL IMPERVIOUS AREA = 14,908.0 SQ.FT.**

USABLE OPEN AREA STATEMENT:  
EXISTING HOUSE (PRIVATE PATIO) 829.1 SQ.FT.  
UNIT 1 (PRIVATE PATIO) 287.8 SQ.FT.  
UNIT 2 (PRIVATE PATIO) 287.8 SQ.FT.  
UNIT 3 (PRIVATE PATIO) 287.8 SQ.FT.  
UNIT 4 (PRIVATE PATIO) 287.8 SQ.FT.  
COMMON OPEN AREA 1 673 SQ.FT.  
COMMON OPEN AREA 2 1785 SQ.FT.

**TOTAL COMMON AREA PROVIDED = 4438.3 SQ.FT.**

**SYMBOLS**



**SHEET INDEX**

- TOTAL SHEETS = 10
- A 0.0 COVER SHEET
  - A 0.1 SITE PLAN
  - A 1.0 FLOOR PLANS: BLD ONE
  - A 1.1 FLOOR PLANS: BLD TWO
  - A 1.2 ROOF PLANS: BLD ONE & TWO
  - A 2.0 ELEVATIONS
  - A 2.1 ELEVATIONS
  - L 1 LANDSCAPE DRAWING
  - C1 GADING AND DRAINAGE PLAN
  - TM TENTATIVE TRACT MAP

**VICINITY MAP**



**DESIGN OVERVIEW**

**PROPOSED DESIGN AND TENTATIVE MAP APPLICATION:**  
THIS MULTIFAMILY NEIGHBORHOOD HAS A GROWING DEMAND AND NEED FOR UPGRADED QUALITY HOMES AND THE PROPOSED DEVELOPMENT ATTEMPTS TO PROVIDE THE SAME. A STROLL THROUGH THIS NEIGHBORHOOD SUGGEST THAT OLDER HOMES ARE NOW IN NEED OF REPAIRS, APARTMENTS ARE IN NEED OF IMPROVEMENTS AND THE COMMUNITY AS SUCH IS SEEKING FOR INFILL DEVELOPMENTS THAT MAKE THE NEIGHBORHOOD A MORE DESIRABLE PLACE TO LIVE.

A SIMILAR INFILL DEVELOPMENT DIAGONALLY ACROSS THE REAR OF THE PROPERTY HAS BEEN WELL RECEIVED AND HAS ATTRACTED WELL DESERVING ATTENTION.

THIS PROPOSAL TO DEVELOP INCLUDES 4 NEW "FOR SALE" TOWNHOMES, EXPANSION AND REMODEL OF ONE EXISTING HOUSE AND COMMON AMENITIES FOR THE SAME. PROPOSED DEVELOPMENT INCLUDES 12 CARS PARKING INCLUDING 10 PARKING AS COVERED GARAGES AND 2 OPEN GUESTS PARKING (W/ ADDITIONAL STREET PARKING ON SMALLEY AVE). ALSO INCLUDED IN THE DEVELOPMENT IS THE CENTRAL AND REAR COMMON LANDSCAPE AREA AS PLAY AREA FOR THE RESIDENTS OF THIS PROPERTY.

BASED ON THE GUIDANCE FROM THE PLANNING DIVISION AND THE ORIGINAL OWNER'S STRONG DESIRE TO RETAIN THE HOUSE, APPLICANT PROPOSES TO DEVELOP 5 TOWN HOMES ON THIS PARCEL.

BY PLANTING A ROSE BUSH IN FRONT OF THE HOUSE, A STRONG EMOTIONAL BOND FROM THE ORIGINAL OWNER WAS PASSED TO THE DEVELOPERS AS A DEPARTING GIFT. THIS, THEY HOPE WILL FLOURISH AND PROVIDE THE SYMBOL OF CONTINUITY OF THEIR LOVE TO ITS FUTURE RESIDENTS. THROUGH THE PASSIONATE INTEGRATION OF OLD WITH THE NEW, WE HOPE THAT THIS DEVELOPMENT WILL TRULY SYMBOLIZE THEIR DREAM AND PASS THEIR MESSAGE ALONG.

**CONSULTANT INFO:**

**DESIGN CONSULTANT:**  
EDGE CONCEPTS INC.  
39675 CEDAR BLVD, SUITE 135  
NEWARK, CA 94560  
PH: 510 353 1100 (PH) 510 353 0200 (FAX)  
510 353 1000 (PH) 510 353 0200 (FAX)  
510 353 2448 (CELL)  
510 353 2448 (CELL)  
GEOTECH CONSULTANT:

**STRUCTURAL CONSULTANT:**  
MOHAMED S. GENIDY (G+M ENG)  
39675 CEDAR BLVD, SUITE 135  
NEWARK, CA 94560  
PH: 510 353 1100 (PH) 510 353 0200 (FAX)  
510 353 1000 (PH) 510 353 0200 (FAX)  
LAND SURVEYORS:  
RALPH (G+M CIVIL ENGINEERS)  
4119 1984 ST. # 201  
PH: 925 887 1311  
ENERGY CONSULTANT:

**MECHANICAL CONSULTANT:**  
FIRE SPRINKLER CONSULTANT:  
LANDSCAPE CONSULTANT:

**OWNER INFO:**

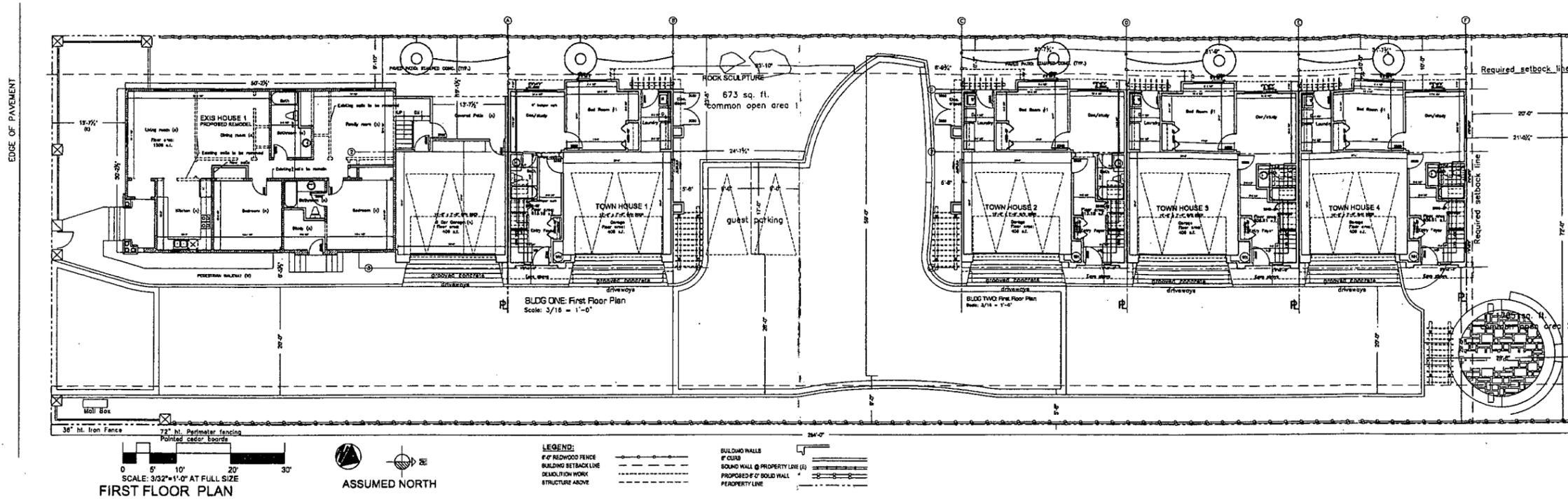
SMALLEY HOMES DEVELOPMENT  
420 SMALLEY AVENUE  
HAYWARD, CA 94541  
APN: 4310008020

**SHEET INFO:**

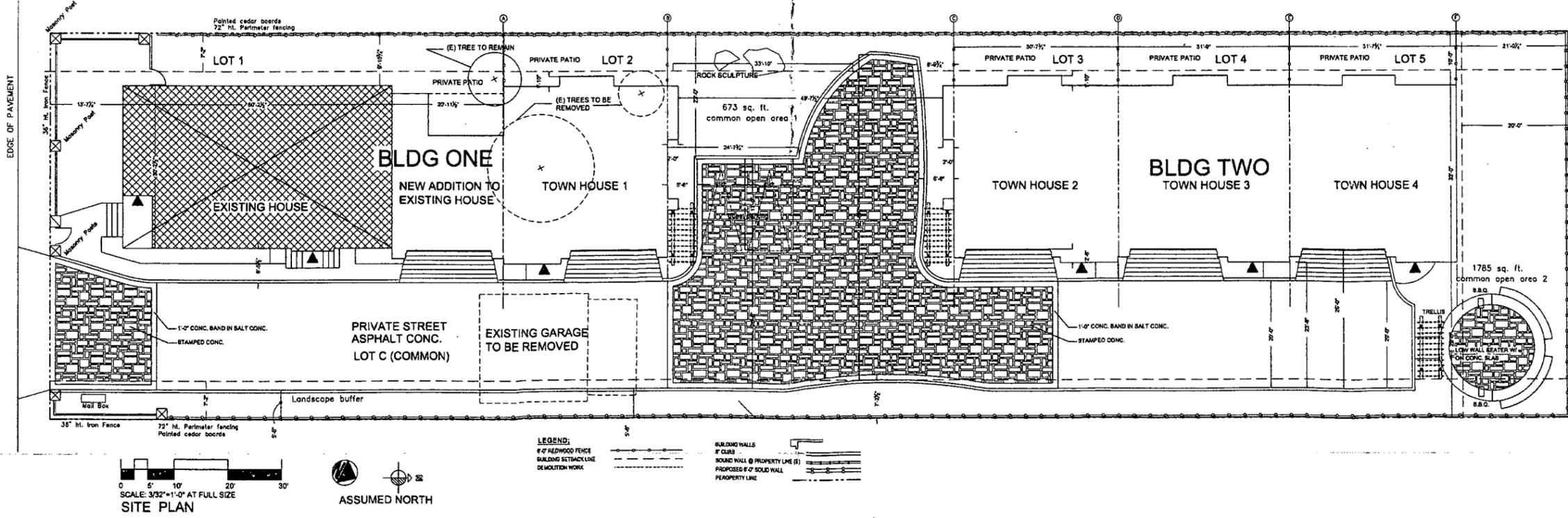
NO.	REVISION	DATE
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**SITE PLAN**  
PROJECT NUMBER: SMA-HAY-420  
ISSUED: 11.17.05  
DESIGN BY: JM  
DESIGN SUPERVISION: JM  
FILENAME: SMA-HAY-420-PLA.DWG

SMALLEY AVE



SMALLEY AVE



CONSULTANT INFO:

**DESIGN CONSULTANT:**  
**EDGE CONCEPTS INC.**  
 5005 CEDAR BLVD. SUITE 105  
 NEWARK, CA 94560  
 (510) 353-1100 (PH) (510) 353-0000 (FAX)  
 (510) 353-1100 (CELL) (510) 353-1100 (FAX)  
 (510) 353-1100 (CELL)

**STRUCTURAL CONSULTANT:**  
 MOHAMED S. GEMAY (CIVIL ENGINEER)  
 1510-377-7868 (PH) (510) 353-5200 (FAX)  
 LAND SURVEYORS:  
 RALPH (GARY) CIVIL ENGINEERS  
 4115 288-8775 (PH)  
 4115 288-8775 (CELL)

**MECHANICAL CONSULTANT:**  
 FIRE SPRINKLER CONSULTANT:  
 LANDSCAPE CONSULTANT:

**OWNER INFO:**

**SMALLEY HOMES DEVELOPMENT**  
 420 SMALLEY AVENUE  
 HAYWARD, CA 94541  
 APN: 4310008020

**SHEET INFO:**

NO.	REVISION	DATE
01		
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06		

OWNER INFO:

**SITE PLAN**  
 PROJECT NUMBER: SMA-HAY-420  
 ISSUED: 11.17.05  
 DESIGN BY: JM  
 DESIGN SUPERVISION: JM  
 FILENAME: SMA-HAY-420-PLA.DWG

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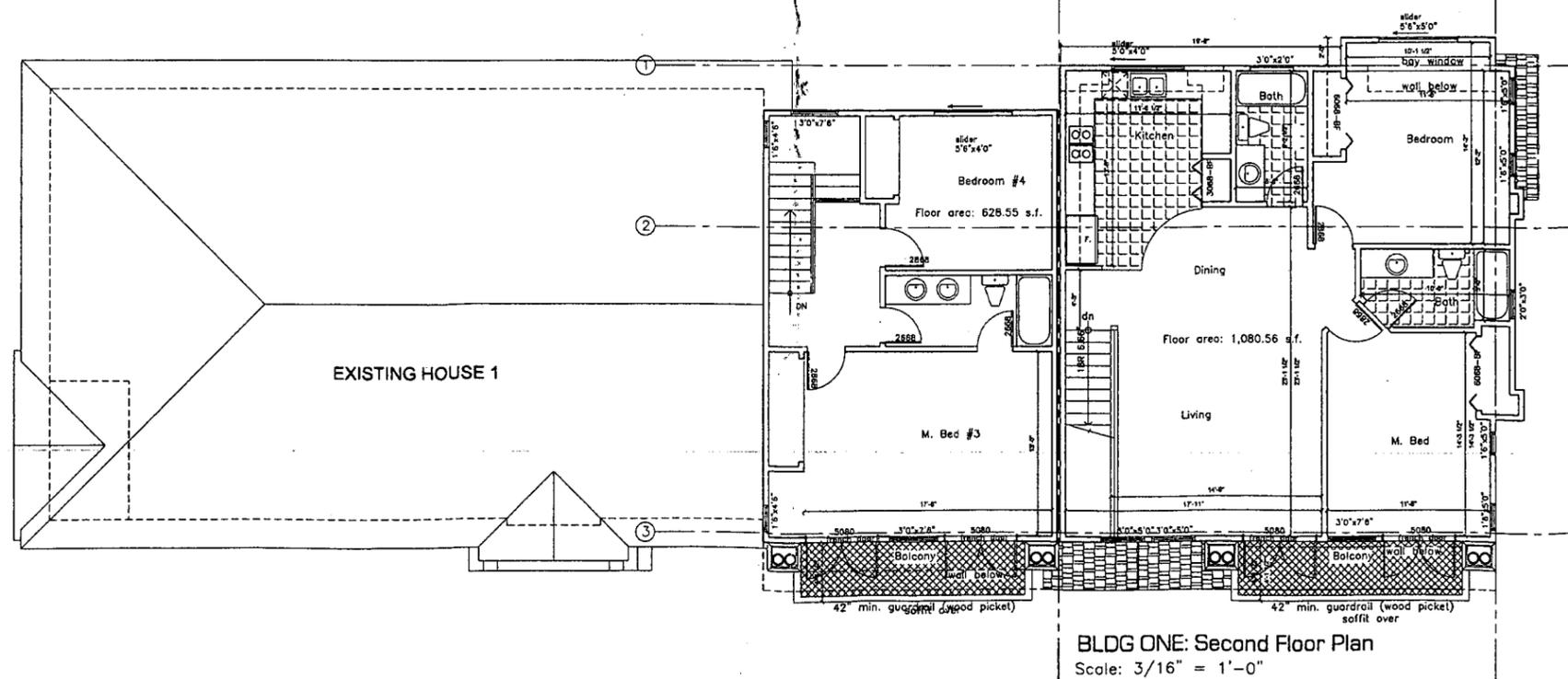
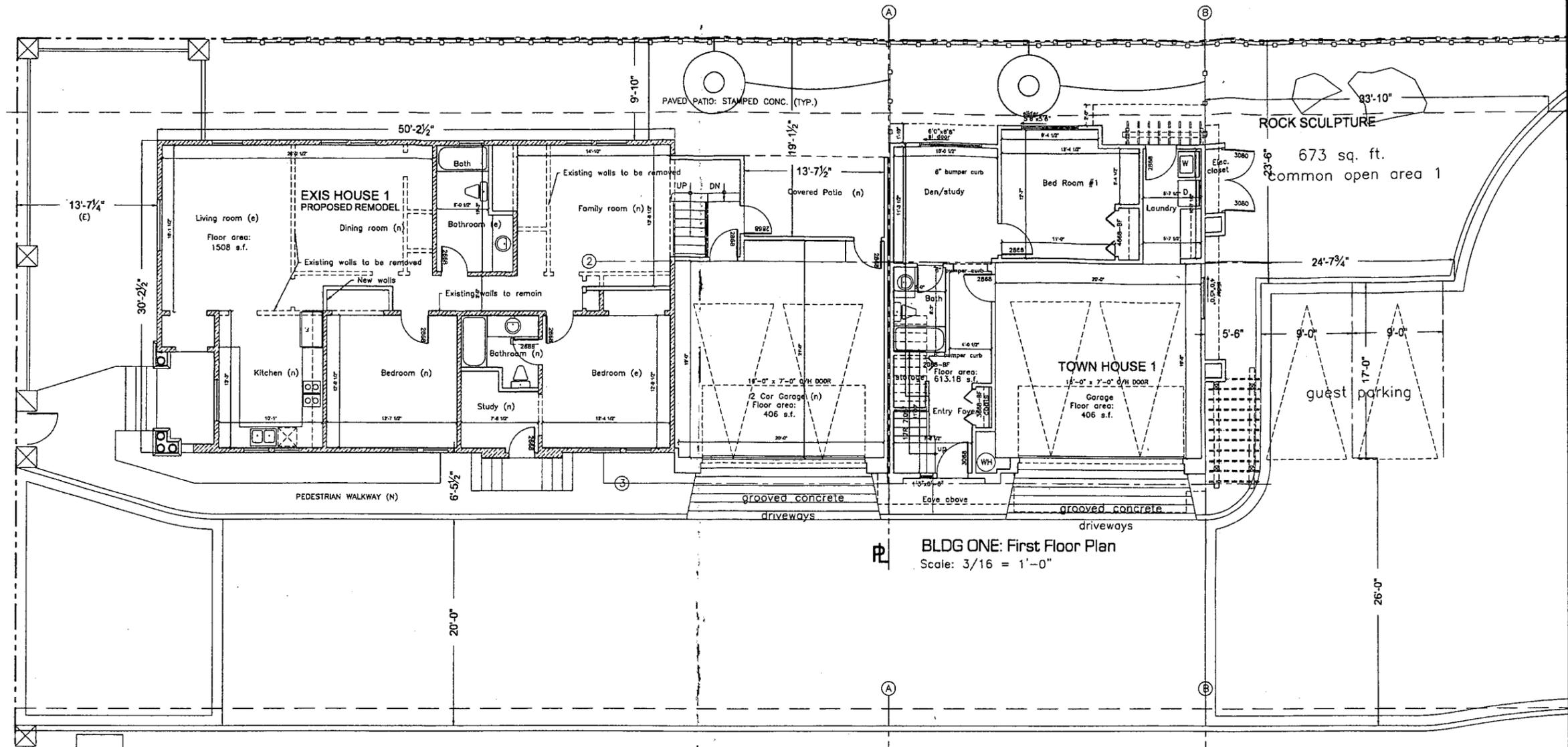
NO.	REVISION	DATE
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06		

**SHEET NO.**  
**A 0.1**

**OF 10 SHEETS**

# SMALLEY AVE

EDGE OF PAVEMENT



**CONSULTANT INFO:**

**DESIGN CONSULTANT:**  
EDGE CONCEPTS INC.  
22500 CALIFORNIA BLVD., SUITE 115  
NEWARK, CA 94560  
(916) 333-1188 (PH) (916) 333-0000 (FAX)  
(916) 333-1188 (CELL) (916) 333-1188 (ATTN: OWNER BOOK)  
**GEOTECH CONSULTANT:**

**STRUCTURAL CONSULTANT:**  
MOHAMED S. GENDY (C-44 ENGR)  
1015 17TH AVENUE, SUITE 100  
OAKLAND, CA 94612  
(415) 777-7700 (PH) (415) 433-0096 (FAX)  
**LAND SURVEYORS:**  
KALPH (C-14 CIVIL ENGINEERS)  
1415 17TH AVENUE, SUITE 100  
OAKLAND, CA 94612  
**ENERGY CONSULTANT:**

**MECHANICAL CONSULTANT:**  
**FIRE SPRINKLER CONSULTANT:**  
**LANDSCAPE CONSULTANT:**

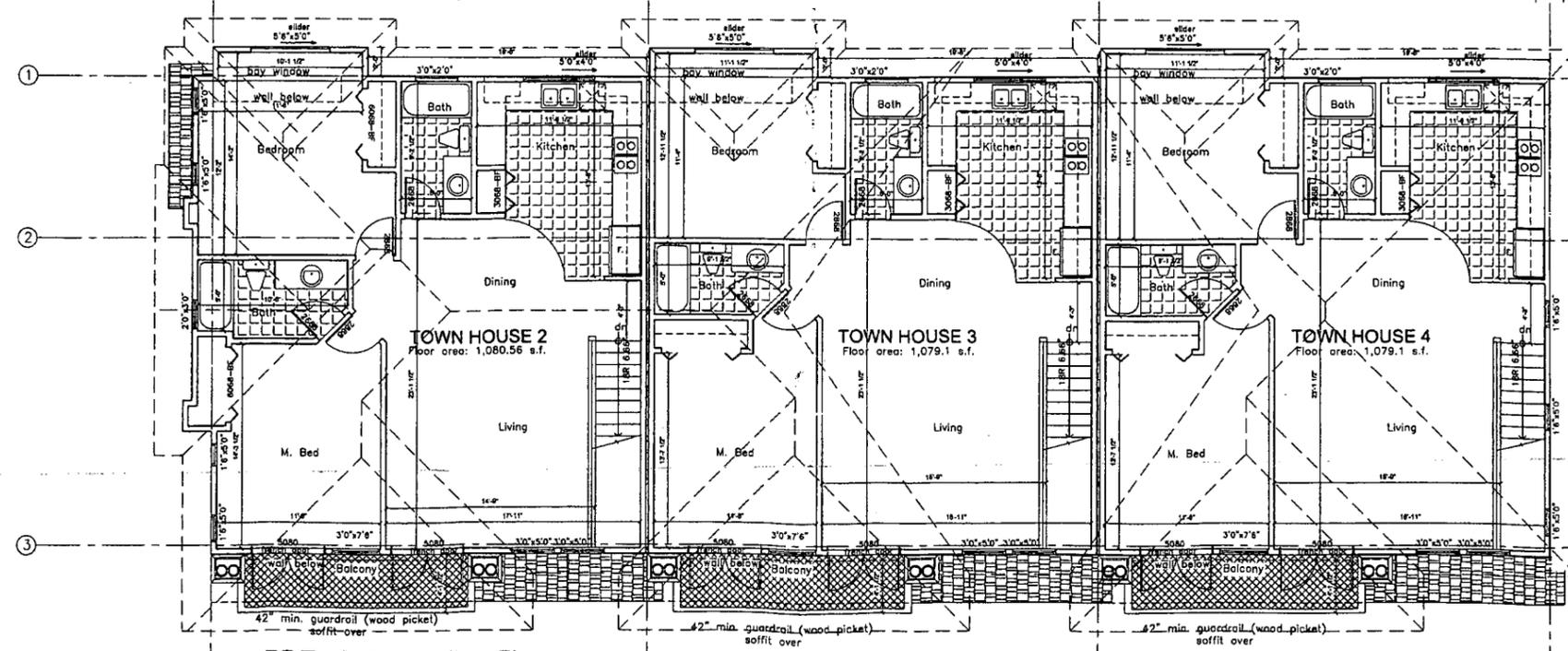
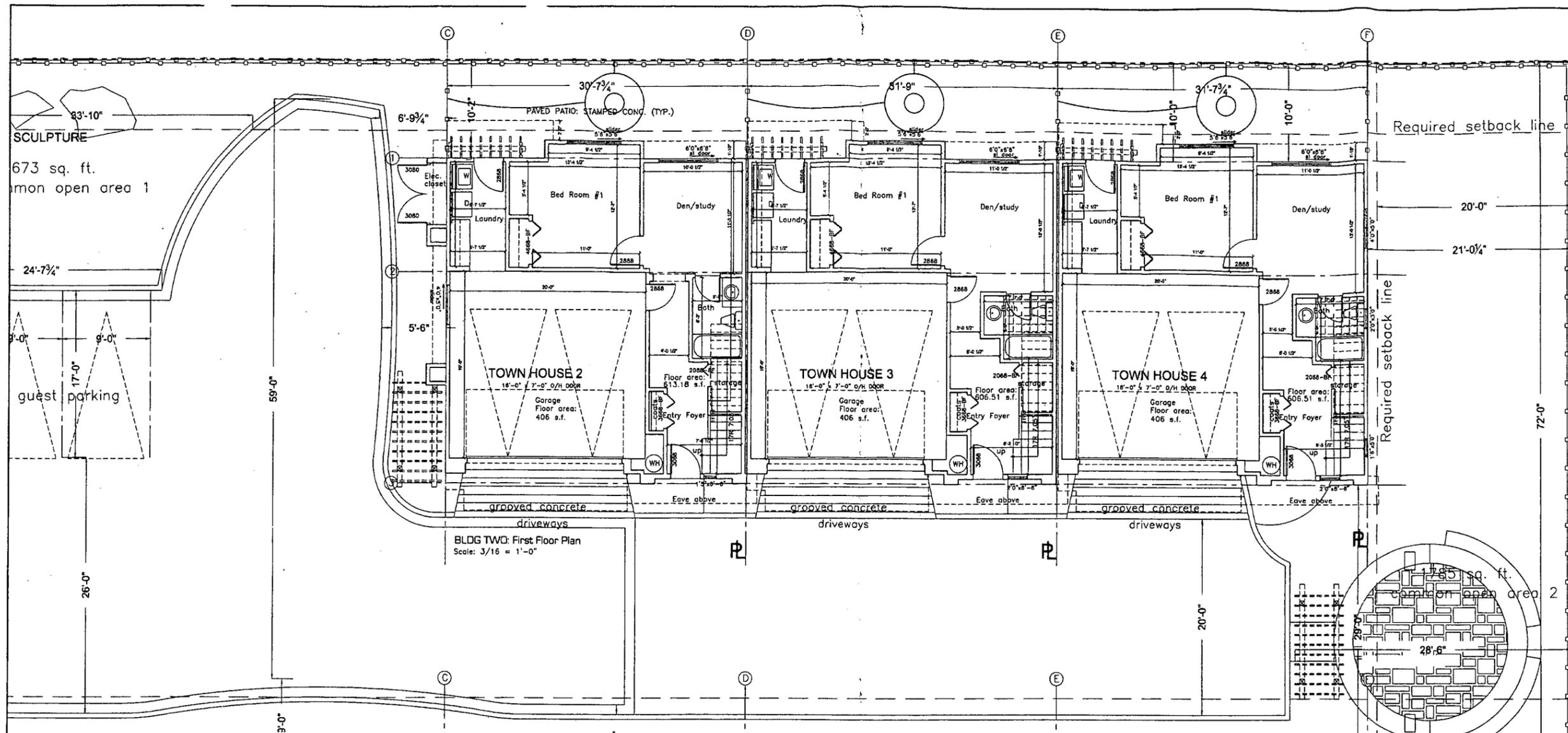
**OWNER INFO:**

**SMALLEY HOMES DEVELOPMENT**  
420 SMALLEY AVENUE  
HAYWARD, CA 94541  
APN: 4310008020

**SHEET INFO:**

NO.	REVISION	DATE
01		
02		
03		
04		
05		

**FLOOR PLANS: BLD ONE**  
PROJECT NUMBER: SMA-HAY-420  
ISSUED: 11.17.05  
DESIGN BY: JIM  
DESIGN SUPERVISION: JIM  
FILENAME: SMA-HAY-420-FLA.DWG



CONSULTANT INFO:

DESIGN CONSULTANT:  
EDGE CONCEPTS INC.  
3875 CEDAR BLVD, SUITE 135  
NEWARK, CA 94560  
PROJECT CONTACT: JESSE MANGAR  
(510) 396-2191 (CELL)  
GEOTECH CONSULTANT:

STRUCTURAL CONSULTANT:  
MOHAMED S. GENIDY (C-M ENGR)  
3875 CEDAR BLVD SUITE 135, NEWARK  
(510) 372-7866 (PH) (510) 333-0206 (FAX)  
RALPH (C-M) CIVIL ENGINEERS  
414 BRASSFIELD ST., SUITE 202  
(415) 336-6707  
ENERGY CONSULTANT:

MECHANICAL CONSULTANT:  
FIRE SPRINKLER CONSULTANT:  
LANDSCAPE CONSULTANT:

OWNER INFO:

SMALLEY HOMES DEVELOPMENT  
420 SMALLEY AVENUE  
HAYWARD, CA 94541  
APN: 4310008020

SHEET INFO:

NO.	REVISION	DATE
01		
02		
03		
04		
05		

FLOOR PLANS: BLD TWO  
PROJECT NUMBER: SMA-HAY-420  
ISSUED: 11.17.05  
DESIGN BY: JM  
DESIGN SUPERVISION: JM  
FILENAME: SMA-HAY-420-FLA.DWG

CONSULTANT INFO:

**DESIGN CONSULTANT:**  
**EDGE CONCEPTS INC.**  
 3805 CEDAR BLVD. SUITE 126  
 NEWARK, CA 94560  
 (916) 362-1000 FAX  
 (916) 362-1000 (CELL)  
 (916) 362-2149 (CELL)  
**GEOTECH CONSULTANT:**

**STRUCTURAL CONSULTANT:**  
**MOHAMMED S. GENITY (P.E. ENG)**  
 1500 S. GARDEN ST. SUITE 100  
 (916) 277-7888 (PH) (916) 352-0000 (FAX)  
**LAND SURVEYORS:**  
**RALPH (L.A.) CIVIL ENGINEERS**  
 4119 25th ST. #112  
 (415) 254-8777  
**ENERGY CONSULTANT:**

**MECHANICAL CONSULTANT:**  
**FIRE SPRINKLER CONSULTANT:**  
**LANDSCAPE CONSULTANT:**

OWNER INFO:

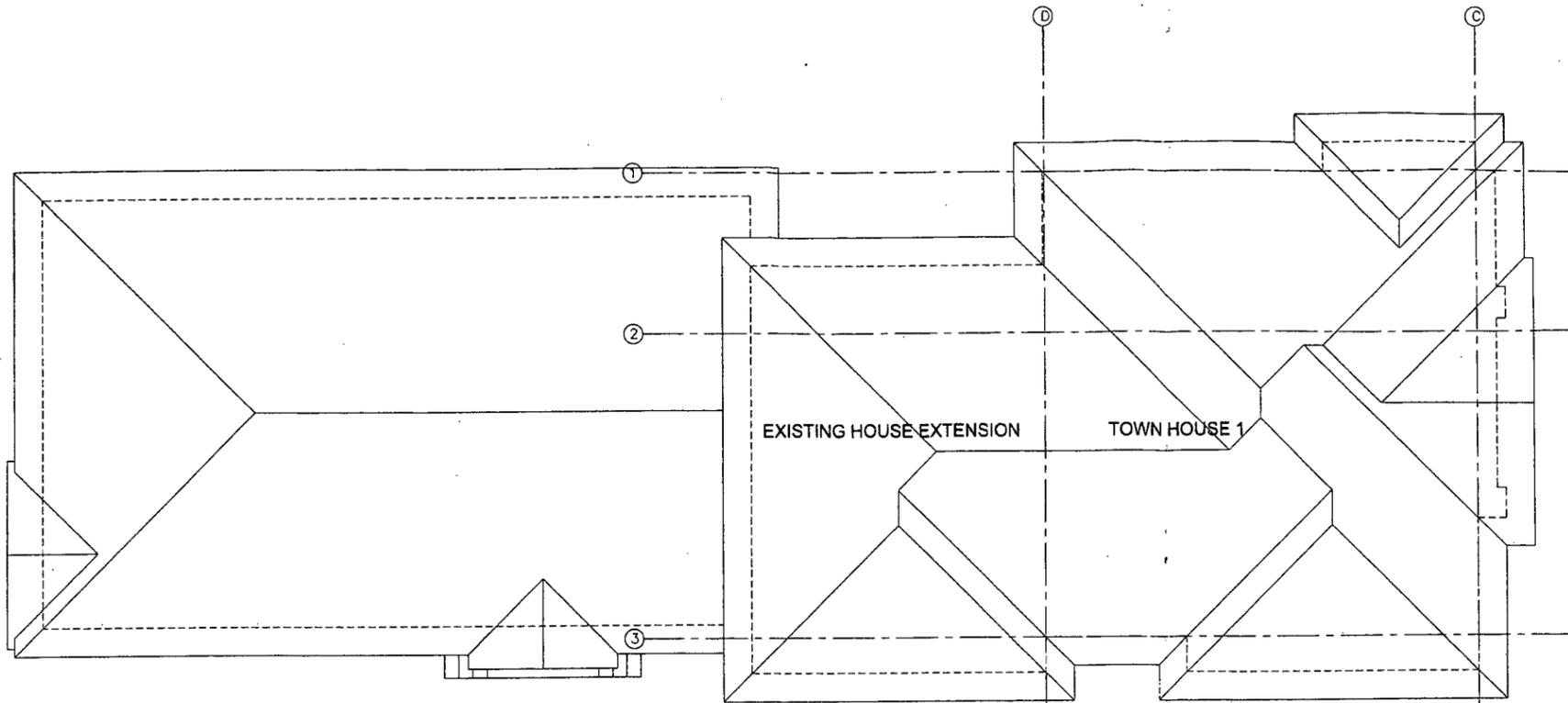
**SMALLEY HOMES DEVELOPMENT**  
 420 SMALLEY AVENUE  
 HAYWARD, CA 94541  
 APN: 4310008020

SHEET INFO:

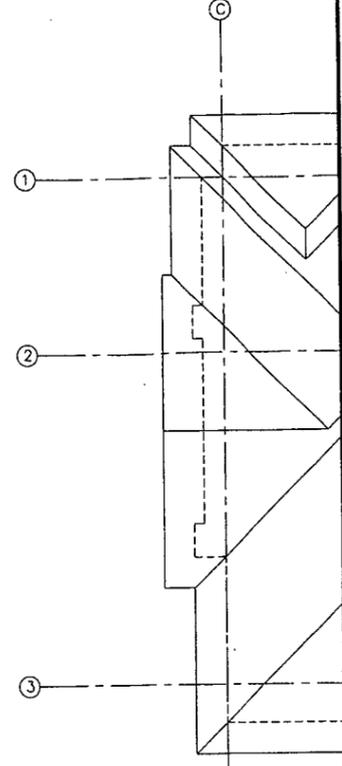
NO.	REVISION	DATE
01		
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**ROOF PLANS**  
 PROJECT NUMBER: SMA-HAY-420  
 ISSUED: 11.17.05  
 DESIGN BY: JM  
 DESIGN SUPERVISION: JM  
 FILENAME: SMA-HAY-420-PLA.DWG

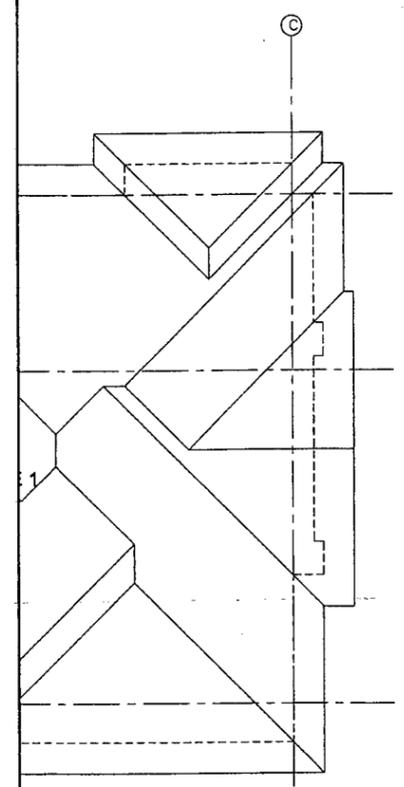
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**A 1.2**  
 OF 10 SHEETS



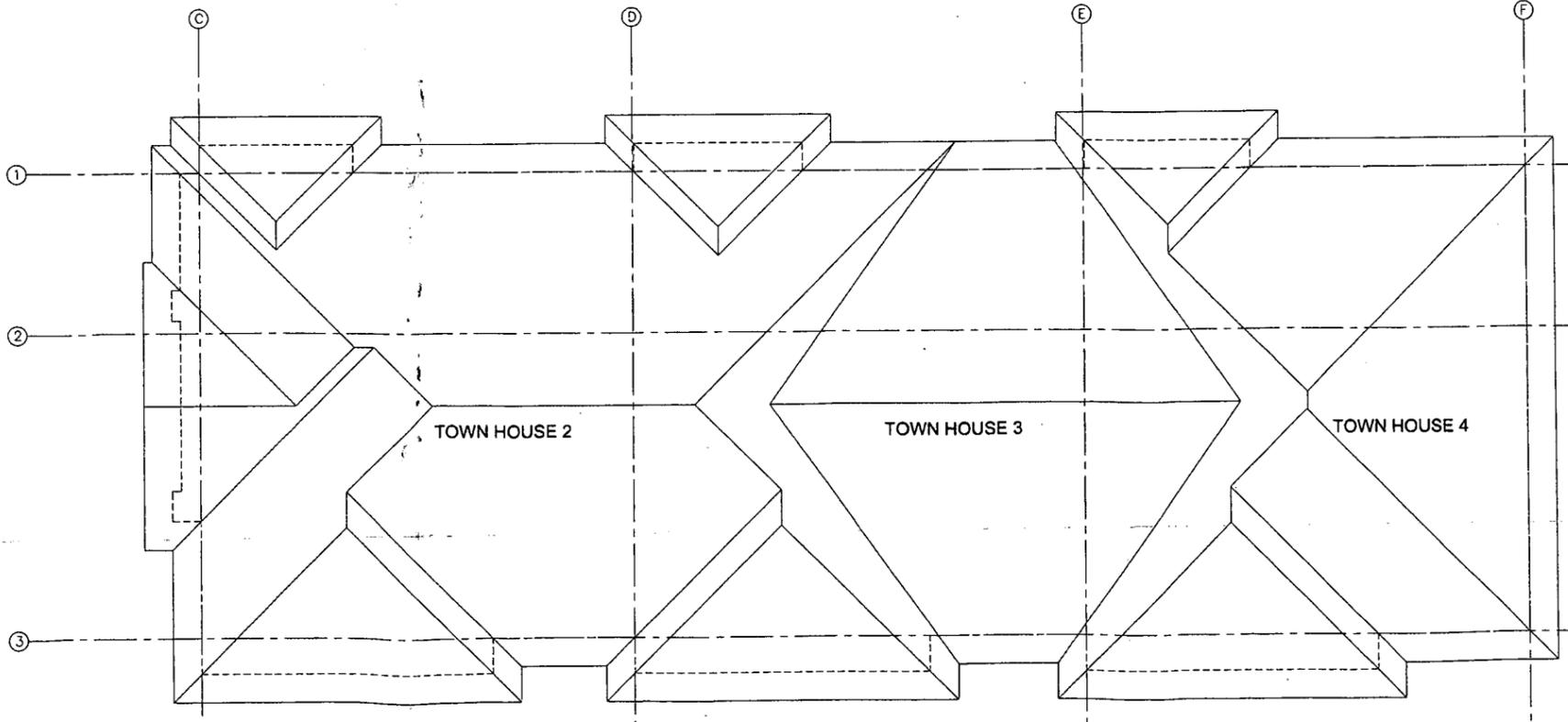
BLDG ONE: Roof Plan  
 Scale: 3/16" = 1'-0"



BLDG TWO: Roof Plan  
 Scale: 3/16" = 1'-0"



BLDG ONE: Roof Plan  
 Scale: 3/16" = 1'-0"



BLDG TWO: Roof Plan  
 Scale: 3/16" = 1'-0"



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2. The client is to be held responsible for construction unless the engineer is notified of any change in plans or conditions.  
3. These plans and prices shown, as instruments of service, are given by engineer or architect and are for use as the project proceeds. Reproduction and/or distribution without the prior written consent of engineer or architect is forbidden.  
4. Copyright U.S. County, 2004

REVISION HISTORY	DATE
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PROJECT  
5 UNIT SUBDIVISION  
AT  
420 SMALLLEY AVE.  
HAYWARD, CA



11/18/05

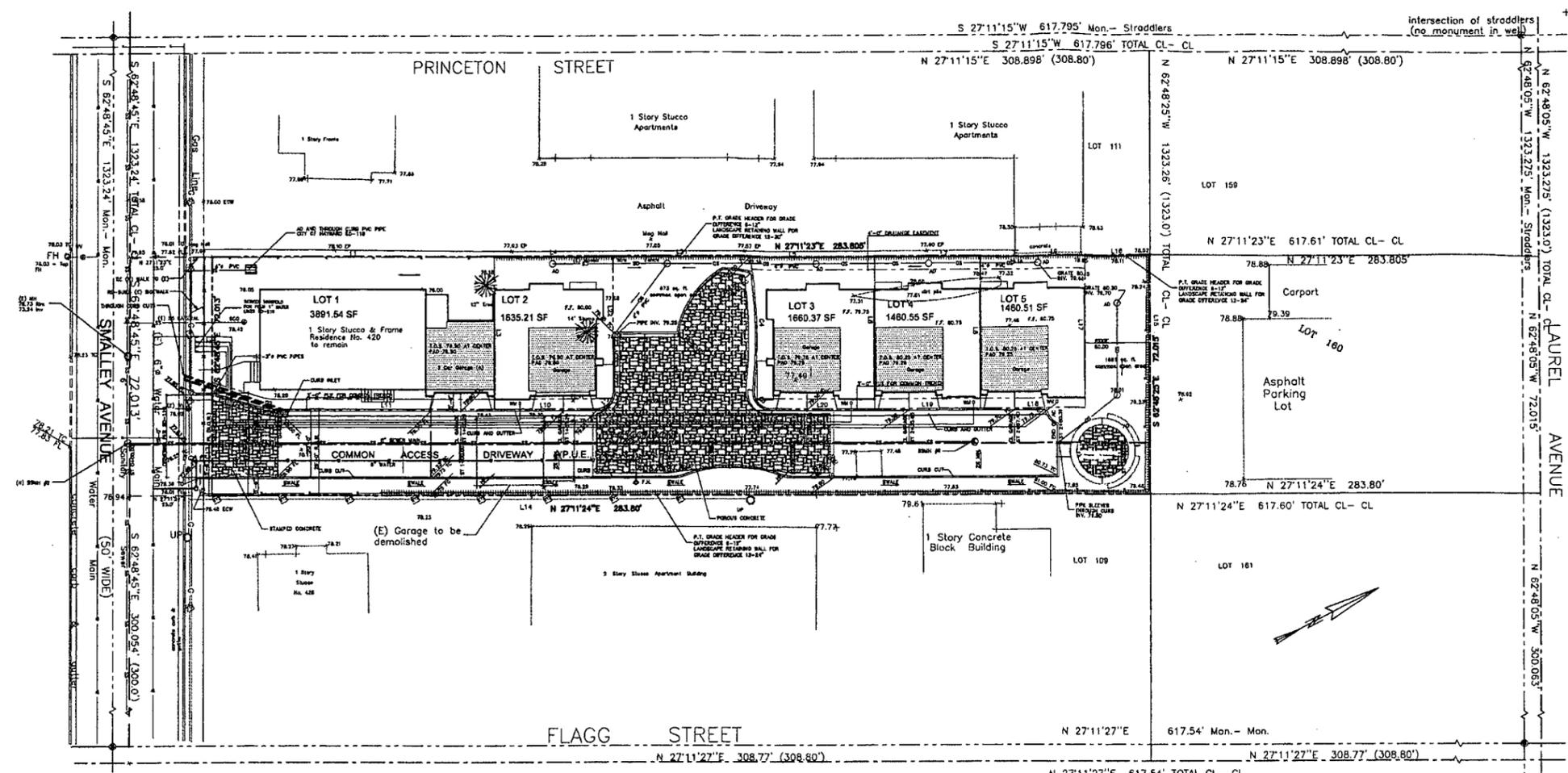
TENTATIVE MAP  
TRACT NO. 7699

TENTATIVE MAP

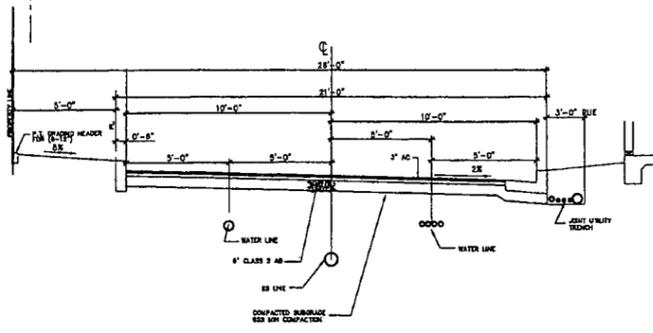
LINE	LENGTH	BEARING
L1	85.49	S27°11'33"W
L2	41.05	S62°48'45"E
L3	46.01	N62°48'37"W
L4	35.66	N27°11'33"E
L5	37.72	N27°11'33"E
L6	46.00	N62°48'37"W
L7	31.75	N27°11'33"E
L8	46.00	N62°48'37"W
L9	31.75	N27°11'33"E
L10	30.67	S27°11'23"W
L11	65.86	S27°11'23"W
L12	14.52	S43°44'38"W
L13	30.97	S62°48'45"E
L14	283.80	N27°11'24"E
L15	72.015	S62°48'25"E
L16	19.90	S27°11'33"W
L17	46.00	S62°48'37"E
L18	31.75	S27°11'23"W
L19	31.75	S27°11'23"W
L20	31.47	S27°11'23"W
L21	41.55	S27°11'23"W
L22	41.01	S62°48'37"E

CURVE	LENGTH	RADIUS
C1	7.89	4.92
C2	5.78	20.00
C3	8.37	5.00
C4	40.62	159.06

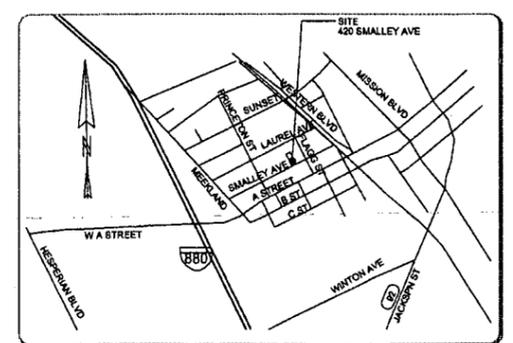
- LEGEND**
- ⊕ WATER METER
  - ⊖ NO PARKING AT ANYTIME SIGN
  - ⊗ TREE TO BE REMOVED
  - SS— SANITARY SEWER LINE
  - W— WATER MAIN LINE
  - SD— STORM DRAIN LINE
  - ⊙ STREET LIGHT
  - ⊕ FIRE HYDRANT
  - ⊖ SANITARY SEWER MANHOLE
  - ⊖ STORM DRAIN CATCH BASIN
  - ⊖ THE STORM DRAIN TO DOWN SPOUTS AND AREA DRAINS (TYP)
  - ▨ LANDSCAPED AREAS TO BE MAINTAINED BY HOMEOWNERS ASSOCIATION
- (E) EXISTING  
(N) NEW  
(O) BOTTOM OF CURB  
(EC) EDGE OF PAVEMENT  
(CB) CATCH BASIN  
(CI) CURB INLET  
(TO) TOP OF PAVEMENT  
(TC) TOP OF CURB  
(S/W) SIDE WALK  
(M) MANHOLE  
(MH) MANHOLE  
(PVC) POLYVINYL CHLORIDE  
(M) MANHOLE  
(PW) WATER METER  
(W/M) WATER METER  
(AC) ASPHALT CONCRETE  
(CS) CLEANOUT  
(DS) DOWN SPOUTS  
(P.U.E.) PUBLIC UTILITY EASEMENT  
(S.S.E.) SANITARY SEWER EASEMENT  
(E.V.A.E.) EMERGENCY VEHICLE ACCESS EASEMENT



**SITE PLAN**  
SCALE: 1" = 20'



**SECTION AT PRIVATE ROAD**  
SCALE: 1" = 4'



VICINITY MAP N.T.S.

**OWNER & DEVELOPER**  
JITENDER MAKKAR ETAL  
39675 CEDAR BLVD, SUITE 135  
NEWARK, CA 94560

**OWNER'S STATEMENT**  
I, \_\_\_\_\_, AGREE TO THE FILING OF SAID MAP AND AGREE TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP

**PARKING**  
TWO COMMON GUSSET PARKING

**BENCHMARK:**  
BRASS DISC ON TOP OF CURB AT DROP INLET AT INTERSECTION OF PRINCETON AND POPLAR.  
ELEVATION = 69.728 (ALAMEDA COUNTY DATUM)  
TOPO SURVEY BY THINGGARD LAND CONSULTANTS

- NOTES**
- ASSESSOR'S PARCEL NUMBER: 0431000802000
  - TOTAL AREA: 0.4897 ACRE
  - SERVICES:  
WATER: CITY OF HAYWARD  
SEWER: CITY OF HAYWARD
  - ZONING:  
EXISTING: RM (MEDIUM DEN SITY)  
PROPOSED: RM (MEDIUM DEN SITY)
  - THE COMMON DRIVEWAY SHALL BE DEDICATED AS A PUBLIC UTILITY EASEMENT (PUE), SANITARY SEWER EASEMENT (SSE) AND EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.)

**REVISION HISTORY**

NO.	DESCRIPTION	DATE
1	AS SHOWN	
2		
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10		

**PROJECT**  
5 UNIT SUBDIVISION  
AT  
420 SMALLLEY AVE.  
HAYWARD, CA



11/18/05

**TENTATIVE MAP**  
TRACT NO. 7699

TENTATIVE MAP

**LINE TABLE**

LINE	LENGTH	BEARING
L1	85.49	S27°11'33"W
L2	41.05	S62°48'45"E
L3	46.01	N62°48'37"W
L4	35.66	N27°11'33"E
L5	37.72	N27°11'33"E
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L21	41.55	S27°11'23"W
L22	41.01	S62°48'37"E

**CURVE TABLE**

CURVE	LENGTH	RADIUS
C1	7.89	4.92
C2	5.78	20.00
C3	8.37	5.00
C4	40.62	159.06

**LEGEND**

(M)	EXISTING
(N)	NEW
BC	BOTTOM OF CURB
EP	EDGE OF PAVEMENT
CB	CATCH BASIN
CI	CURB INLET
TP	TOP OF PAVEMENT
TC	TOP OF CURB
S/W	SIDE WALK
MAN	MANHOLE
PCV	POLYVINYL CHLORIDE
MANH	MANHOLE
RET	RETAINING WALL
WM	WATER METER
W/W	WATER MAIN
AC	ASPHALT CONCRETE
CL	CLEANOUT
SS	SEWER SPROUTS
P.U.E.	PUBLIC UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
E.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT

- NOTES**
- ASSESSOR'S PARCEL NUMBER: 0431000802000
  - TOTAL AREA: 0.4697 ACRE
  - SERVICES:  
WATER: CITY OF HAYWARD  
SEWER: CITY OF HAYWARD
  - ZONING:  
EXISTING: RM (MEDIUM DEN SITY)  
PROPOSED: RM (MEDIUM DEN SITY)
  - THE COMMON DRIVEWAY SHALL BE DEDICATED AS A PUBLIC UTILITY EASEMENT (PUE), SANITARY SEWER EASEMENT (SSE) AND EMERGENCY VEHICLE ACCESS EASEMENT (E.V.A.E.)

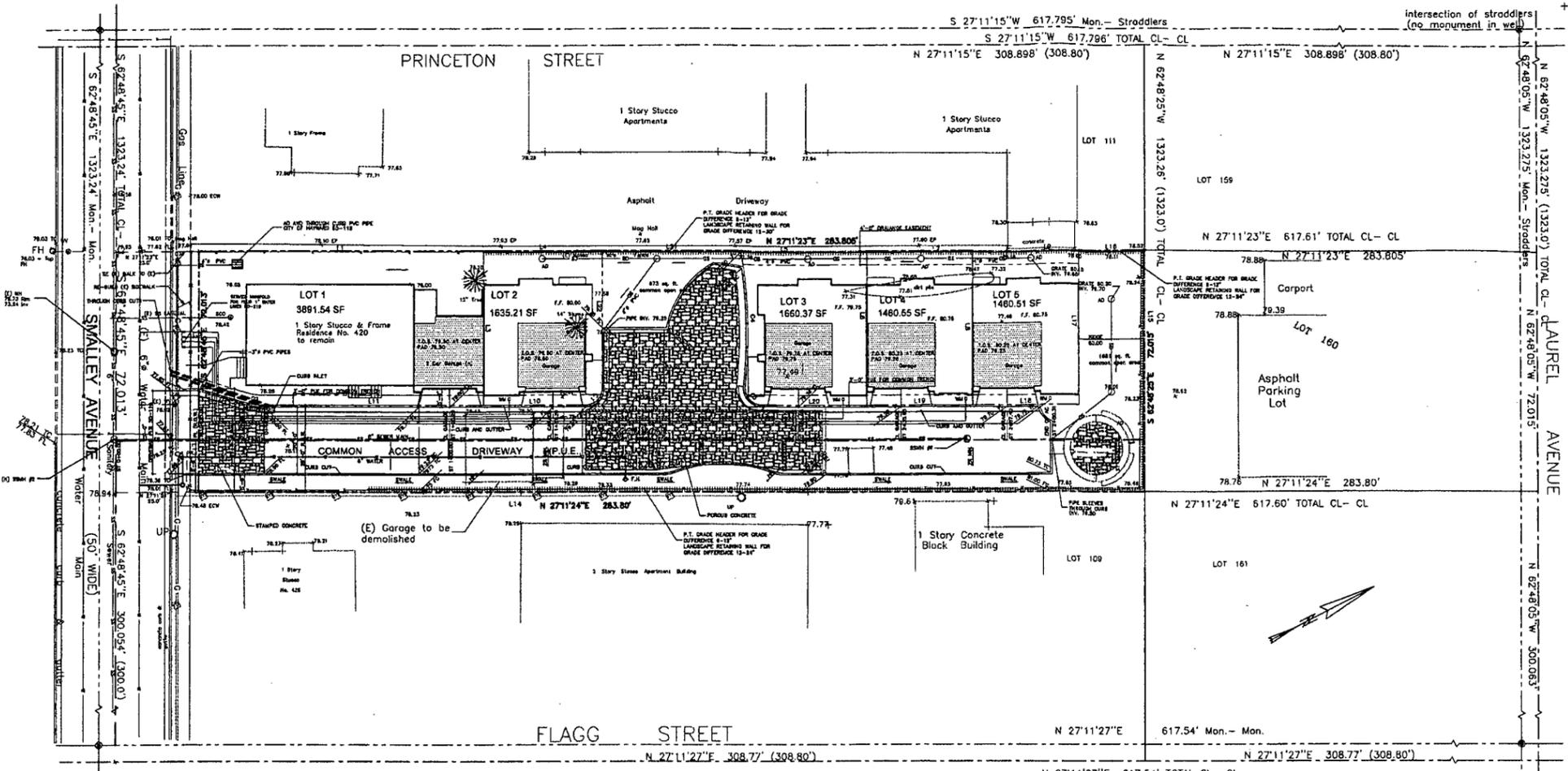
**OWNER & DEVELOPER**  
JITENDER MAKKAR ETAL  
39675 CEDAR BLVD, SUITE 135  
NEWARK, CA 94560

**OWNER'S STATEMENT**

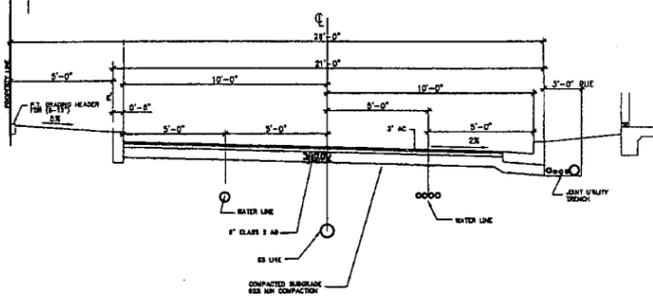
I, JITENDER MAKKAR AGREE TO THE FILING OF SAID MAP AND AGREE TO COMPLY WITH THE PROVISIONS OF THE CITY OF HAYWARD SUBDIVISION ORDINANCE AND THE STATE MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP

**PARKING**  
TWO COMMON GUSSET PARKING

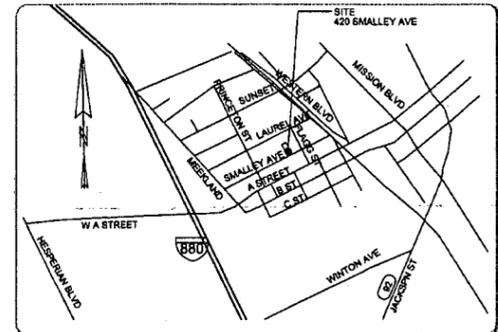
**BENCHMARK:**  
BRASS DISC ON TOP OF CURB AT DROP INLET AT INTERSECTION OF PRINCETON AND POPLAR.  
ELEVATION = 89.728 (ALAMEDA COUNTY DATUM)  
TOPO SURVEY BY THINGGARD LAND CONSULTANTS



**SITE PLAN**  
SCALE: 1" = 20'



**SECTION AT PRIVATE ROAD**  
SCALE: 1" = 4'



VICINITY MAP N.T.S.

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4. Copyright U.S. Design, 2004

REVISION HISTORY	DATE
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**PROJECT**  
5 UNIT SUBDIVISION  
AT  
420 SMALLEY AVE.  
HAYWARD, CA

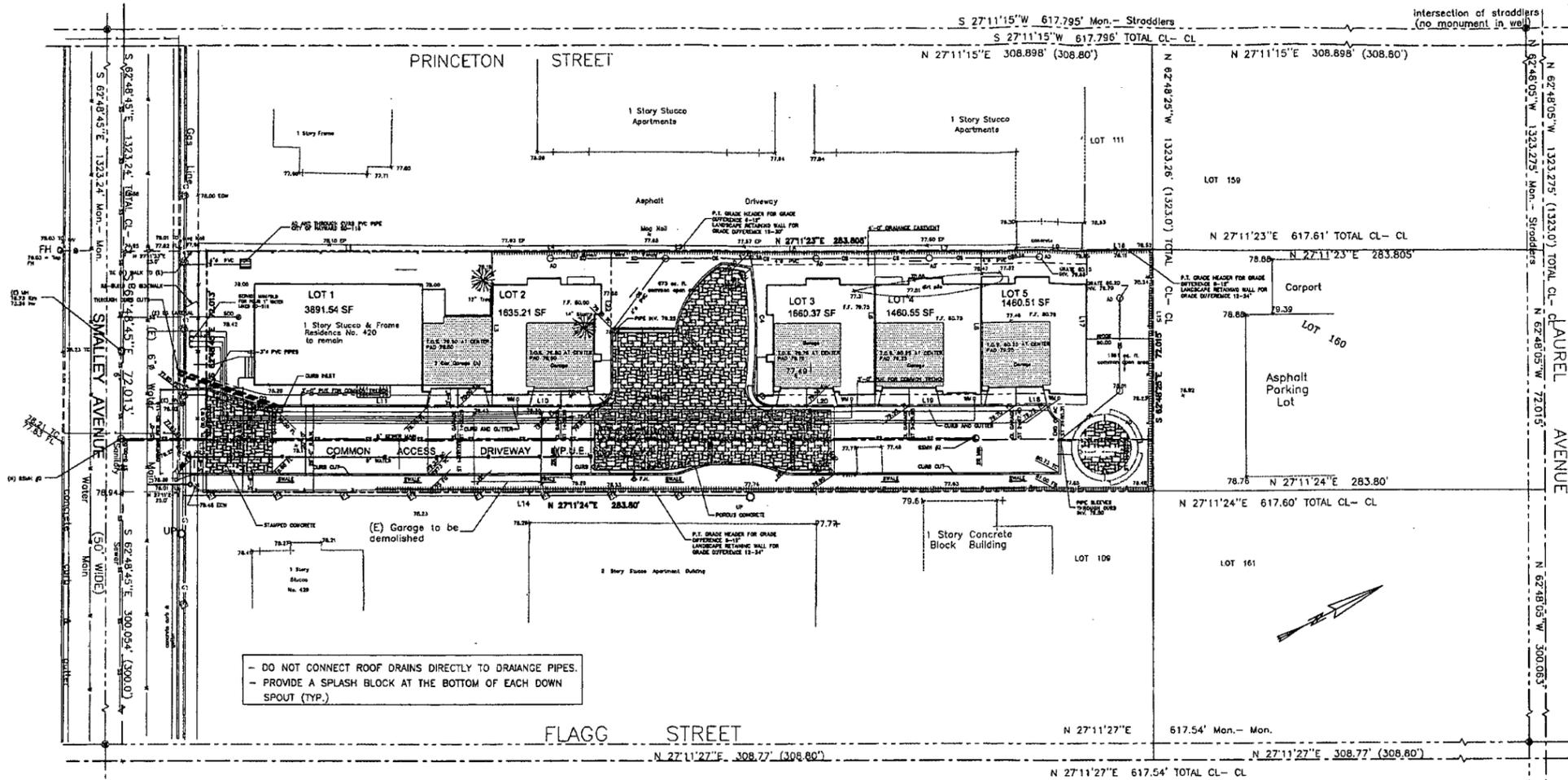


11/18/05

**TENTATIVE MAP**  
**TRACT NO. 7699**

**PRELIMINARY  
GRADING, DRAINAGE  
AND UTILITY PLAN**

Date: 11-18-05 Drawing Number: C-1  
Scale: AS NOTED  
Project Number: 05-295 SHEET 1 OF 1

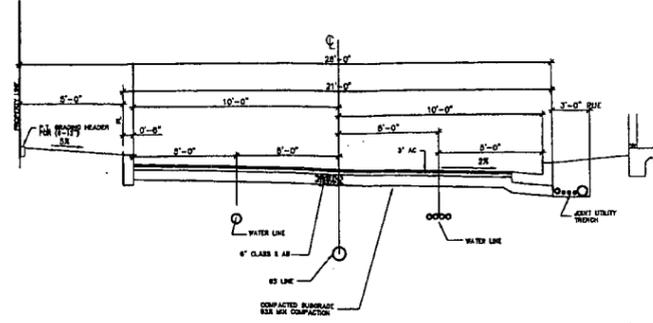


- LEGEND**
- WATER METER
  - NO PARKING AT ANYTIME SIGN
  - TREE TO BE REMOVED
  - SANITARY SEWER LINE
  - WATER MAIN LINE
  - STORM DRAIN LINE
  - STREET LIGHT
  - FIRE HYDRANT
  - SANITARY SEWER MANHOLE
  - STORM DRAIN CATCH BASIN
  - 1/2" STORM DRAIN TO DOWN SPOUTS AND AREA DRAINS (TYP)
  - LANDSCAPED AREAS TO BE MAINTAINED BY HOMEOWNERS ASSOCIATION
- (E) EXISTING  
(N) NEW  
BC BOTTOM OF CURB  
EC EDGE OF PAVEMENT  
CB CATCH BASIN  
CI CURB INLET  
TC TOP OF PAVEMENT  
TI TOP OF CURB  
S/W SIDE WALK  
M/M MAXIMUM  
M/M MINIMUM  
PVC POLYVINYL CHLORIDE  
M/M MANHOLE  
RW RETAINING WALL  
W/M WATER METER  
AC ASPHALT CONCRETE  
CC CLEANOUT  
P.U.E. PUBLIC UTILITY EASEMENT  
S.S.E. SANITARY SEWER EASEMENT  
E.V.A.E. EMERGENCY VEHICLE ACCESS EASEMENT

- DO NOT CONNECT ROOF DRAINS DIRECTLY TO DRAINAGE PIPES.  
- PROVIDE A SPLASH BLOCK AT THE BOTTOM OF EACH DOWN SPOUT (TYP.)

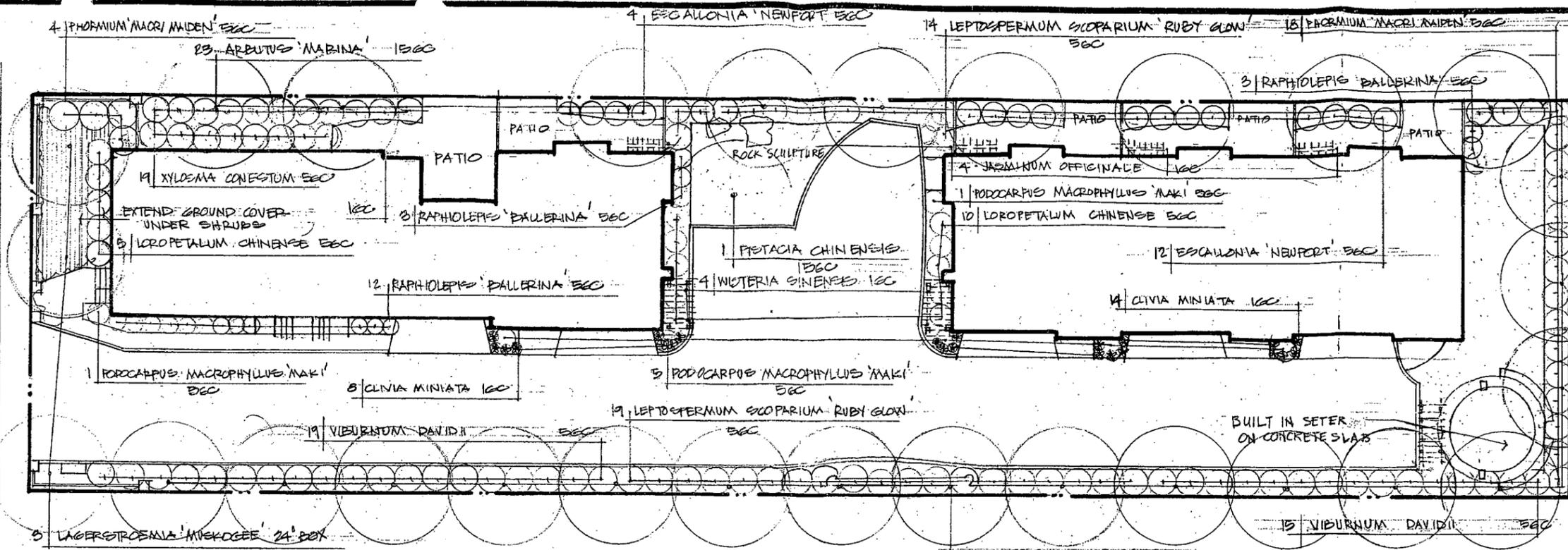
**A PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN**  
SCALE: 1" = 10'

**NOTE:**  
LANDSCAPE FINISHED GRADES WITHIN FIVE FEET OF THE BUILDING OR STRUCTURE SHALL SLOPE AWAY A 5% MINIMUM FROM FOUNDATION. ALL EXTERIOR HARD SURFACING (INCLUDING TERRACES) SHALL BE INSTALLED WITH 1% MINIMUM GRADIENT, AND SHALL DRAIN AWAY FROM THE BUILDING. FINISHED GRADE DRAINAGE SHALL HAVE A MINIMUM SLOPE OF 1.5%. PAVEMENT SLOPES SHOULD NOT EXCEED 5% NOR BE FLATTER THAN 1% WITHIN ALL HARD SURFACING (CONCRETE AND OR PAVING) AREAS. PORTLAND CEMENT CONCRETE CURB AND GUTTER DRAINS SLOPE MAY NOT BE LESS THAN 0.50%. ACCESSIBLE PARKING SHALL NOT SLOPE MORE THAN 2% IN ANY DIRECTION. DO NOT CONNECT ROOF LEADERS DIRECTLY TO STORM DRAIN. INSTALL SPLASH BLOCKS AT ALL LANDSCAPE AREAS.



**B SECTION AT PRIVATE ROAD**  
SCALE: 1" = 4'

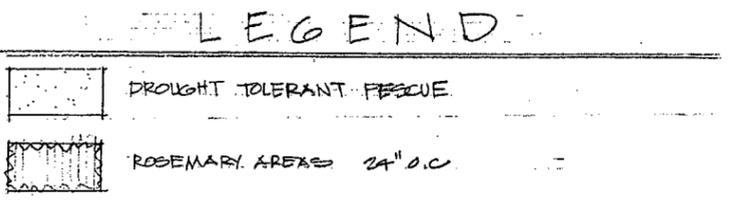
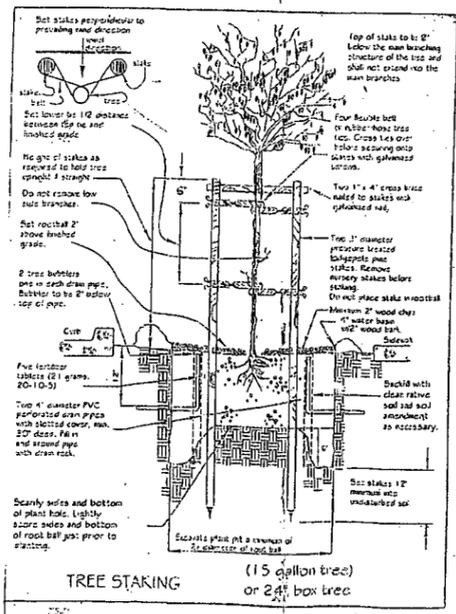
SMALLEY AVENUE



NOTE:  
 INSTALL VINCA MINOR 18" O.C. UNDER ALL SHRUBS. INSTALL 2" DARK MULCH IN ALL PLANTING AREAS EXCEPT TURFED AREAS.

PLANT LIST

QUANTITY	BOTANICAL & COMMON NAME	SIZE
25	TREES: ARBUTUS MARINA - STRAWBERRY TREE	156C
5	LAGERSTROEMIA MUSKOGEEE - CRAPE MYRTLE	24" BOX
1	PIETACIA CHINENSIS - CHINESE PETASHE	156C
16	SHRUBS: ESCALLONIA NEUFORT	56C
33	LEPTOSPERMUM SCOPARIUM RUBY GLOW - AVST TEA TREE	56C
15	LOROPETALUM CHINENSE	56C
22	PHORNIUM MACROCARPUM - FLAX	56C
7	PODOCARPUS MACROPHYLLUS MAKI - SHRUBBY YEN PINE	56C
23	VIBURNUM DAVIDII	56C
20	RAPHIOLEPIS BALLEERINA - PINK INDIA HAWTHORN	56C
19	XILOEMA CONGESTUM - SHINY XILOEMA	56C
22	CLIVIA MINIATA - KAPRI LILY	16C
AS REQD	GROUND COVERS: ROSMARINUS PROSTRATUS - ROSEMARY	16C
AS REQD	VINCA MINOR - DWARF PERIWINKLE	16C
4	VINES: WISTERIA SINENSIS - CHINESE WISTERIA	16C
4	JASMINUM OFFICINALE - COMMON JASMINE	16C



REVISIONS	BY
PLANTING	WFS
REVISED 10/28/05	WFS

NORTH  
 WESLEY T. SAKAMOTO  
 LANDSCAPE ARCHITECT # 1076  
 665 HOLTWOOD DRIVE  
 SAN LEANDRO, CA 94578



DRAWN	WFS
CHECKED	
DATE	9/14/05
SCALE	1"=10'
JOB NO.	
SHEET	L1
OF SHEETS	