



CITY OF HAYWARD AGENDA REPORT

Meeting Date 06/19/03
Agenda Item 2

TO: Planning Commission

FROM: Erik J. Pearson, AICP, Associate Planner

SUBJECT: Planning Director's Referral of Administrative Use Permit No. PL-2003-0108 – Request to Renovate a Gas Station and Build a New Mini-Mart with an Attached Carwash – Jody Malone for Designers Collective (Applicant)/Sam Hirbod (Owner)

The Project Location Is 21501 Foothill Boulevard, at the Corner of Grove Way, in a General Commercial (CG) Zoning District

RECOMMENDATION

Staff recommends that the Planning Commission:

1. Find that the proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) Guidelines, pursuant to Section 15332 *In-Fill Development Projects*; and
2. Approve the Administrative Use Permit application, subject to the attached findings and conditions.

DISCUSSION

The existing service station was built in 1958 when the property was under the jurisdiction of Alameda County. The station is currently operated as an *In and Out Gas* and has a small repair shop. The applicant has proposed to demolish the existing repair shop/cashier building in order to build a new mini-mart with an attached carwash at the rear of the building. The General Plan designation for the property is Commercial/High-Density Residential (CHDR), which supports general commercial uses. The property is located in a General Commercial (CG) zoning district, which allows service station and a carwash as use subject to approval of an Administrative Use Permit. The Planning Director could approve the Administrative Use Permit, however, due to opposition from an interested party, staff is referring the application to the Planning Commission.

The proposal includes a new canopy over the gas pumps and new landscaping throughout the site. The mini-mart would be 1,870 square feet and the attached carwash building would be 750 square feet. The carwash would not be visible from Foothill Boulevard and only the exit of the carwash would be visible from Grove Way. View of the carwash exit would be obscured by landscaping and the trash enclosure, which is designed to match the building in terms of colors

and materials. The building and canopy structure have been designed with a Spanish mission style architecture as recommended by the North Hayward Neighborhood Plan

A total of 10 parking spaces are required for the gas station, market and carwash. Eleven spaces are proposed, four of which are located across the southerly property line. The gas station property and the office building property to the south are currently under the same ownership. It has been made a condition of approval that should either property be sold separately, an easement must be recorded to ensure that those four parking spaces remain available for use by customers or employees of the gas station.

There are four driveways serving the gas station. The applicant proposes to eliminate the one on Grove Way that is closest to Foothill Boulevard. It is expected that closure of the driveway will benefit traffic flow when cars are backed up on Grove waiting to turn onto Foothill.

The Zoning Ordinance requires that service stations have at least 20 percent of the site covered by landscaping. The gas station currently has minimal landscaping. The proposal includes landscaping on 28 percent of the site. The proposal includes a 10-foot wide landscape strip along the Foothill and Grove frontages with a larger planter area at the corner where a new monument sign would be located. A 20-foot landscape area would be provided between the rear of the carwash building and the rear property line, which would help to serve as a buffer to the occupants of the adjacent residential property.

The applicant retained a professional acoustical engineer to evaluate the impact the noise from the carwash will have on the residential property to the west. The existing average background noise level at the west property line is 60 to 62 decibels (dB(A)). Based on information from the carwash equipment manufacturer, the loudest part of the wash/dry cycle can generate noise levels of 83 dB(A) at a point 20 feet from the exit door of the carwash. The consultant recommended several mitigation measures that would reduce the noise generated by the operation of the carwash so that there would be less than a 3 dB(A) increase in the noise level of the residential property. These mitigation measures have been made conditions of approval and include building a 6-foot sound wall on the west and a portion of the south property lines, reducing the sizes of the entrance and exit openings, adding sound absorbing material to the inside of the carwash and installing roll-up doors to the entrance and exit of the carwash. The doors would be required to be closed during washing and drying operations.

An interested party living on Grove Way has registered opposition to the proposed carwash and service station renovation on the basis that traffic at the Foothill and Grove intersection is already bad and will get worse with the project. The neighbor has noted that cars traveling east on Grove Way stack up at the traffic light at Foothill Boulevard and cars exiting the gas station onto Grove compound the problem. As noted above, the applicant has proposed closing one driveway on Grove Way, which should alleviate the current situation. Also, based on data from the Institute of Transportation Engineers (ITE), a service station with a convenience market and a carwash generates fewer daily vehicle trips than a service station with only a convenience market and fewer than a stand alone service station.

ENVIRONMENTAL REVIEW

The proposed project is Categorical Exempt from the California Environmental Quality Act (CEQA) guidelines, pursuant to Sections 15332, *In-Fill Development Projects*.

PUBLIC NOTICE

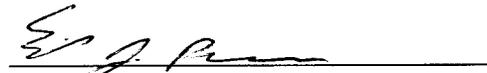
On February 25, 2003, a Referral Notice was sent to every property owner and occupant within 300 feet of the subject site, as noted on the latest assessor's records. Notice was also provided to the North Hayward Neighborhood Task Force and interested parties. One neighbor contacted staff and objected to the project based on anticipated traffic impacts.

On June 7, 2003, a Notice of Public Hearing for the Planning Commission meeting was mailed. In addition, a public notice sign was placed at the site prior to the Public Hearing to notify neighbors and interested parties residing outside the 300-foot radius.

CONCLUSION

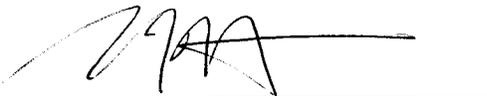
The proposed project complies with the City Zoning Ordinance, the City's Design Guidelines and the North Hayward Neighborhood Plan. The proposal would improve the appearance of this intersection and would have a positive impact on this major gateway to Hayward. Staff recommends that the Planning Commission approve the Administrative Use Permit application.

Prepared by:



Erik J. Pearson, AICP
Associate Planner

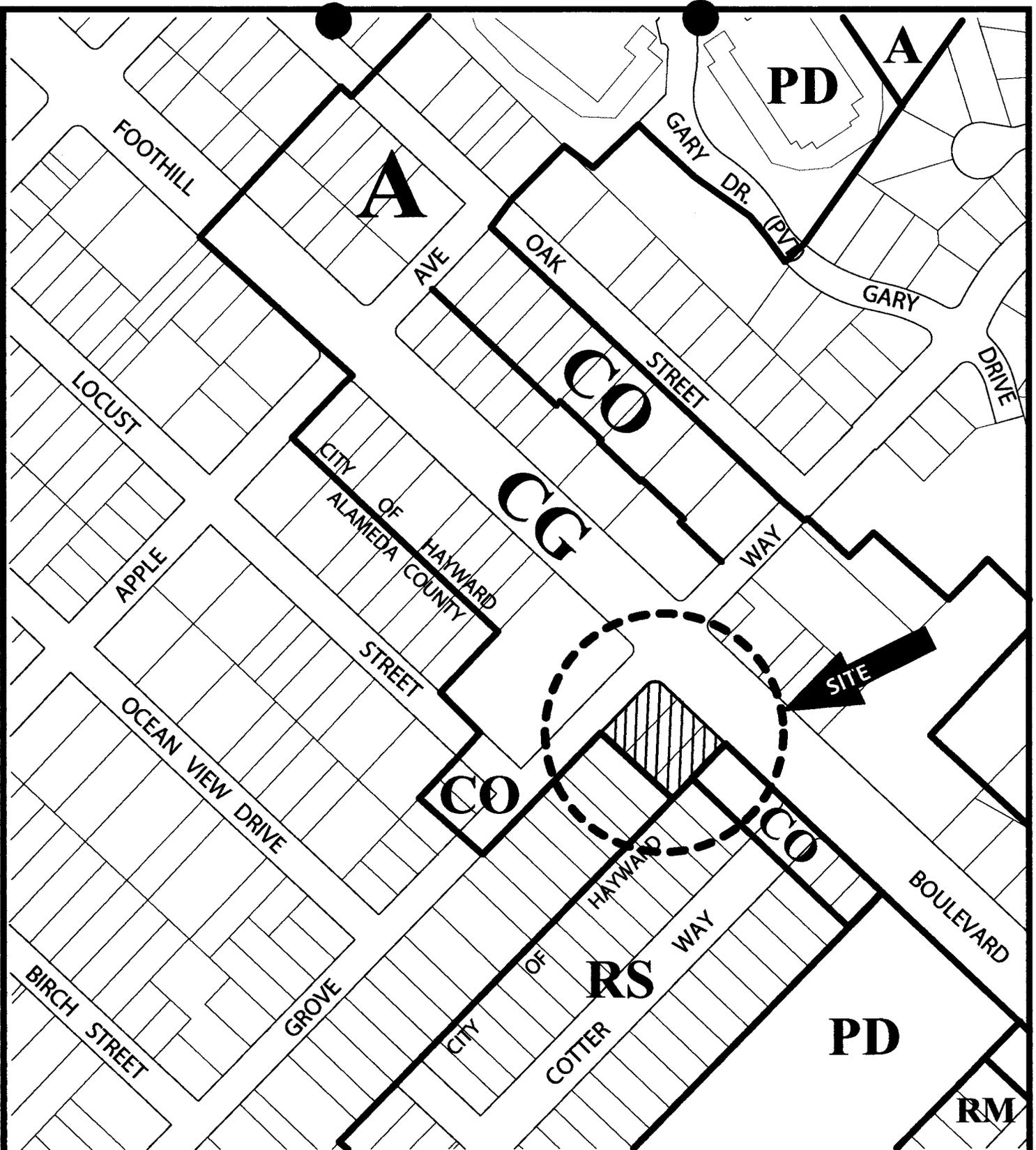
Recommended by:



Dyana Anderly, AICP
Planning Manager

Attachments:

- A. Area & Zoning Map
- B. Findings for Approval of Administrative Use Permit Application No. PL-2003-0108
- C. Conditions of Approval for Administrative Use Permit Application No. PL-2003-0108 Plans



Area & Zoning Map

PL-2003-0108 AUP

Address: 21501 Foothill Boulevard

Applicant: Jody Malone

Owner: SAM Hirbod

A-Agricultural-ABSA,AB10A,AB100A,AB160A

CG-General Commercial

CO-Commercial Office

PD-Planned Development

RM-Medium Density Residential RMB 3.5, RMB 4

RS-Single-Family Residential,RSB4,RSB6



**CITY OF HAYWARD
PLANNING DIVISION
ADMINISTRATIVE USE PERMIT
APPROVAL**

JUNE 19, 2003

ADMINISTRATIVE USE PERMIT APPLICATION NO. PL-2003-0108: Jody Malone for Designers Collective (Applicant)/Sam Hirbod (Owner) – Request to Renovate a Gas Station and Build a New Mini-Mart with an Attached Carwash

The Project Location Is 21501 Foothill Boulevard, at the Corner of Grove Way, in a General Commercial (CG) Zoning District

FINDINGS FOR APPROVAL:

- A. Approval of Administrative Use Permit application No. PL-2003-0108, as conditioned, will have no significant impact on the environment, cumulative or otherwise, and the project reflects the City's independent judgment and is exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15332 of the CEQA Guidelines (In-Fill Development Projects).
- B. The proposed carwash and station renovation is desirable for the public convenience or welfare in that the carwash and mini mart will be open to and will serve the public.
- C. That the proposed carwash and station renovation will not impair the character and integrity of the General Commercial District or surrounding area in that the proposal should improve the character of the area with the construction of the new building and the installation of new landscaping.
- D. The proposed carwash and station renovation will not be detrimental to the public health, safety or general welfare in that, as conditioned, the use will not cause any significant negative impacts (including noise) to the public.
- E. The proposed use is in harmony with applicable City policies and the intent and purpose of the General Commercial Zoning District. The proposal is consistent with the City Zoning Ordinance, the Design Guidelines and the North Hayward Neighborhood Plan.

ATTACHMENT B

**CITY OF HAYWARD
PLANNING DIVISION
ADMINISTRATIVE USE PERMIT
APPROVAL**

JUNE 19, 2003

ADMINISTRATIVE USE PERMIT APPLICATION NO. PL-2003-0108: Jody Malone for Designers Collective (Applicant)/Sam Hirbod (Owner) – Request to Renovate a Gas Station and Build a New Mini-Mart with an Attached Carwash

The Project Location Is 21501 Foothill Boulevard, at the Corner of Grove Way, in a General Commercial (CG) Zoning District

CONDITIONS OF APPROVAL:

1. Administrative Use Permit Application No. PL-2003-0108, is approved subject to the plans labeled Exhibit "A" and the conditions listed below. This permit becomes void one year after the effective date of approval, unless prior to that time a building permit application has been submitted and accepted for processing by the Building Official, or a time extension of this application is approved. A request for a one-year extension, approval of which is not guaranteed, must be submitted to the Planning Division at least 15 days prior to the above date.
2. If a building permit is issued for construction of improvements authorized by the administrative use permit approval, the administrative use permit approval shall be void two years after issuance of the building permit, or three years after approval of the application, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance upon the administrative use permit approval.
3. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
4. Any proposal for alterations to the proposed site plan and/or design, which does not require a variance to any zoning code, must be approved by the Planning Director prior to implementation.
5. Prior to application for a Building Permit, the following changes shall be made to the plans:
 - a) A copy of these conditions of approval shall be included on a full-sized sheet(s) in the plan set.
 - b) The design of the monument sign shall be revised to better reflect the Spanish architecture of the building and canopy.

ATTACHMENT C

- c) Include details of the 6-foot sound wall on the west and a portion of the south property lines. It should be noted that the wall will be 6 feet high above the finished floor level of the carwash.
 - d) Reduce the sizes of the entrance and exit openings per the report by The Acoustics and Vibration Group dated May 8, 2003.
 - e) Show that sound absorbing material will be added to the inside of the carwash per the report by The Acoustics and Vibration Group dated May 8, 2003.
 - f) Pedestrian walkways and circulation areas shall be raised 6 inches in height above the finished parking lot level.
 - g) The pavement at the driveway entries shall be enhanced by the use of decorative pavement materials such as colored, stamped concrete (bomanite or equal), brick, concrete interlocking pavers or other approved materials. The location, design and materials shall be approved by the Planning Director.
 - h) Downspouts and other similar appurtenances shall be enclosed within the structure.
 - i) A decorative pre-cast concrete trash receptacle, with a self-closing metal lid, shall be located near each of the exterior customer doors. The Planning Director shall approve the design and placement.
6. Prior to issuance of a building permit, the developer shall cause to be recorded a Covenant against parcels (APN 428-0016-014 and APN 428-0016-017-01) stating that if either parcel is sold separately, then an easement shall be recorded for the benefit of the gas station property guaranteeing that the four parking spaces along the southerly property line of APN 428-0016-014 may be used by customers or employees of the gas station.
 7. The roll-up doors shall remain closed during washing and drying operations.
 8. The hours of operation for the carwash shall be no earlier than 7 a.m. and no later than 10 p.m. daily.
 9. The sale of alcoholic beverages is prohibited.
 10. No vending machines or other goods or products shall be displayed or sold outside the building, excluding newspaper racks.
 11. If a public telephone is installed on the premises, it shall be inside the convenience market.
 12. No outdoor public address system shall be used.

13. No mechanical equipment, or solar collectors, may be placed on the roof unless it is adequately screened from view by the proposed roof structure. Prior to construction, documentation shall be provided that the roof-mounted mechanical equipment is adequately screened.
14. Utility meters, when not enclosed in a cabinet, shall be screened by either plant materials or decorative screen, allowing sufficient access for reading.
15. Any television or satellite reception antennas shall be completely screened from view by the proposed roof structure.
16. Any transformer shall be located underground or screened from view by landscaping and shall be located outside any front or side street yard.
17. The project shall comply with the recommendations of the Acoustical Analysis prepared for the project by The Acoustics & Vibration Group on May 8, 2003.
18. Lighting in the parking areas and exterior walkways shall conform to the Security Ordinance and be controlled by photocells. The lighting plan shall be approved by the Planning Director.
19. The project shall comply with the provisions of the Security Ordinance that pertain to address numbers, and all newly-installed doors, windows and locks.
20. Management shall take necessary steps to assure the orderly conduct of employees, patrons and visitors on the premises.
21. Prior to final inspection all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the Planning Director.
22. Violation of these conditions or requirements may result in the City of Hayward instituting a revocation hearing before the Planning Commission.

Landscaping:

23. Prior to the approval of improvement plans, or issuance of the first building permit, detailed landscaping and irrigation plans shall be prepared by a licensed landscape architect and submitted for review and approval by the City. Landscaping and irrigation plans shall comply with the City's Water Efficient Landscape Ordinance. Some of the plant material as shown on the conceptual plan will not be appropriate for the use shown. Additional groundcover may be required in some areas. This will require revision during the plan check process.
24. One 24" box street tree is required for every 20 – 40 lineal feet of frontage. Spacing of the trees is dependant on the species of trees. Smaller trees will require closer spacing. Trees shall be planted to fill vacancies in the street tree pattern, and to replace any declining or dead trees. Trees shall be planted according to the City Standard Detail SD-

122. Street trees as shown on the conceptual plan would meet this requirement in the species proposed.
25. Landscaped areas adjoining drives and/or parking areas shall be separated by a 6" high class "B" Portland Cement concrete curb.
26. Masonry walls, solid building walls, trash enclosures or fences facing a street or driveway shall be continuously buffered with shrubs and vines. Provide vines at about ten feet on center on all of these locations. Some types of vines may require trellis work.
27. Parking and loading areas shall be screened from the street with shrubs, masonry walls or earth berms, as determined by the Planning Director. Where shrubs are used for screening, the type and spacing of shrubs shall create a continuous 30" high evergreen hedge within two years. This measurement shall be from the top of curb.
28. A landscape buffer including shrubs and one 15-gallon evergreen tree for every 20 lineal feet of property line shall be planted between the service station and the adjacent residential use.
29. All above ground utilities, mechanical equipment and trash enclosures shall be screened from the street with shrubs. This should be added as a note to the construction drawings as the exact location of all visible utilities is not always known until after construction takes place.
30. Landscaping shall be maintained in a healthy, weed-free condition at all times. The owner's representative shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over 30% die-back) shall be replaced within ten days of the inspection. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected by, and size determined by the City Landscape Architect, within the timeframe established by the City and pursuant to Municipal Code. The proposed street trees will, over time, block the view of the billboard. These trees may not be topped, pollarded or rounded over in the future so this must be taken under consideration during this construction.
31. Landscape improvements shall be installed according to the approved plans and a Certificate of Substantial Completion, and an Irrigation Schedule shall be submitted prior to the issuance of a Certificate of Occupancy.

Engineering:

32. The project plan shall identify Best Management Practices (BMPs) appropriate to the uses conducted on-site in order to limit the entry of pollutants into the storm water runoff to the maximum extent practicable.
33. Fuel dispensing area must be paved with Portland Cement concrete with the minimum slope necessary to prevent ponding and must be separated from the rest of the site by a grade break that prevents run-on of storm water to the extent practicable. The fuel

dispensing area is defined as extending a minimum of 6.5 feet from the corner of each fuel dispenser or the length at which the hose and nozzle assembly may be operated plus a minimum of one foot, whichever is more.

34. The fuel dispensing area must be covered and the cover's minimum dimensions must be equal to or greater than the area within the grade break or fuel dispensing area, as defined above. The cover must not drain onto the fuel dispensing area.
35. Any broken sidewalk along the property frontage that creates a tripping hazard shall be removed and replaced.
36. A Caltrans Permit is required for any work along the Foothill Boulevard right-of-way.
37. The existing driveway along Grove Way (closest to Foothill Boulevard) shall be removed and be replaced with a standard curb, gutter and sidewalk.
38. Any new retaining walls shall be reinforced concrete.

Fire Department:

39. Plans must meet requirements as set forth in the California Fire Code (CFC), Article's 52, 79 and 80.
40. The developer must meet requirements as set forth in the CFC, Article 87, for demolition and construction of structures.
41. Fuel dispensers shall meet installation requirements as set forth in the CFC, Article 52, 79 and 80.
42. A Fuel pump shut-off shall be located in an approved location as required per CFC, Article 52.
43. Portable fire extinguishers shall be provided for the fuel island and within the mini-mart as per the CFC, Article 10 and NFPA Standards.
44. No commercial cooking equipment will be allowed within the mini-mart unless reviewed and approved by the Fire Department. If commercial cooking equipment is installed, it shall be protected with automatic fire suppression system(s).
45. Signage shall be installed in locations on the site regarding fuel dispensing hazards, no smoking and no open flame, and emergency pump shut-off switch location.
46. During demolition and construction, the applicant shall notify the Fire Department immediately of any findings of tanks, abandoned piping or contamination.

47. If soil and/or groundwater contamination are encountered during demolition or construction, the Fire Department shall be notified and the contractor will be responsible for investigating, remediate, and/or otherwise manage the situation properly.
48. If during demolition and construction there is/are any known and/or unknown hazardous materials tank(s), piping, hydraulic lifts and sumps found, they must be properly removed and attended to. Soils shall be tested and a Fire Department permit shall be obtained to perform this kind of testing.

Public Works –Water Pollution Source Control

49. Stormwater Best Management Practices (BMPs) for the Construction Industry shall be employed for this project.
50. Best Management Practices for Retail Gas Outlets shall be implemented.
51. All on-site storm drain inlets shall be clearly stenciled “No Dumping, Drains to Bay.”

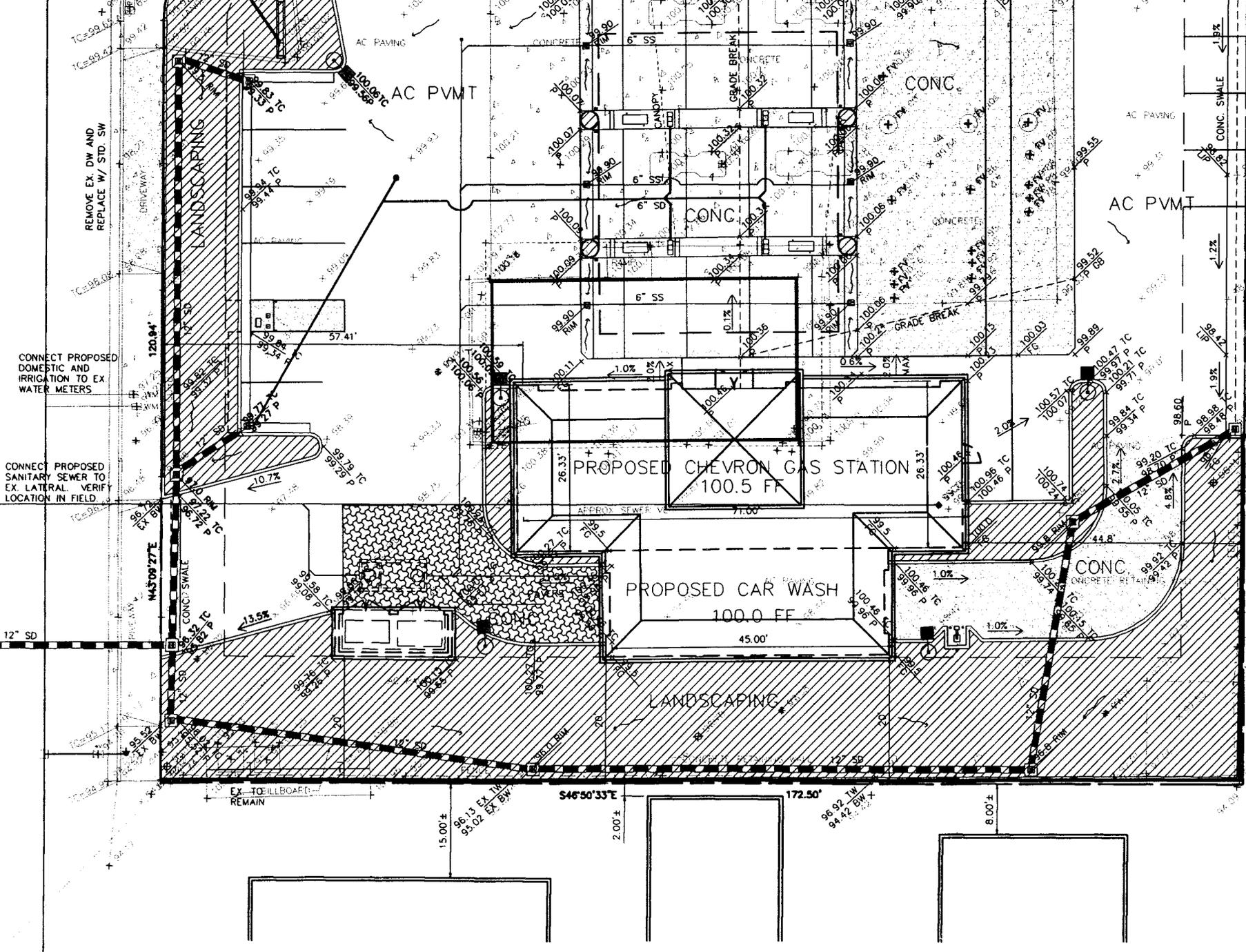
Oro Loma Sanitary District:

52. The applicant shall submit a complete sanitary sewer plan for all on-site and off-site improvements prepared by a Registered Civil Engineer for the review and approval of the District Engineer. All sanitary sewer improvements shall be designed and constructed in accordance with the District’s Design Standards, Specifications and Standard Plans, unless otherwise specifically approved by the District Engineer. Sanitary sewer improvements shall include, but not limited to, on-site and off-site sanitary sewer systems and associated structures necessary for a complete and acceptable sanitary sewer improvement project.
53. A separate District Permit shall be obtained prior to installation and connection of all on-site and off-site sanitary sewer lines to the District facility and compliance to the conditions set forth in the permit.

Solid Waste & Recycling:

54. A Construction and Demolition Debris Recycling Statement must be submitted with the building permit application.
55. A Construction and Demolition Debris Recycling Summary Report must be completed, including weigh tags, at the COMPLETION of the project.

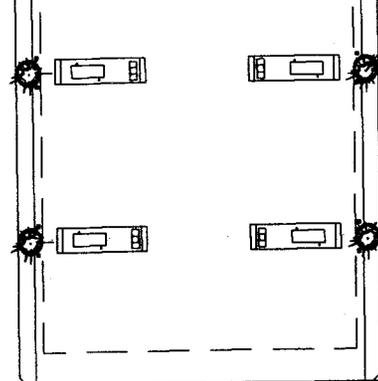
GROVE WAY
(R/W 55' WIDE)



CUNHA ENGINEERING INC. ■■■■

SMALL SCALE EVERGREEN
GROUNDCOVER

DOUBLE ROW OF 3' EVERGREEN
SHRUBS TO SCREEN PARKING LOT



PLANTS IN POTS

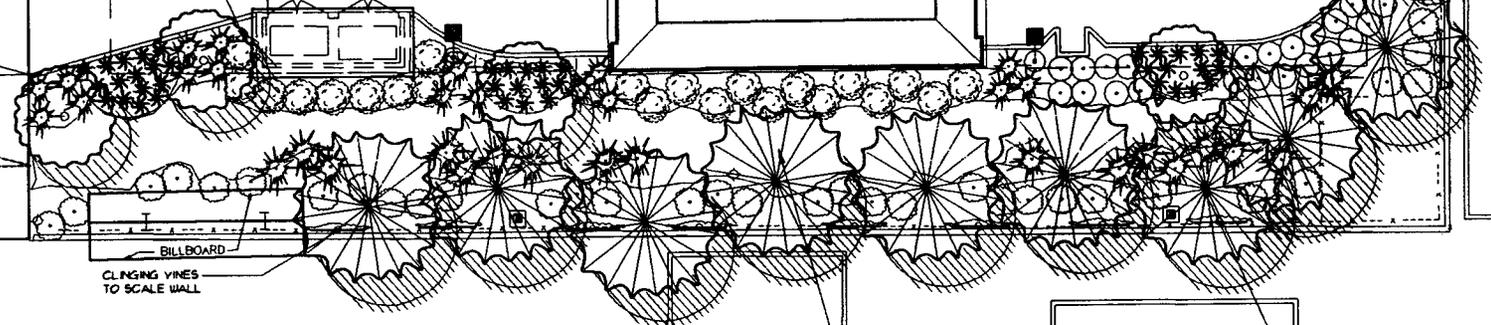
GROVE WAY

FLOWERING EVERGREEN GROUNDCOVER
TO ACCOMMODATE VEHICLE OVERHANG

EVERGREEN SHRUBS AND
ACCENTS AROUND FOUNDATION

FLOWERING ACCENT TREES

LARGE SCALE SHRUBS
TO SCREEN TRASH ENCLOSURE



BILLBOARD

CLINGING VINES
TO SCALE WALL

DROUGHT TOLERANT
GROUNDCOVER

LARGE EVERGREEN TREES
TO SCREEN RESIDENTIAL AREA

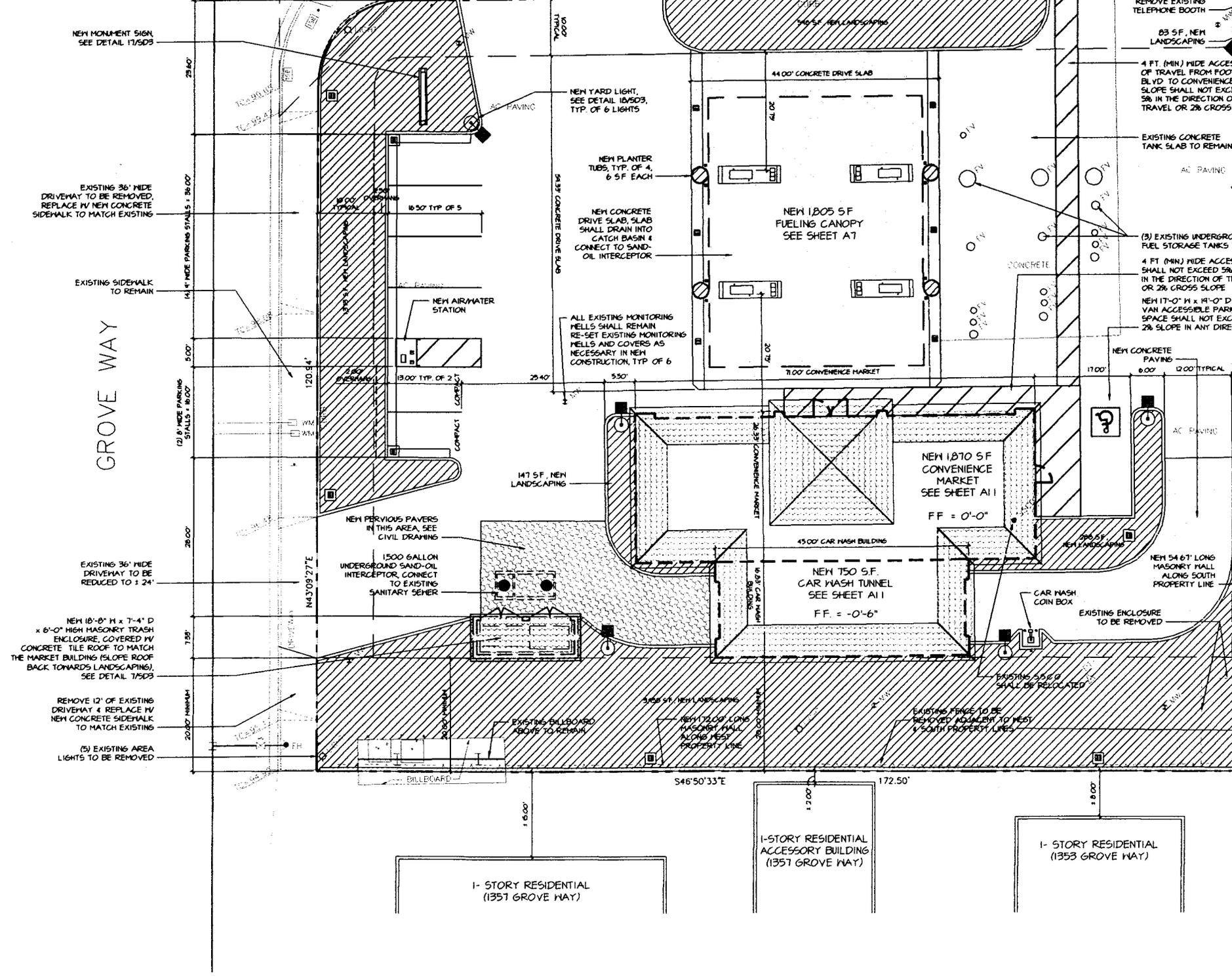
CONCEPTUAL LANDSCAPE PLAN

BORRECCO/KILIAN & ASSOCIATES
LANDSCAPE ARCHITECTS



1148 Alpine Road, Suite 201
Walnut Creek, California 94597
Phone: 925/944-5307
FAX: 925/944-9120

DISCLAIMER: ALL VELLUM, BOND, TRACE, BLUEPRINT, ETC. DRAWINGS PROVIDED WITH BORRECCO/KILIAN & ASSOCIATES LANDSCAPE ARCHITECTS (BK&A) TITLE BLOCK AND/OR SIGNATURE STAMP, IS CONSIDERED TO BE A COPY OF THE ORIGINAL DESIGN IN ELECTRONIC FORMAT. BK&A WILL ONLY ACKNOWLEDGE SIGNED AND STAMPED PLANS AND DRAWINGS WITH WRITTEN NOTIFICATION WITH THE ORIGINAL ELECTRONIC FILES RETAINED BY BK&A. NO RESPONSIBILITY OR EXPRESSED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS USED WITHOUT



NEW MONUMENT SIGN
SEE DETAIL 17/503

EXISTING 36" WIDE
DRIVEWAY TO BE REMOVED.
REPLACE W/ NEW CONCRETE
SIDEWALK TO MATCH EXISTING

EXISTING SIDEWALK
TO REMAIN

GROVE WAY

EXISTING 36" WIDE
DRIVEWAY TO BE
REDUCED TO 1 24"

NEW 10'-0" H x 7'-4" D
x 6'-0" HIGH MASONRY TRASH
ENCLOSURE, COVERED W/
CONCRETE TILE ROOF TO MATCH
THE MARKET BUILDING (SLOPE ROOF
BACK TOWARDS LANDSCAPING).
SEE DETAIL 7/503

REMOVE 12' OF EXISTING
DRIVEWAY & REPLACE W/
NEW CONCRETE SIDEWALK
TO MATCH EXISTING

(5) EXISTING AREA
LIGHTS TO BE REMOVED

29.80'

14.4' WIDE PARKING
STALLS - 18.00'

(12) 8' WIDE PARKING
STALLS - 18.00'

28.00'

20.00' MINIMUM

10'-0" MINIMUM

10'-0" MINIMUM

N43°08'27"E

10'-0" MINIMUM

120.84'

143.08'±

10'-0" MINIMUM

1- STORY RESIDENTIAL
(1357 GROVE WAY)

1- STORY RESIDENTIAL
ACCESSORY BUILDING
(1357 GROVE WAY)

1- STORY RESIDENTIAL
(1353 GROVE WAY)

NEW YARD LIGHT,
SEE DETAIL 10/503,
TYP. OF 6 LIGHTS

NEW PLANTER
TUBS, TYP. OF 4,
6.5 SF EACH

NEW CONCRETE
DRIVE SLAB, SLAB
SHALL DRAIN INTO
CATCH BASIN &
CONNECT TO SAND-
OIL INTERCEPTOR

ALL EXISTING MONITORING
WELLS SHALL REMAIN
RE-SET EXISTING MONITORING
WELLS AND COVERS AS
NECESSARY IN NEW
CONSTRUCTION, TYP. OF 6

147 SF, NEW
LANDSCAPING

NEW PERVIOUS PAVERS
IN THIS AREA, SEE
CIVIL DRAWING

1500 GALLON
UNDERGROUND SAND-OIL
INTERCEPTOR, CONNECT
TO EXISTING
SANITARY SEWER

EXISTING BILLBOARD
GROUP TO REMAIN

BILLBOARD

538 SF, NEW LANDSCAPING

NEW 170.00' LONG
MASONRY WALL
ALONG WEST
PROPERTY LINE

EXISTING FENCE TO BE
REMOVED, ADJACENT TO WEST
& SOUTH PROPERTY LINES

EXISTING SLOPE
SHALL BE RELOCATED

EXISTING ENCLOSURE
TO BE REMOVED

NEW 54.61' LONG
MASONRY WALL
ALONG SOUTH
PROPERTY LINE

396 SF
NEW LANDSCAPING

NEW 1870 SF
CONVENIENCE
MARKET
SEE SHEET A11
FF = 0'-0"

45.00' CAR WASH BUILDING

NEW 1750 SF
CAR WASH TUNNEL
SEE SHEET A11
FF = -0'-6"

16.35' CAR WASH
ENCLOSURE

CAR WASH
COIN BOX

NEW 1805 SF
FUELING CANOPY
SEE SHEET A7

71.00' CONVENIENCE MARKET

44.00' CONCRETE DRIVE SLAB

EXISTING CONCRETE
TANK SLAB TO REMAIN

AC PAVING

(3) EXISTING UNDERGROUND
FUEL STORAGE TANKS TO
BE REMOVED

4 FT. (MIN.) WIDE ACCESS
OF TRAVEL FROM FOOT-
BLVD TO CONVENIENCE
SLOPE SHALL NOT EXCEED
5% IN THE DIRECTION OF
TRAVEL OR 2% CROSS SLOPE

NEW 17'-0" H x 14'-0" D
VAN ACCESSIBLE PARKING
SPACE SHALL NOT EXCEED
2% SLOPE IN ANY DIRECTION

NEW CONCRETE
PAVING
6.00' 12.00' TYPICAL

AC PAVING

REMOVE EXISTING
TELEPHONE BOOTH

83 SF, NEW
LANDSCAPING

4 FT. (MIN.) WIDE ACCESS
OF TRAVEL FROM FOOT-
BLVD TO CONVENIENCE
SLOPE SHALL NOT EXCEED
5% IN THE DIRECTION OF
TRAVEL OR 2% CROSS SLOPE

EXISTING CONCRETE
TANK SLAB TO REMAIN

AC PAVING

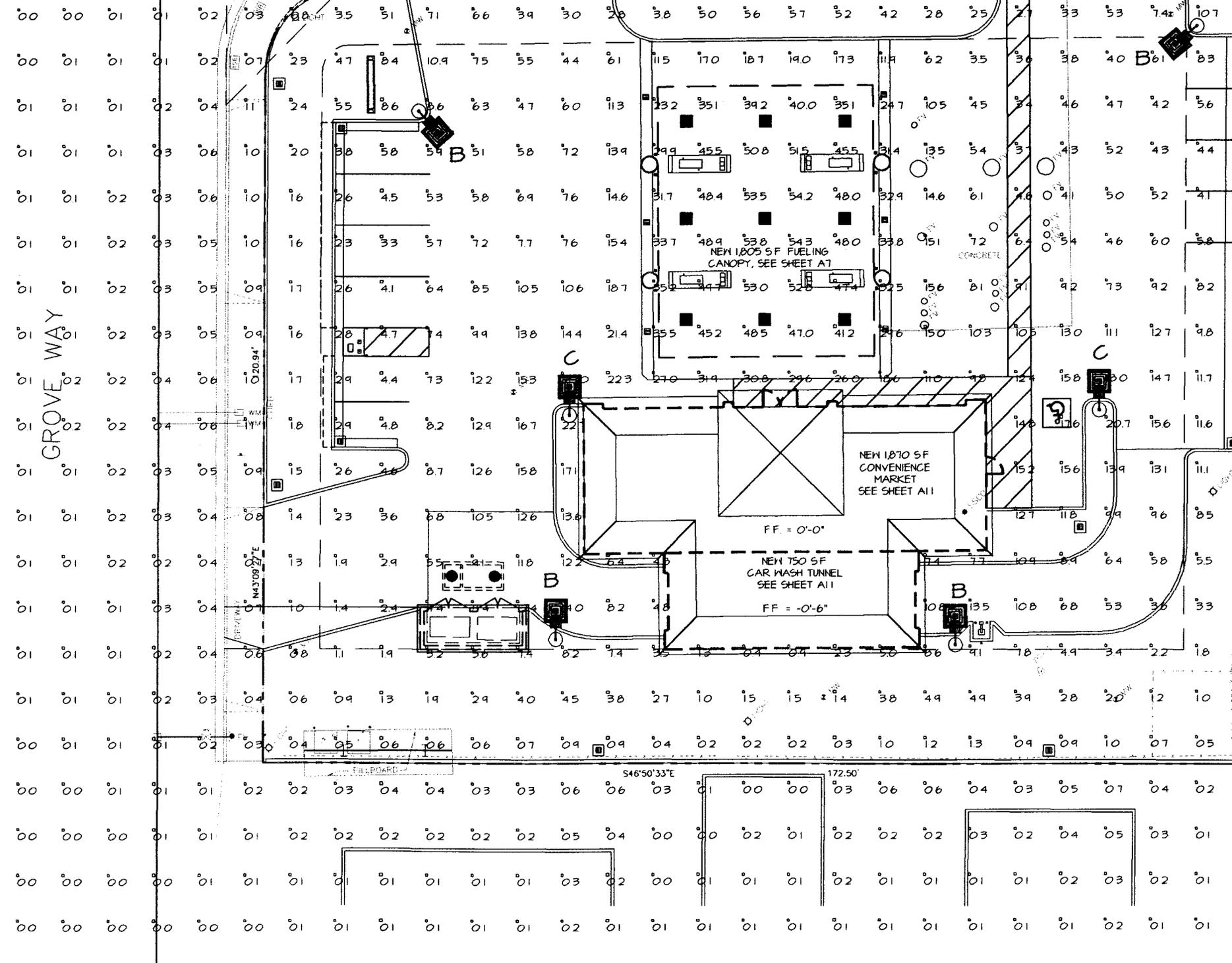
(3) EXISTING UNDERGROUND
FUEL STORAGE TANKS TO
BE REMOVED

4 FT. (MIN.) WIDE ACCESS
OF TRAVEL FROM FOOT-
BLVD TO CONVENIENCE
SLOPE SHALL NOT EXCEED
5% IN THE DIRECTION OF
TRAVEL OR 2% CROSS SLOPE

NEW 17'-0" H x 14'-0" D
VAN ACCESSIBLE PARKING
SPACE SHALL NOT EXCEED
2% SLOPE IN ANY DIRECTION

NEW CONCRETE
PAVING
6.00' 12.00' TYPICAL

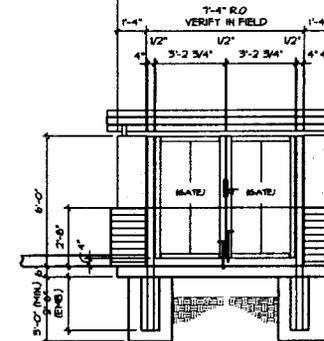
AC PAVING



GROVE WAY

S46°50'33"E

172.50'



EAST ELEVATION
SCALE 1/4" = 1'-0"

10

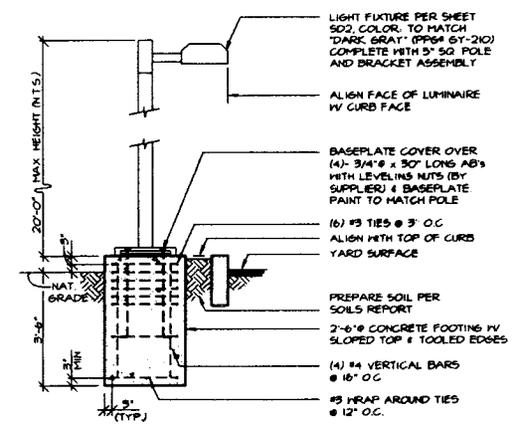
7
AS NOTED
TRASH ENCLOSURE PLAN & ELEVATIONS

15

14

13

12



- LIGHT FIXTURE PER SHEET 502, COLOR TO MATCH 'DARK GRAY' (PP64 61-210) COMPLETE WITH 5" SQ. POLE AND BRACKET ASSEMBLY
- ALIGN FACE OF LUMINAIRE W/ CURB FACE
- BASEPLATE COVER OVER (4) 3/4" Ø x 30" LONG AB'S WITH LEVELING NUTS (BY SUPPLIER) & BASEPLATE PAINT TO MATCH POLE
- (6) #3 TIES @ 3' O.C. ALIGN WITH TOP OF CURB YARD SURFACE
- PREPARE SOIL PER SOILS REPORT
- 2'-0" Ø CONCRETE FOOTING W/ SLOPED TOP & TOOLED EDGES
- (4) #4 VERTICAL BARS @ 16" O.C.
- #3 WRAP AROUND TIES @ 12" O.C.

- STREET
- CONTOURED SIGN FACE, BACKGROUND 'WHITE' (PP64 MH-835-S)
- 'CHEVRON' LETTERS, 'BLACK' (PP64 BL-10-S)
- STRIPES, 'BLUE' (PP64 BL-310-S)
- STRIPES, 'RED' (PP64 RE-360-S)
- BACKGROUND, 'DARK GRAY' (PP64 61-210), TYP.
- RULE LINE, 'RED' (PP64 RE-360-S), TYP.
- BACKGROUND, 'BLUE' (PP64 BL-310-S), TYP.
- LETTERS & NUMERALS, 'WHITE' (PP64 MH-835-S), TYP.

20

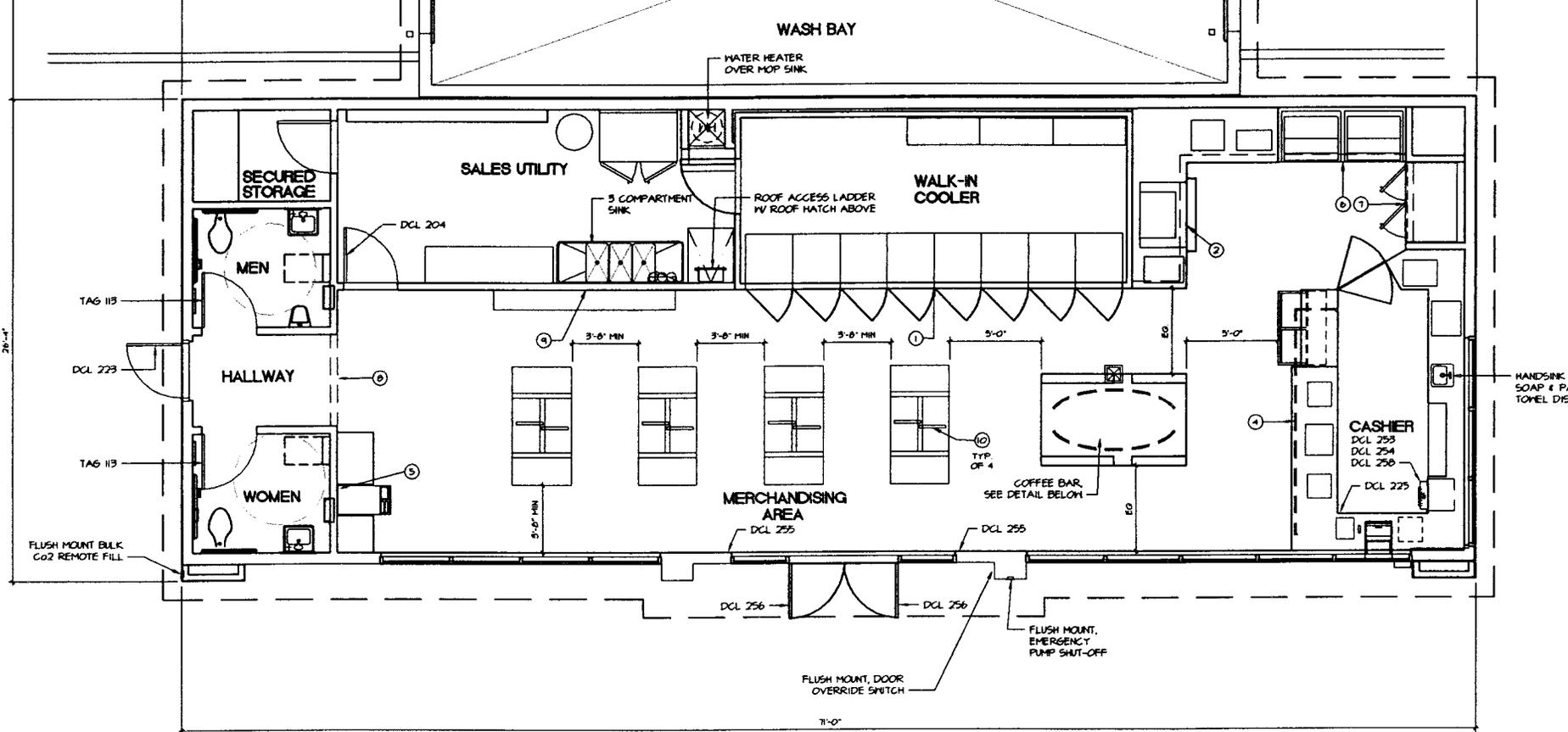
19

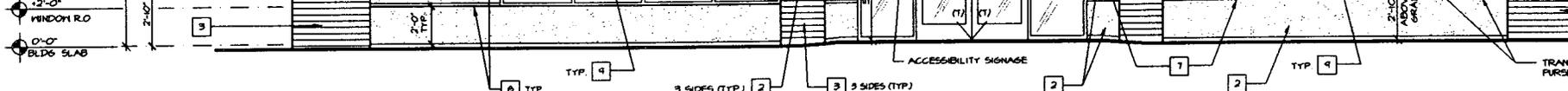
18

YARD LIGHT

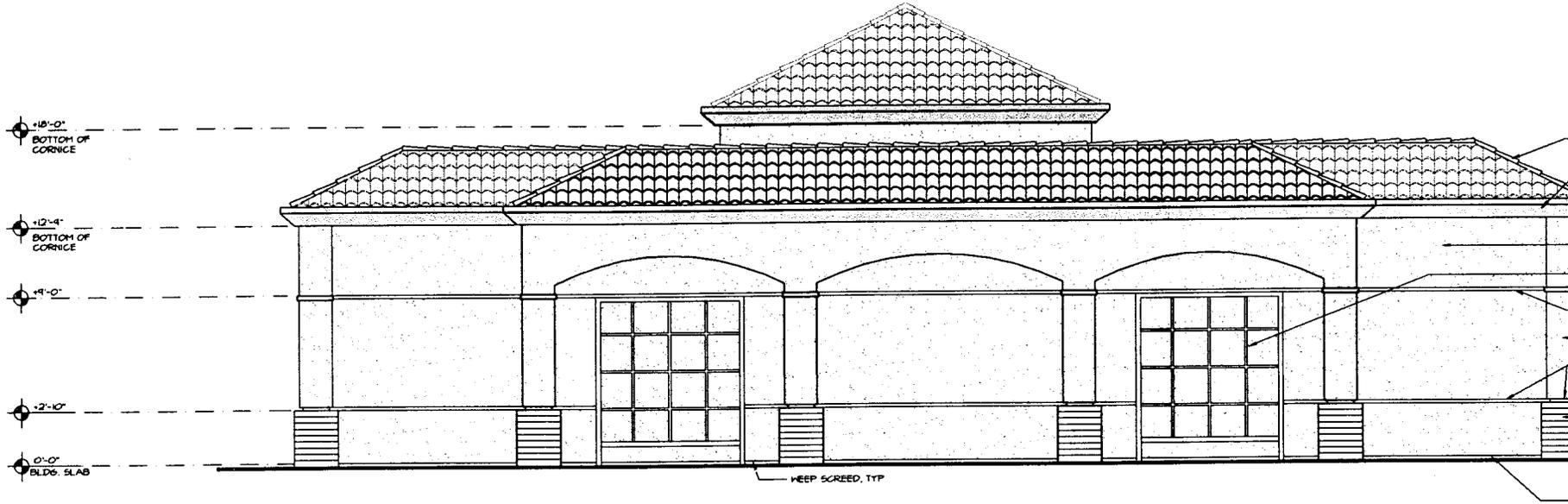
17

MONUMENT SIGN

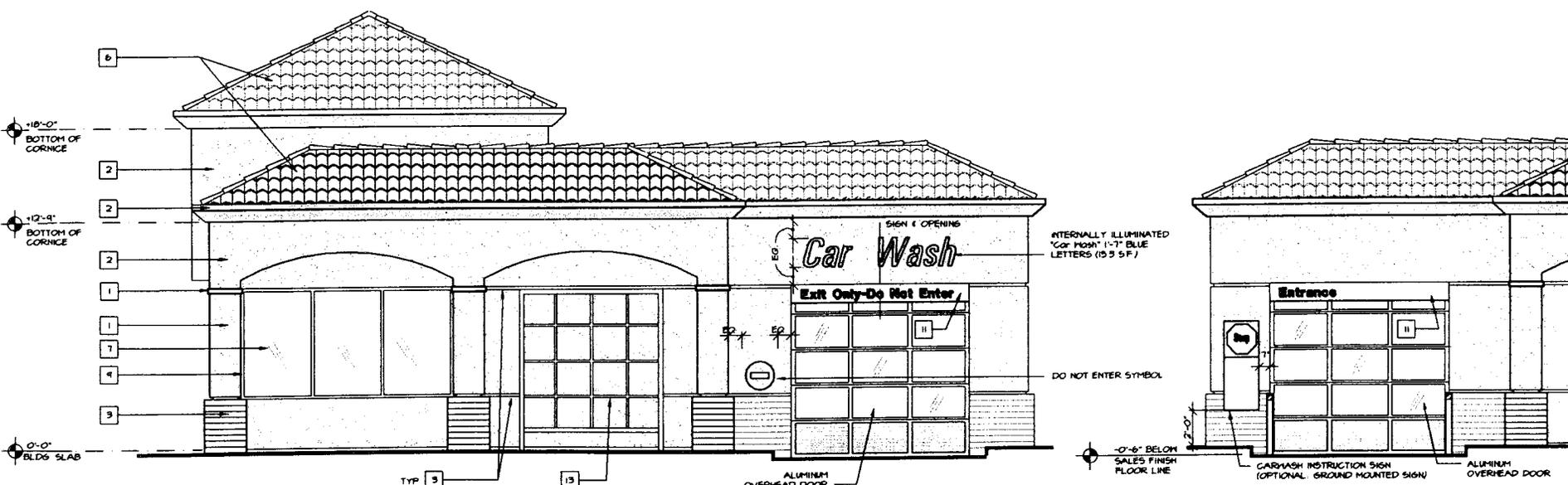




A- EAST ELEVATION
SCALE: 1/4" = 1'-0"

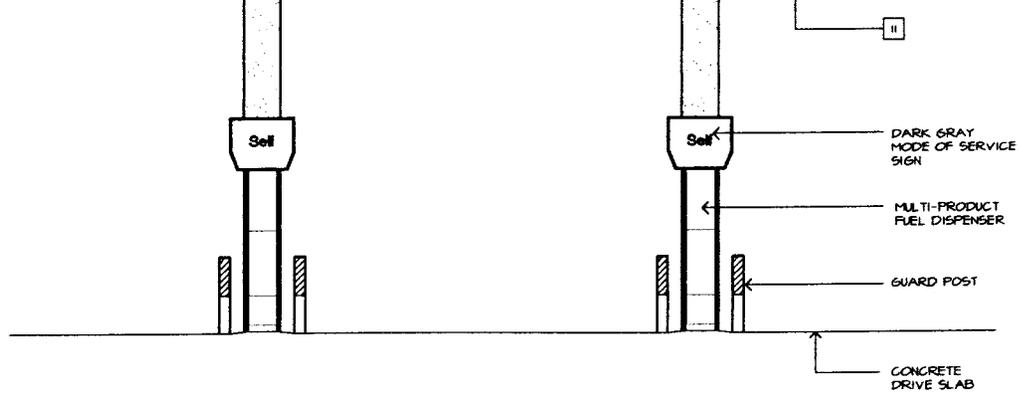


B- WEST ELEVATION
SCALE: 1/4" = 1'-0"

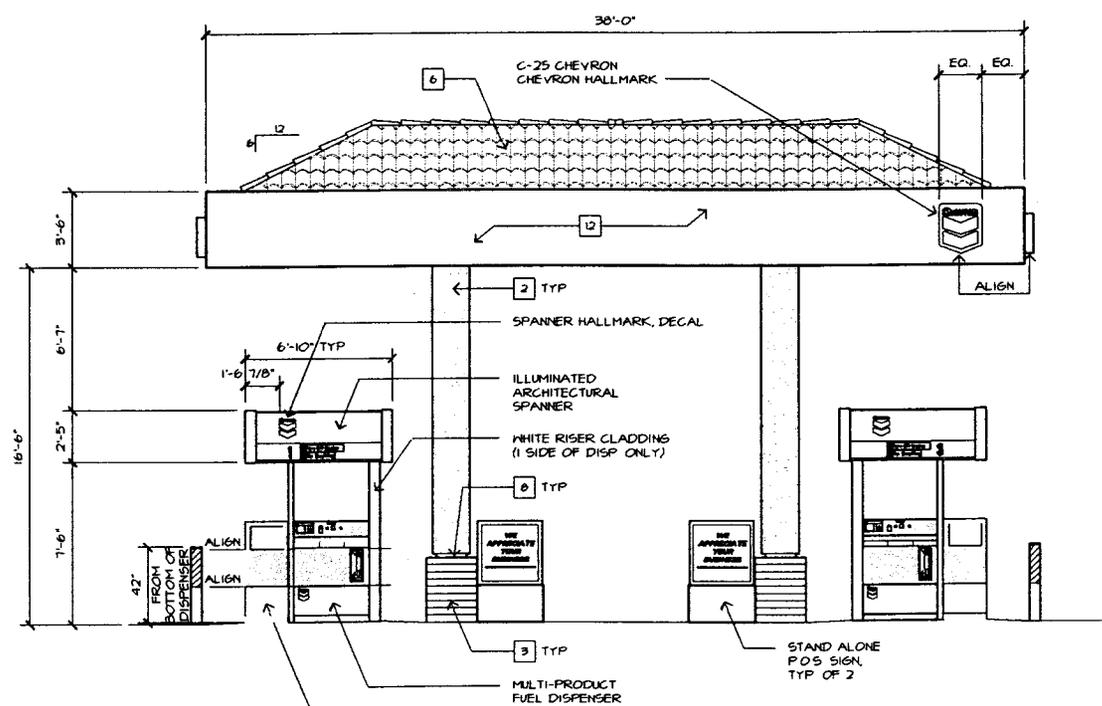


C- NORTH ELEVATION
SCALE: 1/4" = 1'-0"

D- SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1- NORTH CANOPY ELEVATION (SOUTH SIMILAR)



2- EAST CANOPY ELEVATION (WEST SIMILAR)

