



CITY OF HAYWARD AGENDA REPORT

Meeting Date 7/24/03
Agenda Item 5

TO: Planning Commission

FROM: Carl T. Emura, Associate Planner
Andrew S. Gaber, Development Review Engineer

SUBJECT: Site Plan Review Application No. PL-2002-0639 and Tentative Tract Map No. 7460 – PL-2003-0404 – Luis Tan/LST Investments Group (Applicant/Owner) – Request to Subdivide a 16,984 Square Foot Site Into Six Lots for The Development of Six Townhouses and One Parcel for Common Open Space

The Property is Located at 772 West A Street in the High-Density Residential (RH) District (APN: 432 0028 121/ 432 0028 160)

RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Find that the proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) guidelines, Section 15332, Class 32 In-Fill Development; and
2. Approve the Site Plan Review and Tentative Tract Map applications, subject to the attached findings and conditions of approval.

DISCUSSION:

The property is located along West A Street, between I-880 and Hesperian Boulevard, a major arterial road in the City. It is comprised of two vacant parcels, which contain approximately 16,984 square feet. The property to the west, zoned Neighborhood Commercial (CN) is developed with a single-story commercial building containing a restaurant and beauty salon. To the east is a two-story apartment complex zoned Medium Density Residential (RM) and to the south is another two-story complex zoned High Density Residential (RH). The properties across the street from the site are in the County of Alameda's jurisdiction and are rezoned Neighborhood Commercial (CN). The General Plan designation is High Density Residential. The applicant proposes to construct six 3-story townhouses.

Site Plan and Architectural Design

The project incorporates a Mediterranean architectural theme with the buildings surrounding a central courtyard. Arched trellises at the entrance and garden courtyard, decorative paving and trellises over the garages further contribute to the feeling of a courtyard. The arches will be repeated in the windows facing West A Street and in the front facades of the building acting both as an accent feature and unifying element. Windows will be recessed to provide shadows. The building façade would be stucco and painted in earth tones ranging from a creamy tan to a reddish brown. Staff recommends that another color such as a warm earthy green be added to break-up and further enhance the building.

A garage and foyer constitutes the first floor of each 3-story unit. The second floor would have the dining room, kitchen and living room. The front and middle units would include a study on the second floor. The third floor would have the bedrooms. The units in front and back would have three bedrooms and two units in the middle would have two bedrooms. Each unit would have individual backyards. The rear and middle units would also have decks. A garden courtyard would be located in the common open space located at the rear of the property.

Landscaping

The Mediterranean theme would be carried into the landscaping as reflected in the colors and species of plant material. The Bronze Loquat trees, the Spanish Lavender shrubs and the Bougainvillea vines provide the framework for the front landscaping and the Blood Red Trumpet and Guinea Gold vines for the courtyard. The garden courtyard patio would have decomposed granite paving with benches and flowering plants that would bloom throughout the year. Screening trees would be provided within the backyards to provide privacy for the occupants.

Vehicular Circulation / Parking

A landscaped median separates west and eastbound traffic along West A Street. There are deceleration lanes on the west bound lanes at the Bedford apartments and Bedford Shopping Center, which are to the west of the project site, however "U" turns are not allowed. Therefore, westbound vehicles would have to make a "U" turn at the intersection of West A Street and Skywest Drive to go eastbound to enter the site or to enter and exit the apartments or shopping center to go eastbound to the site. A security gate would be installed at the entrance and guests would pull into the driveway to access the call box.

The Parking Regulations require that the project provide a minimum of 13 parking spaces (2.1 spaces per dwelling unit). Two parking spaces are required to be marked for visitor's parking. The project would provide a total of 14 parking spaces. Each dwelling unit would be provided with two garage spaces, and two covered visitor spaces would

also be provided. No on-street parking is allowed along the portion of West A Street fronting the property.

General Plan Consistency

The General Plan Land Use Policies and Strategies encourage high-density development along major arterial roads and near major activity or transit centers. The proposed development would provide 15.4 dwelling units per acre. The High-Density Residential (RH) land use designation allows up to 34.8 units per acre. The density of the project is consistent with surrounding multi-family developments.

The General Plan Land Use Policies and Strategies promote *"infill development that is compatible with the overall character of the surrounding neighborhood."* The building incorporates architectural features found on several buildings along West A Street and sets a higher design standard for future developments along West A Street. The General Plan Land Use Policies and Strategies also encourage *"development that is designed to provide direct pedestrian connections between housing and supporting activities."* The proposed development is within walking distance to a shopping center, a school, a church and park. It is also in proximity of major bus routes and a major freeway.

Tentative Tract Map

The Longwood-Winton Grove Neighborhood Plan states that 43 percent of the housing units in this neighborhood are multi-family, almost all of them as rentals, and the overall percentage of owner occupied units in this neighborhood are lower than for the City as a whole. The project includes a tentative map, which will provide an opportunity to increase the number of owner occupied multi-family units in the neighborhood.

The proposed subdivision consists of 7 parcels; 6 lots for the townhomes and 1 lot containing the group open space, driveway and courtyard, and common landscaping areas. The formation of a Homeowners Association and the creation of Conditions, Covenants, and Restrictions (CC&Rs) will be required to cover the maintenance of all common areas. The CC&Rs will also contain a standard condition that if the homeowners association fails to maintain the common areas, the City of Hayward will have the right to enter the project and perform the work necessary to maintain these areas and lien the properties for their proportionate share of the costs.

There are existing utilities within West A Street, including sanitary sewer, water and storm drains, with sufficient capacity to adequately serve the proposed project. The electrical, phone and cable facilities have been undergrounded along West A Street. West A Street is at the ultimate street width and is fully improved.

ENVIRONMENTAL REVIEW:

The project is exempt from environmental review as defined by the California Environmental Quality Act (CEQA) Guidelines Section 15332, Class 32 In-Fill Development.

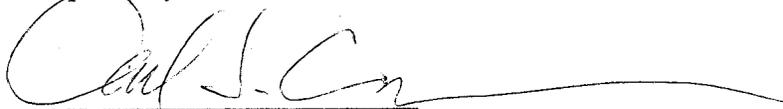
PUBLIC NOTICE:

On July 14, 2003 a Public Hearing Notice was mailed to every property owner and occupant within 300 feet of the subject site, as noted on the latest assessor's records. Notice was also provided to the Longwood Area Neighborhood Group Improvement Association, Longwood Winton Grove Neighborhood Task Force. No comment has been received to date.

CONCLUSION:

The size and location of the site does not make it conducive for a high-density residential development. Infill owner-occupied, multi-family residential units are needed in this neighborhood and the project would make a positive contribution to the streetscape along West A Street. Therefore staff recommends that the project be approved subject to the findings and conditions of approval.

Prepared by:



Carl T. Emura
Associate Planner

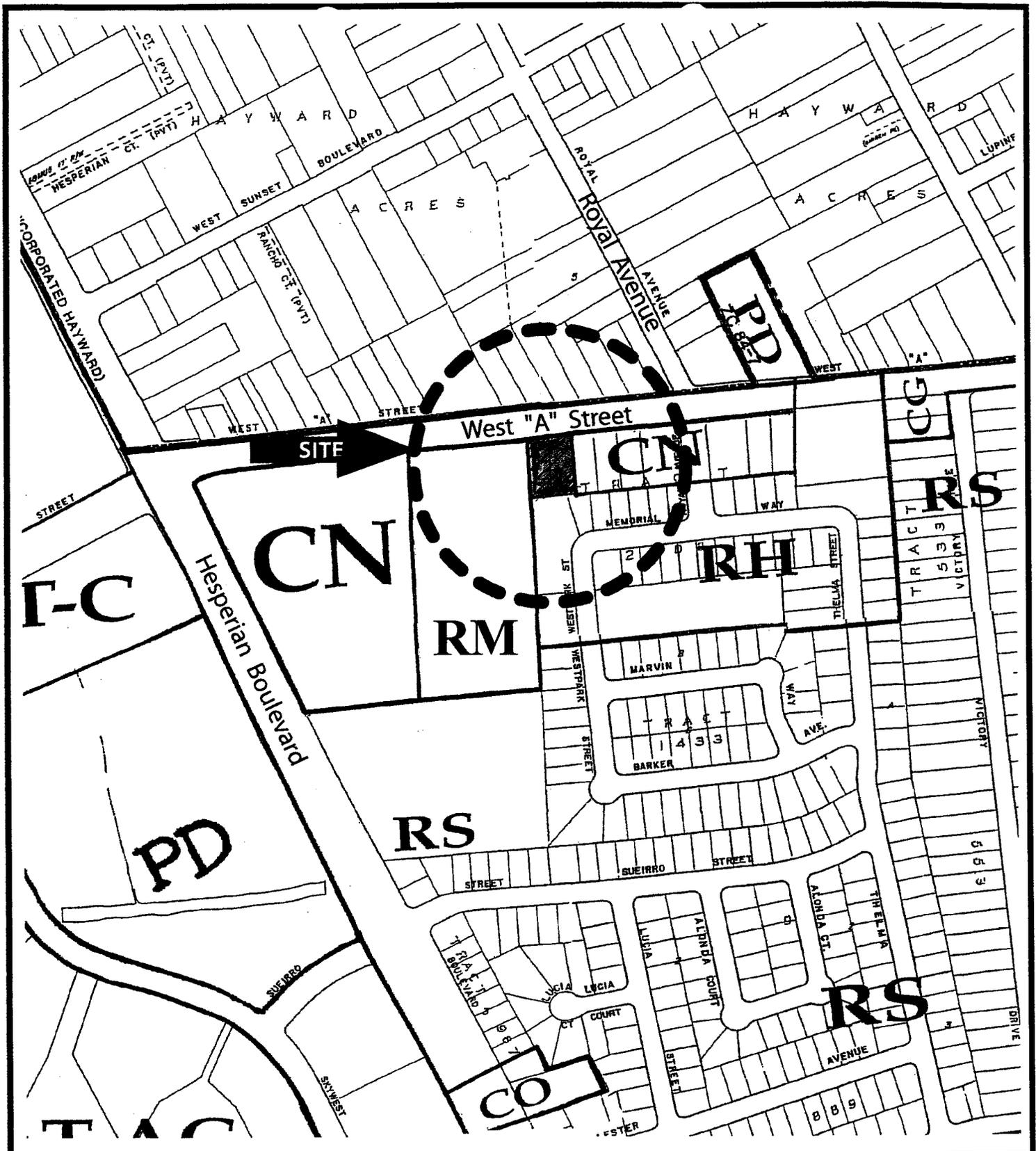
Recommended by:



Dyana Anderly, AICP
Planning Manager

Attachments:

- A. Area & Zoning Map
- B. Finding for Approval
- C. Conditions of Approval
Plans/Elevations



Area & Zoning Map

PL-2002-0711 SPR
 Address: 772 A Street
 Applicant: Luis Tan
 Owner: Luis Tan LST Investment Group, Inc.

AT-AC-Air Terminal-Aviation Commercial
 AT-C-Air Terminal- Commercial
 CG-General Commercial
 CN-Neighborhood Commercial

CO-Commercial Office
 PD-Planned Development
 RH-High Density Residential RHB 7
 RM-Medium Density Residential RMB 3.5, RMB 4
 RS-Single-Family Residential,RSB4,RSB6



CITY OF HAYWARD
Planning Division
Site Plan Review Application No. PL 2002-0711
Tentative Map Tract 7460 Application No. PL-2003-0404
772 West A Street
July 24, 2003

FINDINGS FOR APPROVAL

SITE PLAN REVIEW

- A. Approval of Site Plan Review No. PL-2002-0711 authorizes the development of six townhouses. This project is exempt from the provisions of California Environmental Quality Act pursuant to Section 15332, Class 32 (b), In-Fill Development.
- B. The project as conditioned is compatible with surrounding structures and is an attractive addition to the neighborhood, in that it utilizes similar Mediterranean design elements and materials from the surrounding buildings along West A Street and sets a higher design standard for future development.
- C. The project takes into consideration the physical and environmental constraints in that it is sited to provide ample private outdoor space for each unit and creates a building that enhances and is in scale with West A Street.
- D. The project as conditioned complies with applicable City polices including the City's Design Guidelines, the High Density Residential minimum design and performance standards in that it meets all the setback, height, parking and lot coverage requirements. Furthermore, it increases the number of owner occupied units in a neighborhood that has a higher percentage of renter occupied units than the City as a whole.
- E. The project as conditioned will be operated in a manner acceptable and compatible with surrounding development in that a homeowner's association is required and it will be responsible to comply with the conditions imposed on this project as well as other city regulations.

CITY OF HAYWARD
Planning Division
Site Plan Review Application No. PL 2002-0711
Tentative Map Tract 7460 Application No. PL-2003-0404
772 West A Street
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CONDITIONS OF APPROVAL

GENERAL

1. Site Plan Review Application No. PL-2002-0711, is approved subject to the plans labeled Exhibit "A" and the conditions listed below. This permit becomes void one year after the effective date of approval, unless (a) either a building permit has been issued or a building permit application has been submitted for processing and said application has not expired; or (b) residential occupancy has commenced in accordance with all applicable conditions of approval. A request for a one-year extension, approval of which is not guaranteed, must be submitted to the Planning Division at least 15 days prior to the above date.
2. If a building permit is issued for construction of improvements authorized by the administrative use permit approval, the administrative use permit approval shall be void two years after issuance of the building permit, or three years after approval of the application, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance upon the administrative use permit approval.
3. The applicant / developer shall pay the following fees, the amount of the fee shall be in accordance with the fee schedule in effect at the time of the issuance of the building permits:
 - a. Supplemental Building and Construction and Improvement Tax;
 - b. School Tax; and
 - c. Park Dedication In-Lieu Fees are required for 6 new dwelling units. Fees to be paid prior to approval of occupancy.
4. The standard conditions of approval for solid waste services must be complied with. They include specific requirements relating to container selection & sizing, collection vehicle access, and construction management plan.
5. Individual garbage can(s) shall be kept within the garage of each unit except upon pick-up day.
6. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss,

liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.

7. Violation of these conditions or the Hayward Municipal Code is cause for revocation of permit after a public hearing before the duly authorized review body.
8. Prior to the sale of any individual unit, or prior to the acceptance of tract improvements, whichever occurs first, a homeowners association shall be created to maintain the common area landscaping, the group open space facilities and the driveways and courtyard. The Conditions, Covenants and Restrictions shall be reviewed and approved by the Planning Director prior to recordation. A reserve fund shall be established and maintained to cover replacement and major repair costs.
9. Each owner shall automatically become a member of the association and shall be subject to a proportionate share of maintenance expenses.
10. The Homeowners Association shall maintain in good repair all building exteriors, fences, walls, lighting, drainage facilities, driveways, parking areas, and any other project features. The premises shall be kept clean and free of debris at all times.
11. Any graffiti painted on the property shall be painted out or removed within 48 hours of occurrence or notification by the City's Community Preservation Officer.
12. The "Guest Parking" stalls shall be used only for, and maintained as visitors' spaces and shall not be used for recreational vehicles, camper shells, boats or trailers. These spaces shall be clearly marked and monitored by the homeowner's association. Parking stalls shall be used only for vehicles in operating condition.
13. The CC&Rs shall include provisions for towing unauthorized vehicles from the site.
14. Each resident shall participate in the City's recycling program.
15. If the homeowners' association fails to maintain the common area, landscaping, irrigation, common driveway or courtyard, so that owners, their families, tenants, guests or adjacent owners suffer or will suffer substantial diminution in the enjoyment, use of property value of the project, the City of Hayward shall have the right to enter upon the project and to commence and complete such work as is necessary to maintain the common areas, after reasonable notice, and lien the properties for their proportionate share of the costs.

BUILDING

16. Prior to submitting for a building permit, a noise study shall be prepared to analyze the noise from West A Street and recommendations incorporated into the design of the townhouses.

17. The colors and materials used on the exterior of the building shall be those submitted for Site Plan Review Application No. PL-2002-0711. An additional color shall be provided to further articulate the building façade. Color shall be approved by the Planning Director.
18. Each dwelling unit shall have and maintain a minimum of 90 cubic feet of dedicated storage area, above standard closets and bedroom wardrobes, accessible from the exterior of the unit. Any area of a garage in excess of the 20'X19' parking area required for each unit, can be counted toward the minimum requirement.
19. A decorative 6-foot high wood fence shall be provided around the south and east property line and the private open spaces. Fence design and location shall be approved by the Planning Director.
20. A 6-foot high masonry wall shall be provided around the west property line. Masonry wall design and location shall be approved by the Planning Director.
21. Exterior lighting shall be designed by a qualified illumination engineer, and erected and maintained so that adequate lighting is provided in all public access areas. The lighting design shall comply with the City's Security Ordinance. The Planning Director shall approve the design and location of lighting fixtures, which shall reflect the architectural style of the buildings. Exterior lighting shall be shielded and deflected away from neighboring properties.

FIRE

22. All townhouse units shall be required to have automatic fire sprinkler systems installed if Fire Department access constraints remain difficult. Fire sprinkler systems for the individual units shall be designed and installed per NFPA 13-D (Modified) Standards, which include fire sprinklers in the garage and attic areas. Each fire sprinkler system shall have a local alarm bell installed in an exterior location of the building (unit) as approved by the fire department. Each building (unit) shall have an interior audible alarm bell tied into the fire sprinkler systems water flow monitoring.
23. Smoke detectors shall be installed within the residential unit as per the Uniform Building Code.
24. The new driveway shall be a dedicated fire lane with no vehicle parking allowed on either side. All landscape curbs within the driveway shall be painted red and fire lane signs shall be posted at the driveway entrance and at the dead-end of the driveway adjacent to the southwest corner lot.
25. An additional fire hydrant shall be required for the site if the existing fire hydrant(s) along West A Street are greater than 200 feet from the unit on the southwest corner lot.

26. Building (unit) addresses shall be installed in a location as approved by the fire department. Address numbers shall be a minimum of 4" in height (self-illuminated) or 6" in height on contrasting background. Address numbers shall be visible from the street and may need to be placed on a monument sign at the driveway entrance (if visibility is obscured).

LANDSCAPING

27. Detailed landscaping and irrigation plans prepared by a licensed landscape architect shall be approval by the City Landscape Architect prior to issuance of a building permit. Landscaping and irrigation plans shall comply with the City's Water Efficient Landscape Ordinance. Mylar originals of the approved landscape plans shall be stamped approved and signed off by the City Landscape Architect and City Engineer. Approved original mylars shall be left on file with the Department of Public Works.
28. A complete automatic sprinkler system with an automatic on/off mechanism shall be installed for required landscape areas prior to occupancy. The system shall include adjustable flood bubblers at each tree, 15-gallon size or larger, and shall utilize a reduce pressure backflow device for common landscape areas. After initial installation, the sprinkler system shall be maintained, including replacement where necessary.
29. An exterior hose bib shall be provided in each private open space and adjacent to the front of each garage.
30. Class 'B' Portland Cement concrete curbs shall be constructed to a height of 6 inches above the finished pavement for any landscaped area that adjoin driveways and/or parking areas.
31. Street trees shall be planted to fill in vacancies along West A Street at a minimum of one 24"- box or larger tree every 20' to 40' lineal feet. Trees shall be planted according to the City Standard Detail SD-122. Location and tree species shall be approved by the City Landscape Architect.
32. A tree removal permit is required prior to the removal of any tree 8" in diameter, or larger. Replacement trees shall be required for any trees removed, as determined by the City Landscape Architect.
33. Masonry walls and fences facing West A Street shall be continuously buffered with shrubs and vines. All above ground utilities, and mechanical equipment shall be screened from the street with shrubs.
34. A concrete band shall be provided around the perimeter of the decomposed granite paving.

35. A focal point element such as a fountain or sculpture shall be provided for the garden courtyard group open space. Focal point element shall be approved by the Planning Director.
36. Courtyard benches shall be approved by the Planning Director.
37. Landscape improvements shall be installed according to the approved plans and a Certificate of Substantial Completion, and an Irrigation Schedule shall be submitted prior to the issuance of a Certificate of Occupancy.
38. All common area landscaping, irrigation and other required improvements shall be installed prior to acceptance of tract improvements, or occupancy of 80% of the dwelling units, whichever comes first.
39. Landscaping shall be maintained in a healthy and weed-free condition at all times, with replacement plants provided where necessary. Required street and parking lot trees that are severely topped or pruned shall be immediately replaced.
40. Prior to the sale of any individual unit a homeowner's association shall be created to maintain the common area landscaping. Each owner shall automatically become a member of the association and shall be subject to a proportionate share of maintenance expenses. A reserve fund shall be maintained to cover the costs of replacement and repair of improvements shown on approved plans.

GRADING/DRAINAGE

41. Prior to issuance of a building permit, a drainage plan shall be submitted and approved by the City Engineer.
42. Grading and construction hours shall be limited to the hours of 7:00 A.M. to 5:00 P.M. on weekdays; there will be no grading or construction activities on Saturdays or Sundays or national holidays. Grading and construction equipment shall be properly muffled.
43. Applicant/Developer shall designate a "noise disturbance coordinator" who will be responsible for responding to any local complaints about construction noise. Letters shall be mailed to surrounding property owners and residents (within 200 feet of the project boundary) with this information.
44. The project shall identify Best Management Practices (BMPs) appropriate to the uses conducted on-site in order to limit the entry of pollutants into the stormwater runoff to the maximum extent practicable. It is recommended a grassy swale be installed to intercept the surface runoff from the site. If the developer chooses to install a structural control unit, they must submit a signed statement accepting responsibility for the operation and maintenance of the structural control unit until the responsibility is legally transferred to the Homeowners Association. Alternatives such

as permeable pavement or pavers can be use as a substitute for a structural control unit, if used for all paved areas.

45. Prior to the issuance of a Building Permit the property owner shall complete and submit two forms to the Planning Department:(1.) Development and Building Application Information: Impervious Surface Form, and (2.) Operation and Maintenance Information for Stormwater Treatment Measures.
46. The Owner's shall prepare a Maintenance Agreement (available at Engineering and Transportation) and the Agreement shall be recorded with the Alameda County Recorders Office to ensure that the maintenance is bound to the property in perpetuity.
47. The applicant/developer is responsible for ensuring that all contractors are aware of all storm drain water quality measures and implement such measures. Failure to comply with the approved construction BMP's will result in the issuance of correction notices, citations or a project stop order.

PARKING / DRIVEWAYS

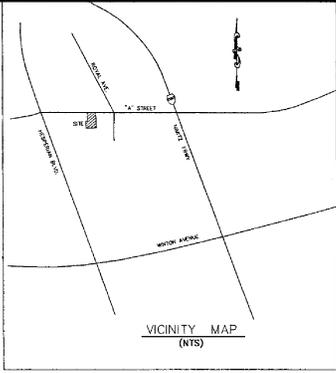
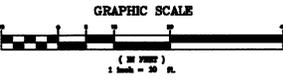
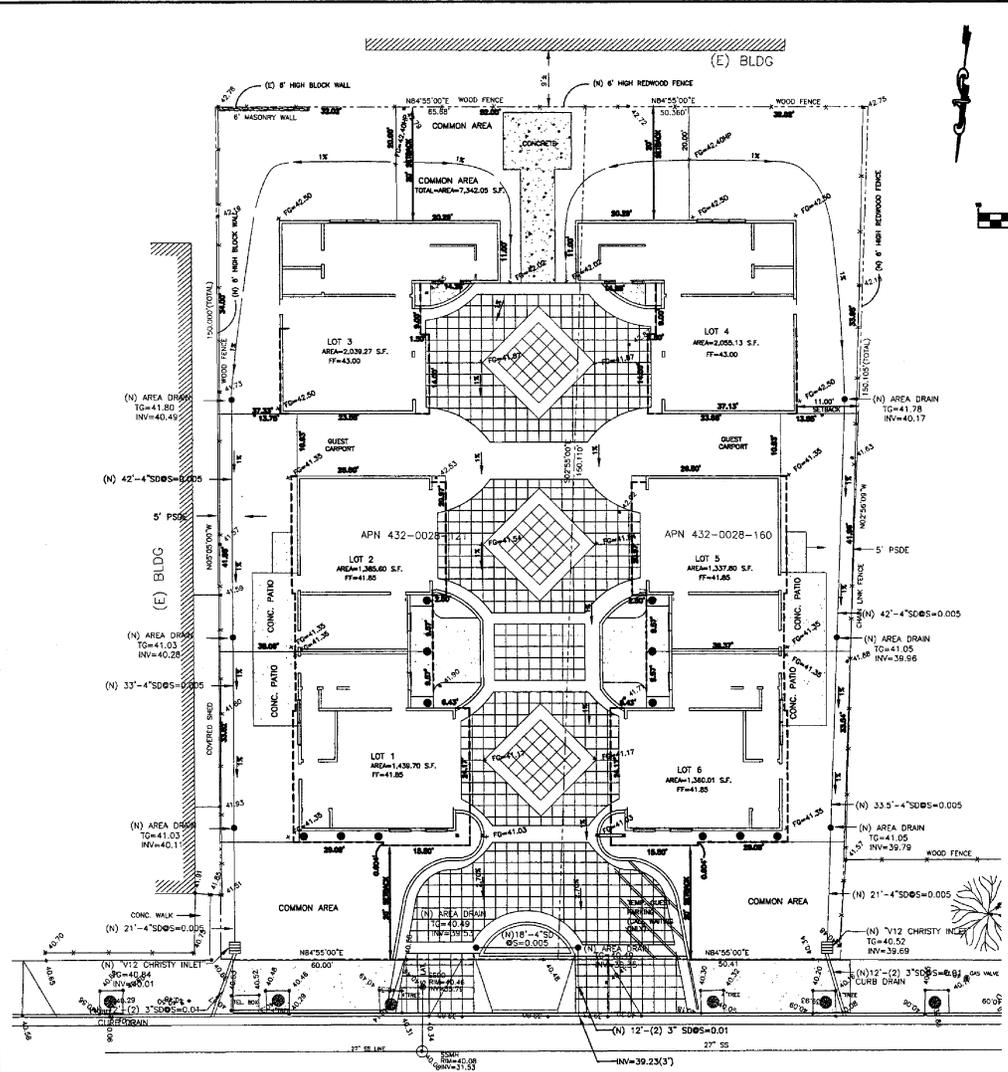
48. All open parking stalls and maneuvering areas on site shall comply with the City's Off-Street Parking Regulations.
49. The existing driveway to be abandoned along West A Street shall be removed and replaced with standard curb, gutter and sidewalk.
50. The new entry driveway shall be designed to meet current Fire Department and Engineering Standards. The driveway shall be constructed as per City Standard Detail SD-109.
51. Decorative pavement shall be used at the driveway and parking court. Materials may be colored concrete, brick, interlocking pavers or other approved materials. The location, design and materials shall be approved by the Planning Director.
52. All utilities under the decorative pavement shall be encased.
53. The "Guest Parking" stalls shall be used only for and maintained as visitors' spaces and shall not be used for recreational vehicles, camper shells, boats or trailers. These spaces shall be clearly marked.
54. The garages shall be maintained for off-street parking and shall not be converted to a living or storage area. An automatic garage door opening mechanism shall be provided for all garage doors.

UTILITIES

55. Sanitary sewer service is available subject to standard conditions and fees in effect at the time of application. Each residential unit must have an individual sanitary sewer lateral.
56. The sanitary sewer main shall be 8 inches, and a manhole shall be required at the end of the sanitary sewer main. Each unit shall be individually connected to the 8-inch building court main. The main design and location shall meet the approval of the City Engineer.
57. The private sanitary sewer main, in the private driveway, shall be located six feet from the curb face.
58. Water service is available subject to standard conditions and fees in effect at the time of application. Each unit shall have an individual radio read water meter. The water meters shall be located two feet from top of driveway flare as per City of Hayward Standard Details 213 thru 218. Water meters shall be located a minimum of six feet from sanitary sewer lateral as per State Health Code.
59. Prior to occupancy, water services shall be installed for each residential unit by city crews at applicants expense. The application for water services shall be presented to the city inspector.
60. All transformers, switch gear cabinets or other facilities necessary for underground services, shall be placed underground, unless otherwise approved by the Planning Director and the City Engineer. Underground utility plans must be submitted for City approval prior to installation.
61. The frontage improvements along West A Street shall be repaired or replaced as determined by the City Engineer.

SUBDIVISION AGREEMENT

62. The developer shall execute a subdivision agreement and post bonds with the City that shall secure the construction of the public improvements per Section 10-3.332, Security for Installation of Improvements, of the Municipal Code. Insurance shall be provided per the terms of the subdivision agreement.



1. OWNER'S & SUBDIVIDER'S LUIS S. TAN AND WEI LAN PENG
2216 166th AVENUE
SAN LEANDRO, CA. 94578
TEL. -415-519-3292
2. ENGINEER AL PASCUAL & ASSOCIATES, INC.
5506 SUNOL BLVD., SUITE 203
PLEASANTON, CA. 94566
TEL. 925-846-5938
3. EXISTING ZONING RH (MULTIPLE)
4. EXISTING LAND USE VACANT TWO LOTS
5. PROPOSED ZONING RH (MULTIPLE)
6. WATER SUPPLY CITY OF HAYWARD, WATER DEPARTMENT
7. GAS & ELECTRIC PACIFIC GAS & ELECTRIC
8. TELEPHONE SBC
9. SEWAGE DISPOSAL CITY OF HAYWARD
10. STORM DRAINAGE CITY OF HAYWARD AND
ALAMEDA COUNTY FLOOD CONTROL
11. FIRE PROTECTION CITY OF HAYWARD FIRE DEPARTMENT
12. APN NUMBER 432-008-160
432-0028-121
13. TOTAL AREA 16,954.53 S.F.

OWNER'S CERTIFICATION:

WE, THE UNDERSIGNED AGREE TO THE FILING OF SAID MAP AND AGREE TO COMPLY WITH THE PROVISIONS TO THE CITY OF HAYWARD SUBDIVISION REGULATIONS AND THE STATE MAP ACT AS THEY APPLY TO PROCESSING AND APPROVAL OF SAID MAP.

LUIS S. TAN _____ DATE _____
 WEI LAN PENG _____ DATE _____

WEST "A" STREET

PL-2002-0639 SPR



NOT FOR CONSTRUCTION

NO.	BY	DATE	REVISIONS

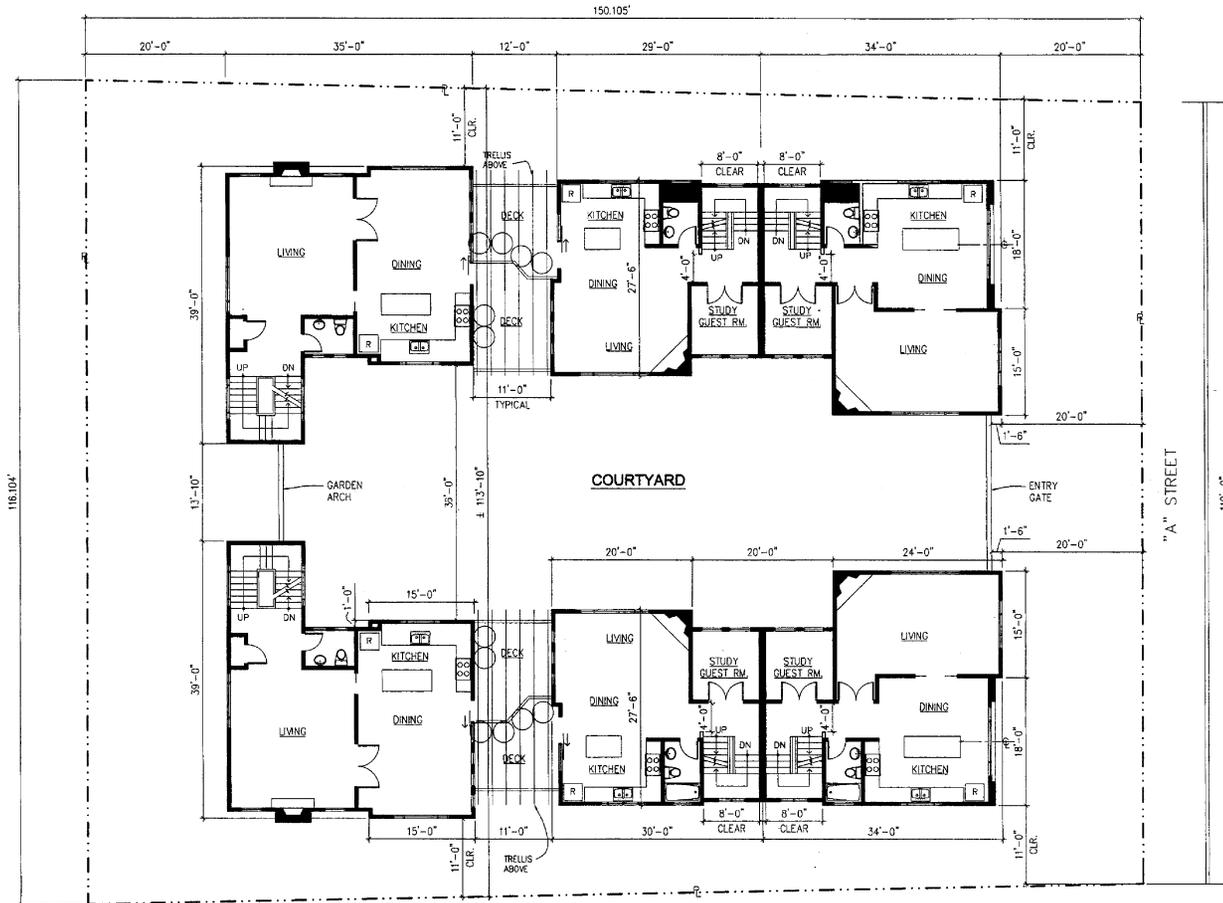
ENGINEER CERTIFICATE
 PLAN PREPARED UNDER THE SUPERVISION OF:
 ALJLIO M. PASCUAL, JR. EXPIRES 3-31-08

ENGINEERS SURVEYORS PLANNERS
AL PASCUAL & ASSOCIATES, INC.
 5506 Sunol Blvd., Suite 203, Pleasanton, California (925) 846-5938

VESTING TENTATIVE TRACT MAP 7460
 SIX-UNIT TOWNHOUSE
 772 WEST "A" STREET
 CITY OF HAYWARD, ALAMEDA COUNTY, CALIFORNIA

DRAWN: STAFF	DATE: MAY 2003	SHEET NO.
DESIGNED: AL P.	SCALE: As Noted	1
CHECKED: AL P.	JOB NO. 2206	2
DISK NO. 2206TMAP		of 2 SHEETS

DO NOT SCALE



1 SECOND FLOOR PLAN
1/8"=1'-0"



Revisions	By



RUFFIN ARCHITECTURE
 ARCHITECTURE + INTERIORS
 47 MASSULO DRIVE # 1 E • PLEASANT HILL, CA 94553
 PH: (415) 809-6619 • FAX: (415) 800-6618

6 UNIT TOWNHOUSE
 772 WEST "A" STREET
 HAYWARD, CALIFORNIA

Issue Date: 5-28-03
 Scale: 1/8"=1'-0"
 Drawn By: MCDR
 Chk. By: [Signature]
 Sheet Title: SECOND FLOOR PLAN
 Sheet No.: A1.2





① NORTH COURTYARD ELEVATION

- Galvanized and painted steel trellis arch with Bougainvillea
- Stucco with white vinyl windows
- Light weight terra cotta colored concrete roof shingles
- Vinyl clad door and frame with sidelights and glass transom



② NORTH ELEVATION

- Light weight terra cotta colored concrete roof shingles
- Galvanized and painted steel trellis arch with Bougainvillea. The lower gate slides to the west and is hidden by stucco wall with upper trellis
- Forest green ceramic tile accent
- Fiberglass column forms covered with stucco
- 6" concrete block wall with metal trellis above



③ EAST COURTYARD ELEVATION

- Stucco Chimney with painted galvanized metal spark arrester
- Upper two floors to receive light colored stucco with lower level to receive darker colored stucco.
- Pressure treated wood trellis with evergreen clematis vines
- Vinyl clad garage doors painted to match stucco



RUFFIN ARCHITECTURE

ARCHITECTURE + INTERIORS
 772 WEST "A" STREET
 HAYWARD, CALIFORNIA 94541
 TEL: (415) 889-2816 FAX: (415) 888-8813

6 UNIT TOWNHOUSE
 772 WEST "A" STREET
 HAYWARD, CALIFORNIA

Issue Date: 8-20-03
 Scale: 1/8"=1'-0"
 Drawn By: MCDER
 Chk. By:
 Sheet Title:
ELEVATIONS
 Sheet No:



